

H.11

**ORIGINAL PROPOSAL
SUBMISSIONS
#201-220**

Grant Application

Row 201

Organization Name (if applicable)	Webster Rehab, LLC (on behalf of White Lotus Group)
Physical Address	1114 Florence Boulevard Omaha, NE 68102
Mailing Address	10404 Essex Court, Suite 101 Omaha, Nebraska 68114
Website	www.whitelotusgroup.com
Social Media Accounts	
Name	Drew Sova
Title	Executive Vice President / General Counsel
Email Address	Dsova@whitelotusgroup.com
Phone	+1 (402) 346-5550
Team	Yes
	Arun Agarwal (CEO), Drew Sova (EVP/General Counsel), Eric Wolfe (Architect/Construction Manager), Andrea Macias (Dev Coordinator), Darienne Pokorny (Controller/Auditor/CPA), Crystal Cantrell (Regional Prop Mgr), Shawn Johnson (SVP - Ops)
Organizational Chart	See attached
Other Completed Projects and/or Accomplishments	White Lotus Group, headquartered in Omaha, with office in a QCT, has been actively developing projects in North and South Omaha throughout our history. Projects of note include, but are not limited to: 30 Metro Place, Prairie Springs, Turner Court Apartments, 1401 Jones (new public library), RTG Medical (NMTC - corp HQ in Fremont), Hotel Deco, Ames Plaza, Ames Innovation, Ames Rows, Learning Community of South Omaha, Blackstone, Baxter Auto, Nebraska Realty. Recent Awards: State of Nebraska DHHS, DMV and Veterans Campus in GI. Accomplishments include approximately \$100MM of investments in North Omaha with no philanthropic awards. Over 500 units of affordable housing totaling housing for nearly 2000 people. We have aided in over 1,000 jobs created or positions earned since inception within Omaha alone.
Proposal Title	1114 Florence Flex Workspace
Total Budget (\$)	\$8,866,592.00
LB1024 Grant Funding Request (\$)	\$3,968,856.00

Proposal Type	Capital project
Brief Proposal Summary	<p>Webster Rehab, LLC, which is wholly owned by White Lotus Group (“WLG”), is requesting an award of funds via the Omaha Economic Recovery Grant to complete its capital stack for renovation and development of the three-story building (the “Omaha Van & Storage Building”) at 1114 Florence Boulevard in North Omaha. With its high ceilings and open floor plates, the Omaha Van & Storage Building offers a blank canvas to the North Omaha community, with over 30,000 square feet of developable space. The site is situated between the Muse Apartment Complex to its south and the recently announced CHI Health commercial kitchen to its north, and presents opportunity to add commercial and office use on a major North Omaha thoroughfare. The Omaha Van and Storage Building, originally constructed in 1888, has held no regular tenant since at least 1991 and is in a state of disrepair. The exterior façade, with its crumbling masonry, mismatched coloring and boarded up windows, hides an even harsher interior filled with evidence of homeless encampments and excessive wear and tear. At the same time, with its all-wood interior framing, the building presents a design feature which is coming back into popularity within the office community. WLG is off and running in the planning and design stages of this redevelopment. As a part of our capital stack, we have begun the process to utilize federal and state historic tax credits. After receiving unanimous approval from the Omaha Landmark Heritage Preservation Commission and NE State Historic Preservation Board to nominate this building for National Registry Listing, we sent our full application to the National Park Service in September (and expect approval before year end). Additionally, we’ve confirmed with the City this building sits within the CRA and EBA, making it eligible for 20-year Tax Increment Financing. Finally, WLG has engaged Holland Basham Architects to begin schematic design of the building’s renovation. With an award of the Omaha Economic Recovery Grant, our capital stack will be fully complete, and we’d expect to commence immediately, with a 14-month construction period finishing in the first half of 2024.</p>
Timeline	See attached “1114 Florence – Construction Timeline”, but note project will be completed by April 1, 2024.
Percentage completed by July 2025	100%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment

We plan to renovate the Omaha Van & Storage Building into flexible commercial workspace, envisioning multiple set ups based on tenancy, including three floors of flexible office space, or a more varied environment, including some or all of the first floor being used as a craftsmanship workspace. This project will serve a variety of the North Omaha community's needs, including (1) investment in a structure set for demolition, which would have added another vacant parcel to the North Omaha community, (2) continuing the redevelopment of Florence Boulevard north of Creighton University, with construction to overlap with the CHI Health commercial kitchen to the north, (3) providing affordable commercial space by utilizing ARPA funds to lower the all-in cost to build, (4) development of office space along a multi-modal transportation route, with Florence Boulevard to the east and Route 18 of the METRO line to the west on 20th street, and (5) providing office space and jobs directly to the North Omaha area.

Visioning Workshop Findings Alignment

1. Redevelopment of a culturally significant property by preserving the "Omaha Van & Storage" historic building, a structure originally built in 1888 (which has been nominated, through unanimous approval of the Omaha Landmark Heritage Preservation Commission (unanimous content attached as an exhibit) and NE State Historic Preservation Board for the National Register of Historic Places (NPS submission attached as an exhibit). Without redevelopment, structure was to be demolished by City of Omaha, creating another vacant parcel in North Omaha. 2. Proximity to workforce, attempting to assist no-car households via location of employment, and developing along Metro bus route. 3. Bringing flexible office space directly into North Omaha to generate jobs and workspace. 4. Marketing to the community, presenting office space in North Omaha with ease of location and flexibility to adapt to needs of business owner. 5. Costs of construction, using ARPA funds to lower overall investment of development, allowing for more flexible leasing opportunities.

Priorities Alignment

Leveraging ARPA funds to continue development into North Omaha without displacement, eliminating a blighted structure which had become visual eyesore and haven for homeless encampments. Instead of unappealing structure or future vacant land, historic rehabilitation of building will enhance safety of the area which includes the MUSE Apartments and future CHI Health community kitchen, further spurring connectivity between downtown Omaha and the North Omaha community.

Economic Impact

The economic impact should not be simply weighted by the redevelopment project, but the affordability of the office space created by utilizing ARPA funds to lower overall investment into the project. See below:

110

40

\$15-\$50 per hour (construction jobs) / \$20-\$75 per house (permanent jobs)

While a general contractor has been selected (Ronco), all

subcontractors will go through competitive bidding process allowing for minority owned and local North Omaha contractors to bid and have a direct impact on the project.

Community Benefit The development of the Omaha Van & Storage Building will mark another construction project for this stretch of Florence Boulevard and the surrounding community. The surrounding four block radius has seen the Muse Apartments and Nichol Flats Apartments recently developed. Additionally, new construction is taking place at 20th and Paul Street (to our northwest), and the CHI Health community kitchen (directly to our north). We plan to rehabilitate the interior and exterior of the building to a standard that will qualify for federal and state historic tax credits. This will require substantial rehabilitation to the exterior façade of the building, including preservation of the Omaha Van and Storage mural on the north side of the building, and preservation of the masonry walls. On the interior, we will refurbish the wood framed interior, providing a dynamic narrative for the North Omaha community. Two other all wood-framed office buildings have been recently announced for downtown-Omaha (both South of Cuming Street), this will provide opportunity to highlight this design feature in a more adaptive/reusable fashion. This office space will provide entrepreneurs from North Omaha a place to work, enhance their business environmental/products/culture/employees, and ultimately use those tools to further invest in/grow the community.

We have acquired one of the two vacant parcels of land directly to our west (with plans nearing finalization to acquire the other). These acquisitions allow us to provide parking for our building and streetscape/light land abutting 20th street and Florence Blvd.

Best Practices/Innovation Newly designed, flexible workspace to the North Omaha area. As example of adaptive use to a previously unused structure, highlighting how investment dollars can produce results.

Outcome Measurement Enhancement of building in disrepair (interior and exterior). Enhancement of block through lighting/streetscape, displacement of trash and debris. Generation of North Omaha office / mixed use space, allowing for creativity in design driven by the users themselves. By keeping workspace in North Omaha, goal would be to attract employers in the area, who then themselves look to same community to bring in employees.

Measurement of these benefits can occur through monitoring of building lease up, how many of tenants are startups, how many owners/employees live in the area (measured by the Omaha chamber).

Yes, we believe this project will provide further investment in the North Omaha community, specifically, this area of downtown north of Cuming Street and east of 16th Street.

Partnerships Yes

We plan to utilize our relationships with Metro Community College, Spark CDI, Provent Ventures, Charles Drew Health and Empowerment Network. All of these organizations are ones

White Lotus Group has either worked with on other projects, or started the process of engaging for lease-up in this space.

Displacement	No
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Displacement explanation	
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Physical Location	1114 Florence Boulevard Omaha, NE 68102 Location is west of Florence Boulevard, east of 20th street, directly adjacent (south) to future CHI Health community kitchen.
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Qualified Census Tract	Within one or more QCTs
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Additional Location Documents	We've uploaded Construction Bid, Construction Timeline, Financial Summary, Flexible Workspace narrative and site photos, Evidence of Ownership, Omaha Planning Landmarks Heritage Preservation Commission - Unanimous Approval of National Registry Listing, National Register of Historic Places Nomination Form
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Property Zoning	Yes
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Is the project connected to utilities?	
	Yes
	Yes

Design, Estimating, and Bidding	No
	Yes

General Contractor	Yes
	Yes

Request Rationale	Please see attached proforma to showcase the value proposition.
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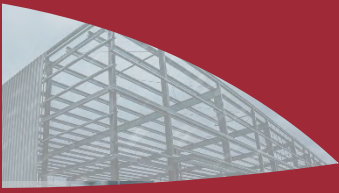
Grant Funds Usage	Funds will be utilized to implement the substantial renovation of a structure which has been vacant for years, and is in a state of disrepair.
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Proposal Financial Sustainability	Yes
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Depending on how the program is implemented. Owner will expend funds on the renovation and generate monthly pay applications with General Contractor. We can either fund the

costs up front through revolving loan (and ask for reimbursement), or make request for direct funding of costs.

Funding Sources	Funding sources showing on attached "1114 Florence - Financial Summary", and are finalized.
	They are finalized.
	Yes, ARPA award.
Scalability	No, project is to be completed in one phase, renovation of the entire building.
Financial Commitment	Organization will be investing \$730,000 on the site, through acquisition (already occurred) and initial renovation costs.
ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
ARPA Reporting and Monitoring Process Acknowledgme	<input checked="" type="checkbox"/>
LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
Public Information	<input checked="" type="checkbox"/>
File Uploads	Additional Location Documents (see application for list) Data table of uses (breakdown of how the requested funds will be used for your proposal) Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Organizational Chart Plans and detailed descriptions, including pictures and a map of the site location/surrounding area Pro Forma Proposal Budget/Sources and Uses Schedule



Nicholas Building Restoration

RONCO CONSTRUCTION

April 25, 2022

Project: Nicholas Building - Estimate for Envelope, Core & Shell
Address: 1114 Florence Blvd.
 Omaha, NE 68102
Prepared By: Zak Olsen
Date: 4/29/2022



Unit Legend: SF=Square Feet DY=Day MO=Month CY=Cubic Yard
 LF=Lineal Feet WK=Week EA=Each LS=Lump Sum

Specification Number	Category	Qty	Unit	\$/Unit	Item Total	Spec Total
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Direct Construction Costs

GENERAL REQUIREMENTS 6814.00

10200.00	Building Permits	1.00	LS	6814.00	6814.00	
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SITE WORKS 10400.00

24119.00	Interior Demolition of Partitions & Trash	1.00	LS	10400.00	10400.00	
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CONCRETE 101080.00

33000.00	Remove & Replace First Floor Slab on Grade	10640.00	SF	9.50	101080.00	
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MASONRY 900000.00

41200.00	Masonry Restoration	1.00	LS	900000.00	900000.00	
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METALS 191840.00

55000.00	Steel Chanel Material at Longitudinal Masonry Walls	11.20	TN	8000.00	89600.00	
55000.00	Steel Erection	1120.00	LF	72.00	80640.00	
55000.00	Simpson Tie Backs LTT19 Every 4' O.C.	288.00	EA	75.00	21600.00	

WOODS & PLASTICS 717540.00

61000.00	Joist Repairs/Sistering - Figured at 20%	6384.00	SF	22.00	140448.00	
61600.00	Remove and Replace Roof Structure at SE Section	2660.00	SF	28.00	74480.00	
61600.00	Remove and Replace Floor & Roof Sheathing	31920.00	SF	6.00	191520.00	
61600.00	Framing for Elevator and Stair Cores	1920.00	SF	56.00	107520.00	
61600.00	Wood Stairs & Rails from Level 1 to Level 3	2.00	EA	46220.00	92440.00	
61600.00	Shaft Wall at Elevator & Stair Cores	6174.00	SF	18.00	111132.00	

THERMAL & MOISTURE PROTECTION 191520.00

75300.00	EPDM Roof	10640.00	SF	18.00	191520.00	
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OPENINGS 176250.00

81113.00	Hollow Metal Doors, Frames, Hardware at Cores	6.00	EA	1985.00	11910.00	
84313.00	Aluminum Storefront	280.00	SF	48.00	13440.00	
85000.00	Historic Window Replacement	56.00	EA	2400.00	134400.00	
88500.00	Garage Doors	3.00	EA	5500.00	16500.00	

FINISHES 86991.60

92900.00	Drywall at Cores	12348.00	SF	3.85	47539.80	
95600.00	Flooring at Cores	1920.00	SF	8.65	16608.00	
99000.00	Painting at Cores	12348.00	SF	1.85	22843.80	

CONVEYING SYSTEMS 138000.00

14400.00	3-Stop Elevator	1.00	LS	138000.00	138000.00	
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FIRE SUPPRESSION 119700.00

21100.00	Fire Sprinkler System	31920.00	SF	3.75	119700.00	
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PLUMBING 90000.00

22100.00	New 6" Fire/Water Service to Building	1.00	LS	42000.00	42000.00	
22200.00	New Sanitary Service to Building	1.00	LS	36000.00	36000.00	
22300.00	Sump Pit for Elevator	1.00	LS	12000.00	12000.00	

HVAC 19800.00

23100.00	Electric Unit Heaters	9.00	EA	2200.00	19800.00	
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ELECTRICAL						436114.00
26100.00	Electrical & Fire Alarm	1.00	LS	436114.00	436114.00	
GENERAL CONDITIONS						172024.00
	Project General Conditions	1.00	LS	172024.00	172024.00	
Project Totals						

Direct Costs	\$3,358,074	Gross SF	31,920
Overhead & Profit	\$167,904	Cost per SF	\$110.46
Total	\$3,525,977		

Estimate Qualifications

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- 1) Concept estimate for budgetary purposes. This estimate addresses the building structure, fenestration, façade, (2) stair & (1) elevator cores
 - 2) Estimate Excludes: Bathrooms, interior walls, landscaping, exterior concrete, design services, material testing, bonds, builders risk insurance.

1114 Florence - Construction Timeline

	Scope	Start Date	End Date	Notes
1	Updated Construction Costs	11/1/2022	12/1/2022	Includes subcontractor bids for minority/disadvantaged
2	Design	10/15/2022	2/1/2023	Architect has been engaged and working through design concurrently with ARPA app.
3	Award Notification to Close	11/15/2022	2/1/2023	Assumption based on ARPA award timeline
4	Financial Closing	12/1/2022	2/1/2023	Debt Financing
5	Permitting	1/1/2023	2/1/2023	City of Omaha Building Permit
6	Construction	2/1/2023	4/1/2024	14-month construction process
7	Commercial Agent Engagement	6/1/2023	9/1/2023	Interviews with potential commercial agents
8	Pre-Leasing	9/1/2023	4/1/2024	Lease-up in anticipation of placement in service

Florence
White Lotus Group
Operating Proforma Summary

	Year				
	1	2	3	4	5
Operating Income					
Gross Rents	330,000	336,600	343,332	350,199	357,203
CAM Recoveries	132,000	135,828	139,768	143,824	147,999
Less Vacancy	(69,300)	(70,864)	(72,465)	(74,103)	(75,780)
Total Operating Income	392,700	401,564	410,635	419,919	429,421
Operating Expenses					
Management Fees	13,200	13,464	13,733	14,008	14,288
Grounds Maintenance	6,600	6,798	7,002	7,212	7,428
Trash Removal	1,650	1,700	1,750	1,803	1,857
Utilities	3,300	3,399	3,501	3,606	3,714
Maintenance	13,200	13,596	14,004	14,424	14,857
Property Taxes	66,000	67,980	70,019	72,120	74,284
Insurance	11,550	11,897	12,253	12,621	13,000
Other	16,500	16,995	17,505	18,030	18,571
Total Operating Expenses	132,000	135,828	139,768	143,824	147,999
Net Operating Income	260,700	265,736	270,867	276,095	281,422
Total Debt Service	216,235	216,235	216,235	216,235	216,235
Net Cash Flow	44,465	49,501	54,632	59,860	65,187
ROI	6.09%				

Sources	
ARPA Grant Funds	3,968,856
Debt Financing	2,314,316
Federal HTCE	1,203,485
State HTCE	649,935
Developer Equity	730,000
Total Sources	8,866,592

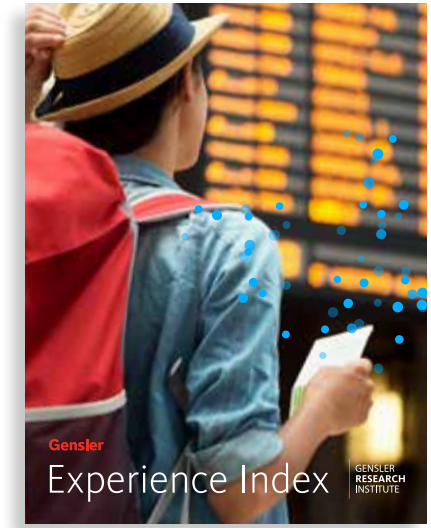
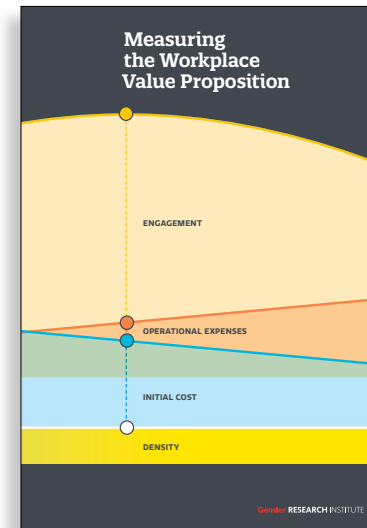
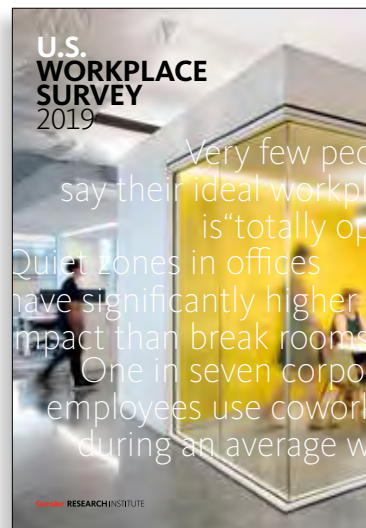
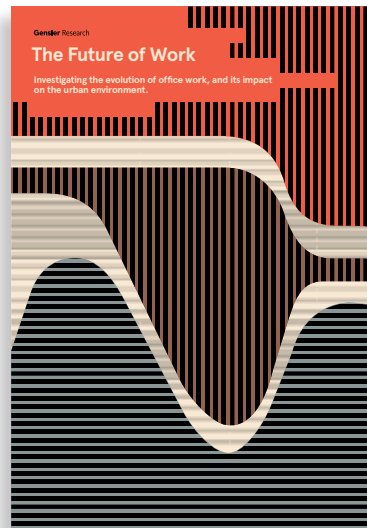
Uses	
Land Acquisition	400,000
Core and Shell	3,886,740
Tenant Improvements	2,475,000
Building Permits	95,426
Construction Contingency	318,087
Survey	5,000
Environmental	8,000
Architectural	225,000
Engineering	125,000
Construction Insurance	20,000
Title and Recording	10,000
Property Appraisal	5,000
Zoning / Legal	10,000
Taxes During Construction	8,753
Leasing Commission	216,804
Construction Loan Origination Fe	24,000
Lender Legal, Etc.	35,000
Accounting Fees	20,000
Consultant Fees	10,000
Construction Interest	219,000
Development Fee	749,781
Total Uses	8,866,592



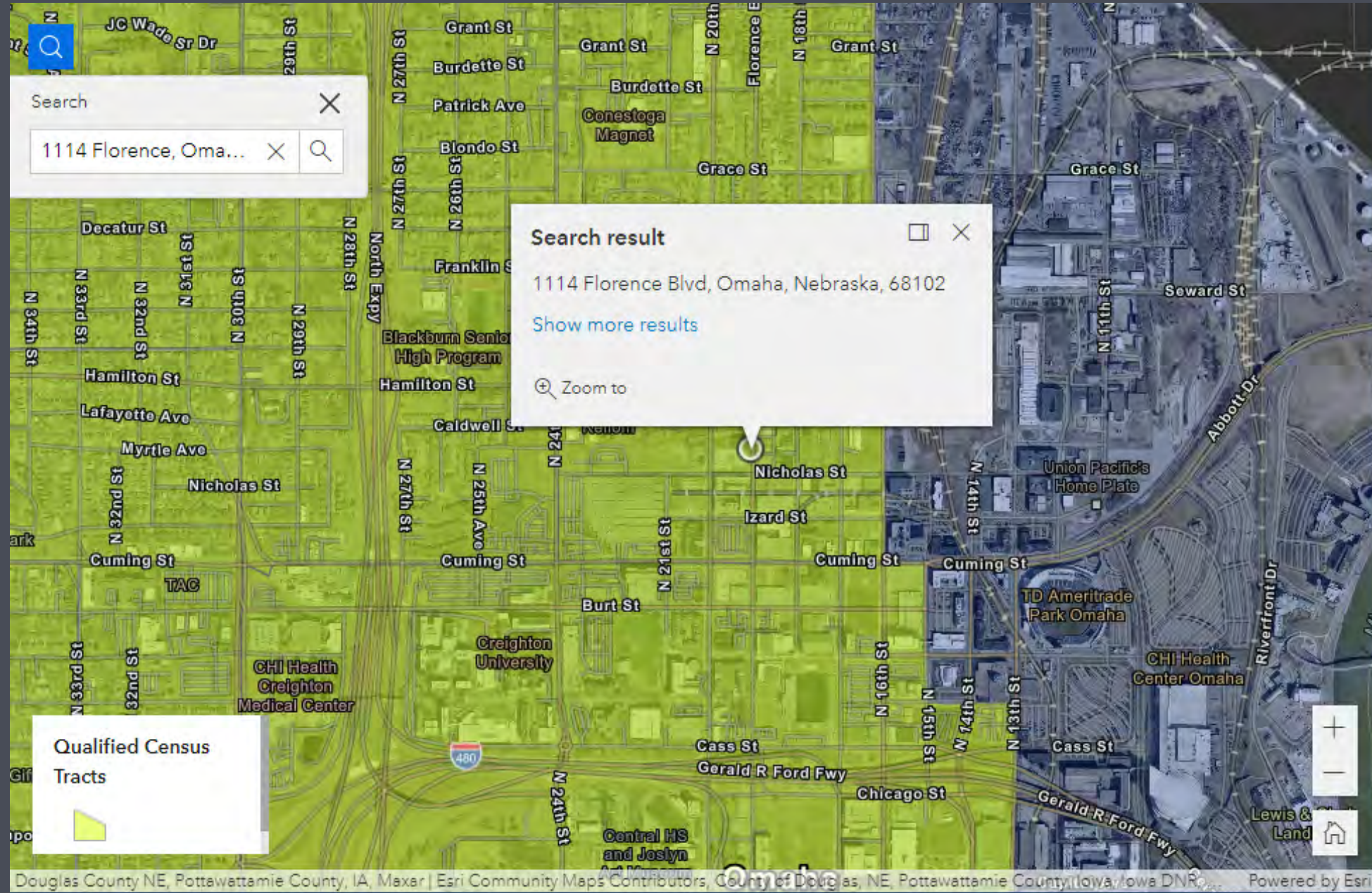
1114 Florence Boulevard - Flex Workspace

October 9, 2022

Research is Foundational to our Thinking



Qualified Census Tract



New Markets Tax Credit Eligible

The screenshot displays the 'NMTC Public Viewer' interface. At the top, a search bar contains '1114 florence, omaha'. The main map shows a green-shaded area in Omaha, Nebraska, outlined in yellow. A pop-up window over the map displays the ID '31055001200'. On the left, a 'LAYERS' panel lists various geographic and administrative layers with checkboxes. The '2015 NMTC Tract - All' layer is checked. Other layers include '2010 NMTC Tract - All', 'Opportunity Zone', 'Food Desert - 2015', 'Congressional District - No Labels', '2015 County - No Labels', 'Federal Indian Reservation', 'MSA', and 'State'. The map also shows major roads like Interstate 480 and local streets such as Dodge St and Farnam St.

Search: 1114 florence, omaha

Application: NMTC Public Viewer

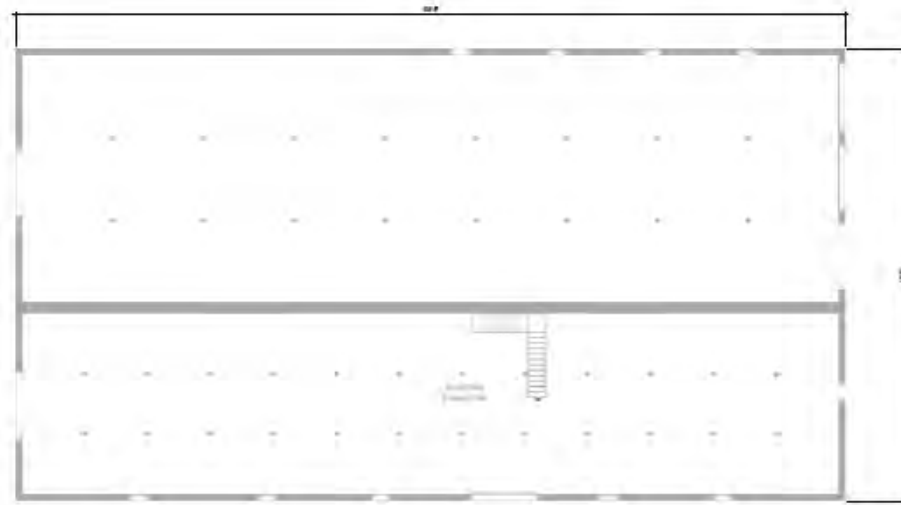
Layers:

- CDFI Headquarters
- 2015 NMTC Tract - All
- 2010 NMTC Tract - All
- Opportunity Zone
- Food Desert - 2015
- Congressional District - No Labels
- 2015 County - No Labels
- Federal Indian Reservation
- MSA
- State

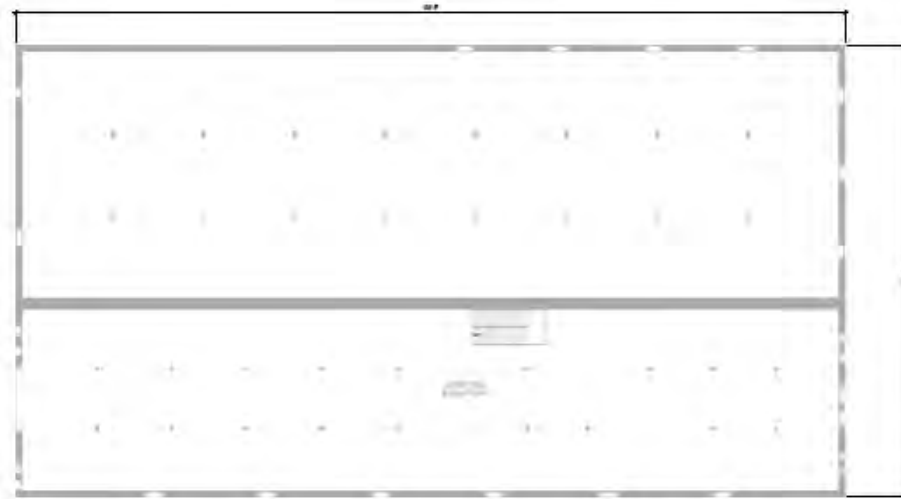
Map Pop-up: 31055001200







1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



Holland Basham
Architects

FLOOR PLANS

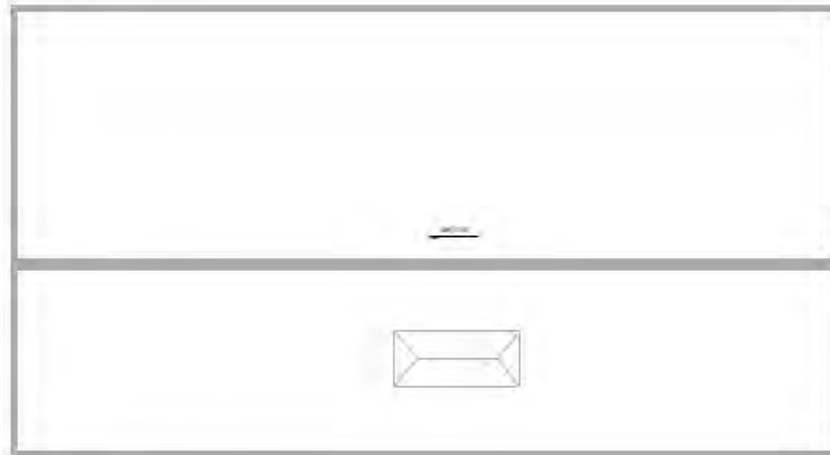
WHITE LOTUS - 1114 FLORENCE BLVD EXISTING CORE & SHELL

10/07/22

\\Gensler-FileServer\Projects\2022\White Lotus\1114 Florence Blvd\1114_FloorPlans.rvt



1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



Holland Basham
Architects

FLOOR PLANS
WHITE LOTUS - 1114 F
10/07/22

Navigation toolbar with icons for: mouse cursor, hand, zoom out, zoom in, 24.7% zoom level, copy, print, save, and share.

Today's Evolving Workplace



CHOICE + VARIETY



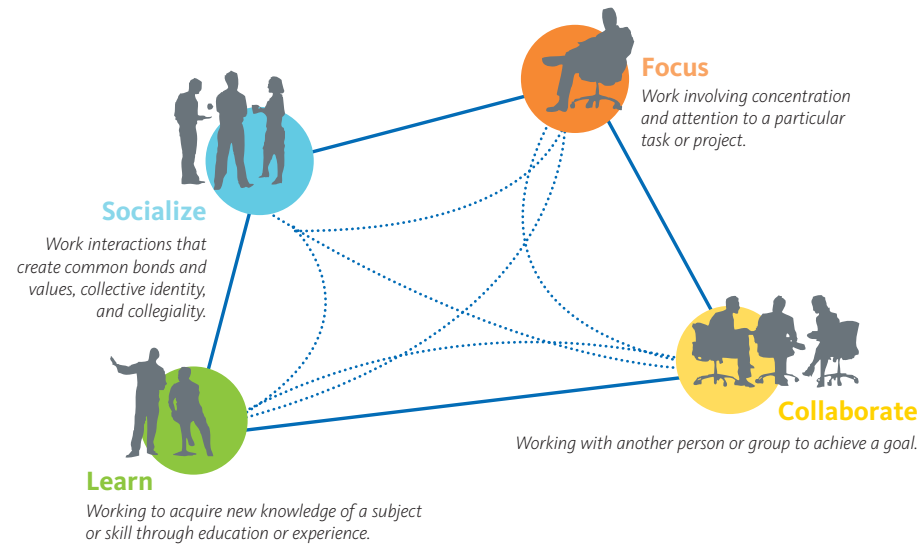
WORKPLACE WELLBEING



CONNECTION + INTERACTION

THE EVOLVING WORKPLACE

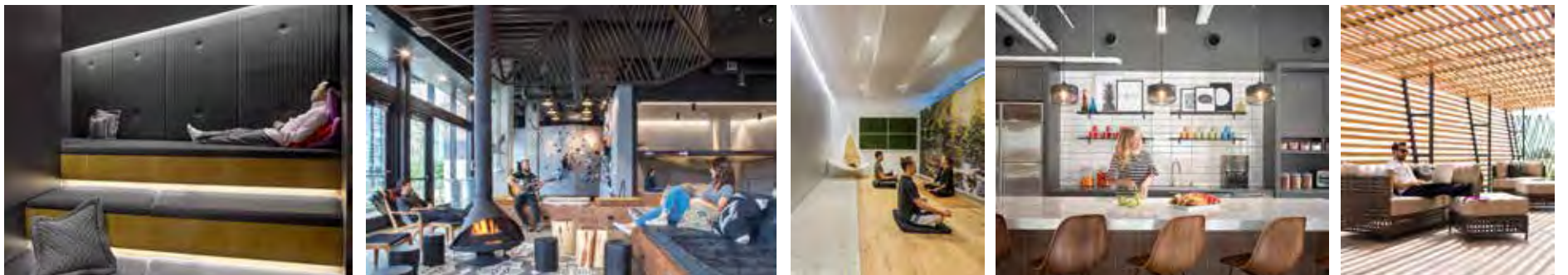
Workplace Choice



FLEXIBILITY



VARIETY



ALTERNATIVE SPACES

THE EVOLVING WORKPLACE

Workplace Wellbeing



PROMOTE ACTIVITY



ADJUST POLICIES



INCREASE DAYLIGHT ACCESS



CELEBRATE SUCCESSES



USER CONTROL



BIOPHILIA

THE EVOLVING WORKPLACE

Connections + Interactions



SCHEDULED MEETINGS



INFORMAL INTERACTIONS

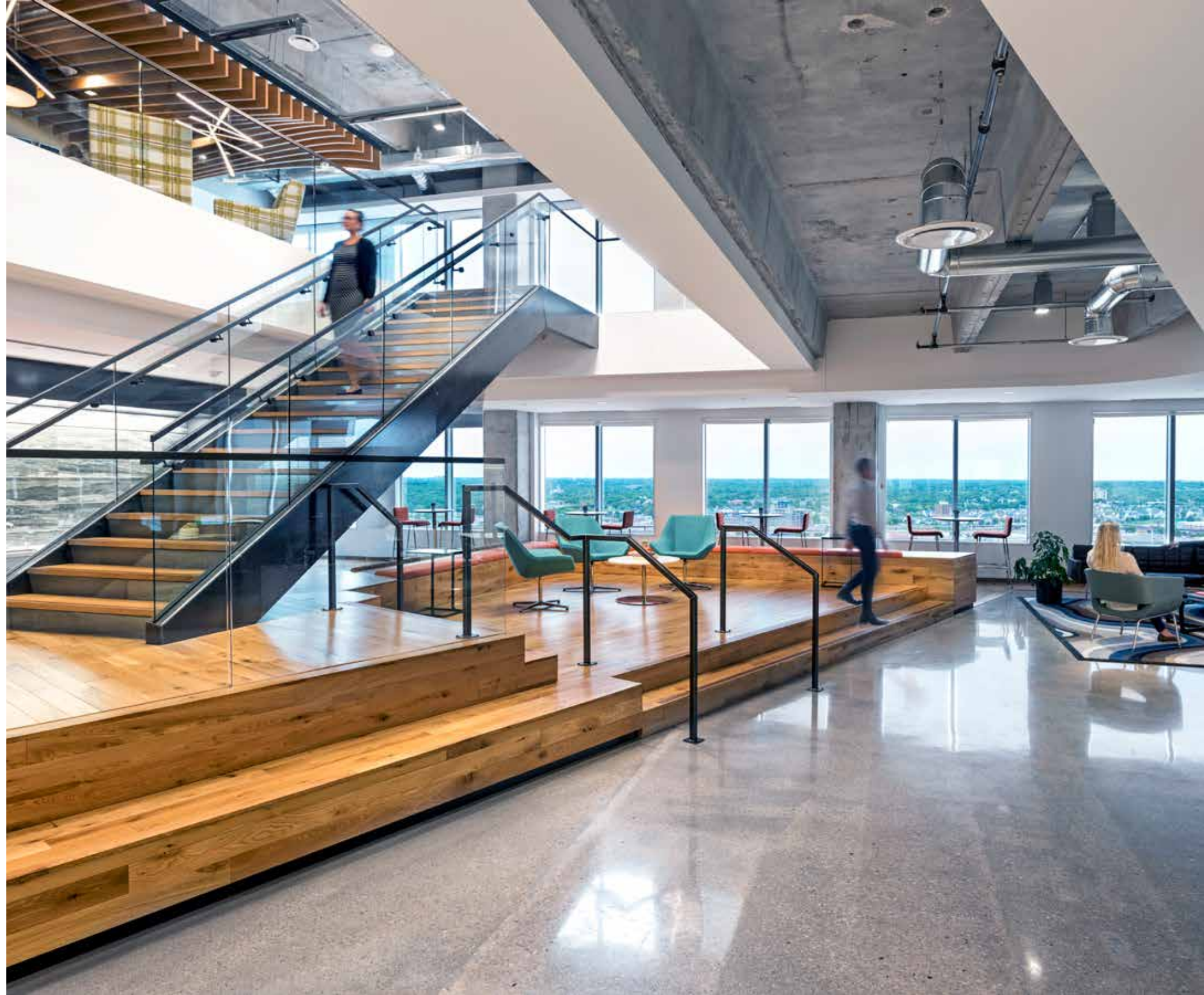


CHANCE ENCOUNTERS

Relevant Stories

**A testing
ground
for new
workplace
strategies.**

CBRE
MINNEAPOLIS



The Details

30,000 sf

The Big Ideas

- Consolidation and relocation to downtown CBD
- A place to test and showcase innovative workplace strategies and design
- Showcase history and locality of CBRE in Minneapolis, yet celebrate their global reach

Amenities & Features

Open Work

Unassigned seating

Neighborhoods support teams and offer adjacent focus, huddle, conference, and open collaboration

Office for a day spaces

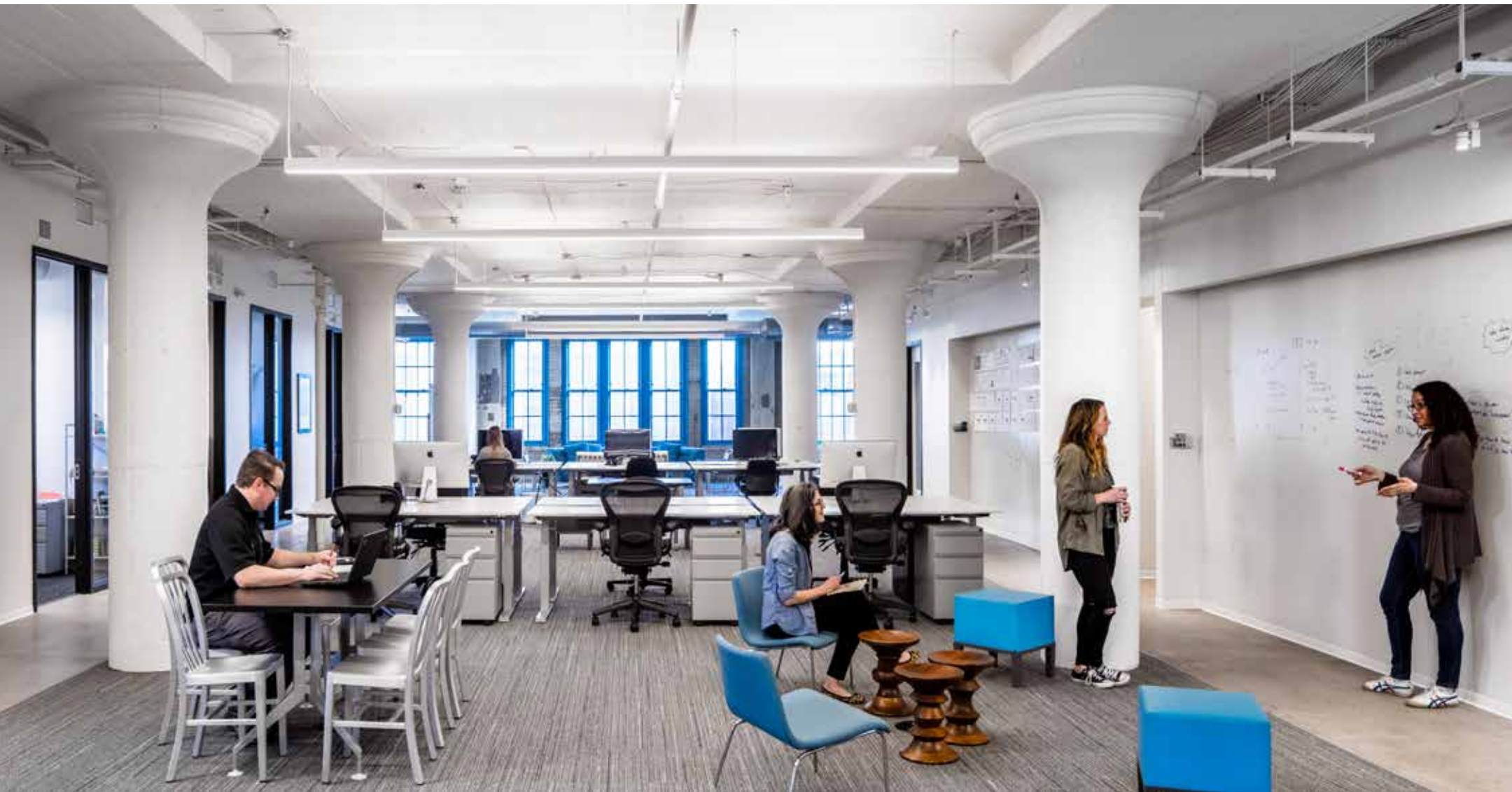
Community space



A raw and flexible home that facilitates serendipitous interaction.

CLEAR NIGHT
MINNEAPOLIS





The Details

25,000 sf

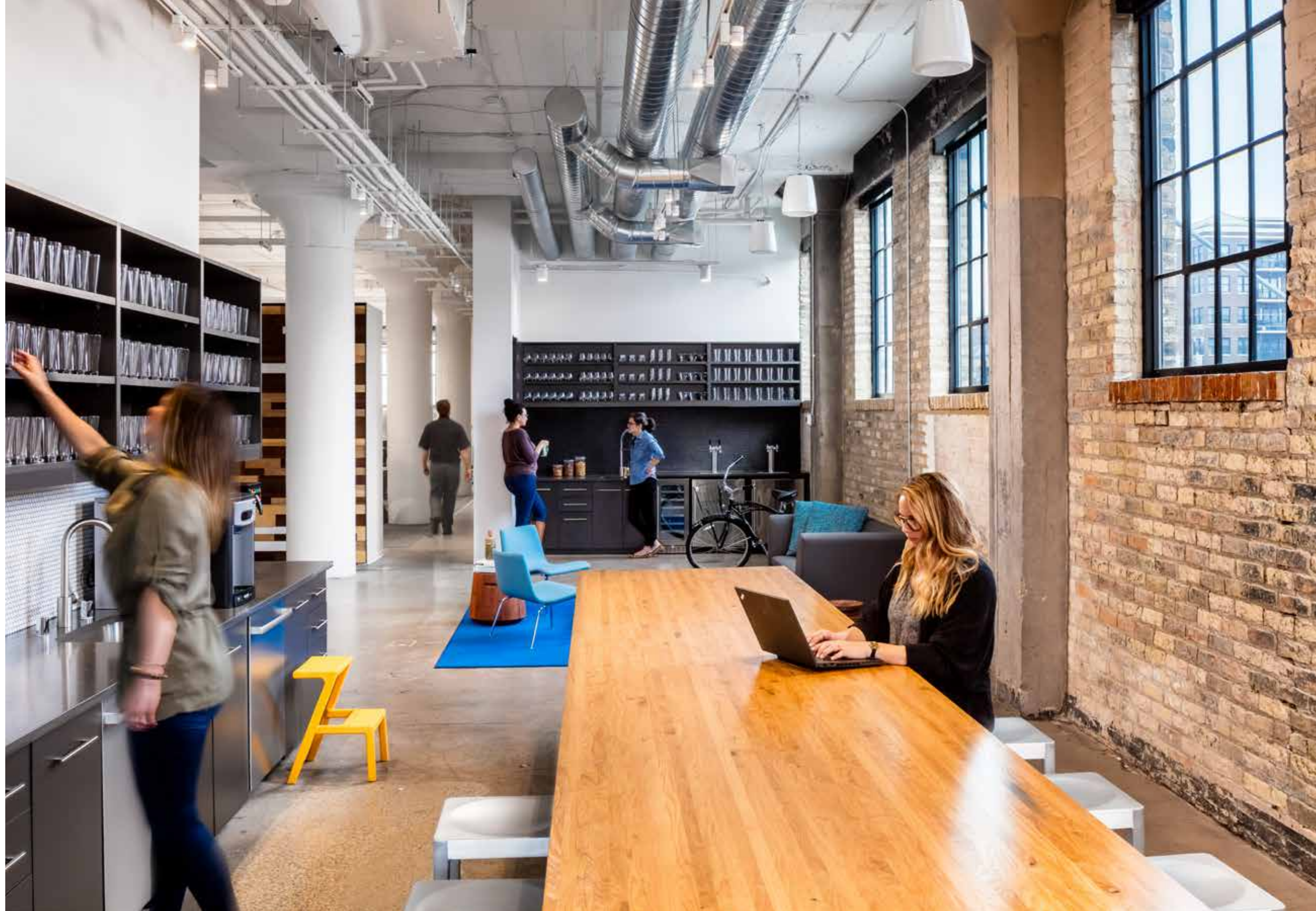
The Big Ideas

- Merger consolidating 3 creative firms under one roof
- Shared amenity spaces for collaboration among firms and staff
- Honor and celebrate beautiful historic building

Amenities & Features

Flexible “pitch” space that can be used for client presentations or as a space for respite

Pitch space opens up and connects to cafe space for large functions



A co-working destination for community-focused startups

IMPACT HUB | FINNOVATION LAB
MINNEAPOLIS





The Details

10,000 sf

The Big Ideas

- A destination for philanthropic start-ups to coalesce
 - Minimal design intervention
 - Flexible, open, transparent
 - Room for startups to grow
-

Amenities & Features

Flexible community space
can be set up for multiple
configurations and sizes

Library

Cafe / Cafe Lounge

Terrace



**A gathering
place for
entrepreneurs
with wellness at
the forefront.**

WELLWORTH

ST. PAUL



The Details

10,000 sf

The Big Ideas

- A creative, tech focused co-working amenity space within a historic, repositioned building
 - Flexible for future growth or easy reconfiguration
 - Maximize access to patio
 - Targeting WELL certification
-

Amenities & Features

Cafe

Working Patio

Open Work

Team Rooms

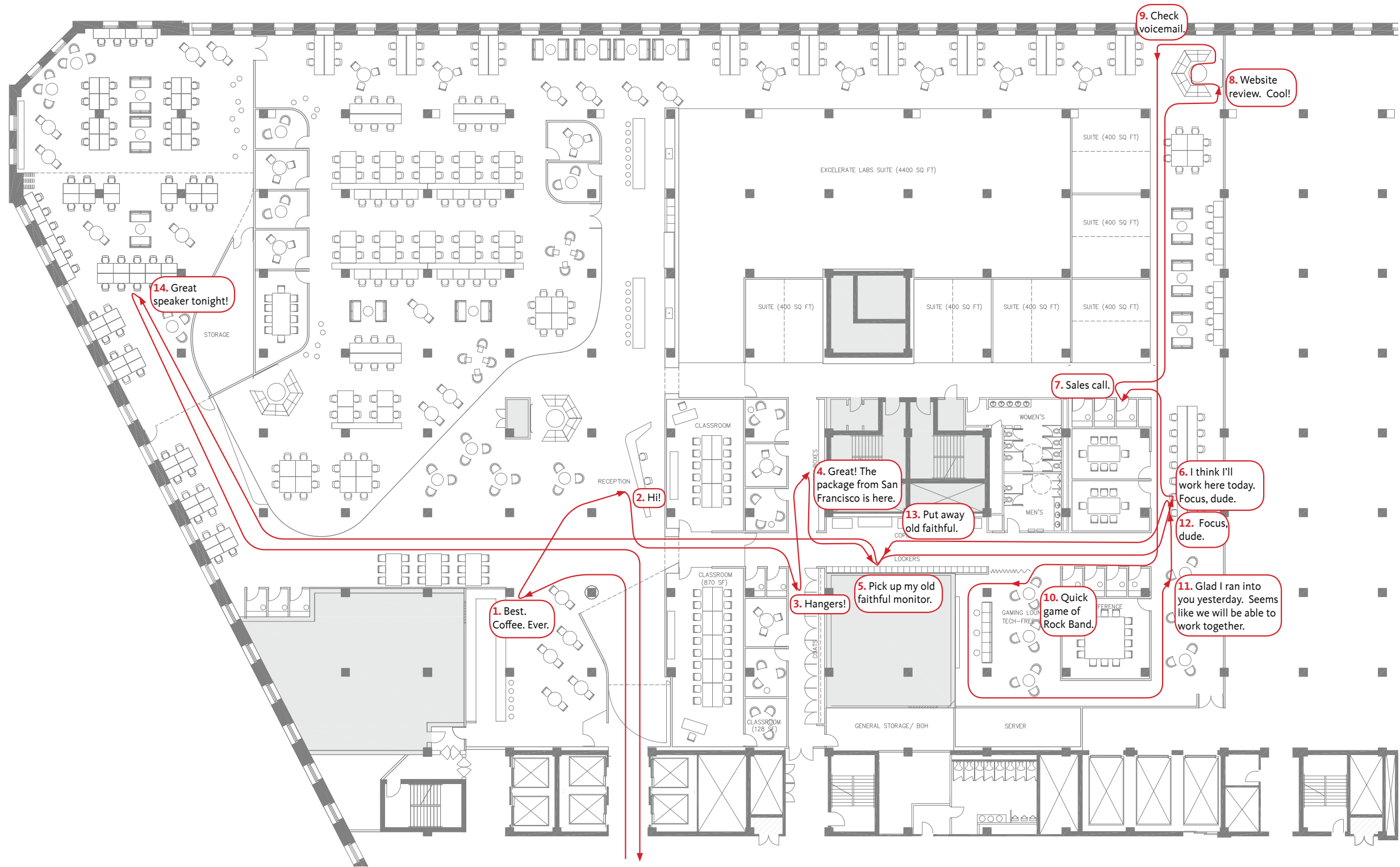
Conference



An Ecosystem to Incubate and Accelerate Business Growth.

1871
CHICAGO





Experience map of a common coworking member.



The Details

50,000 sf

Workplace renovation

The Big Ideas

- Designed to accommodate 400 entrepreneurs
 - Facilitates serendipitous collisions and supports a wide range of business functions
 - Flexible and “hackable” furniture and fixture kit of parts
 - To date, 150+ start-ups have utilized the space
-

Amenities & Features

Open and private work spaces

Classrooms

Conference Rooms

Offices

Intelligentsia Coffee



How We Get There

How we collaborate

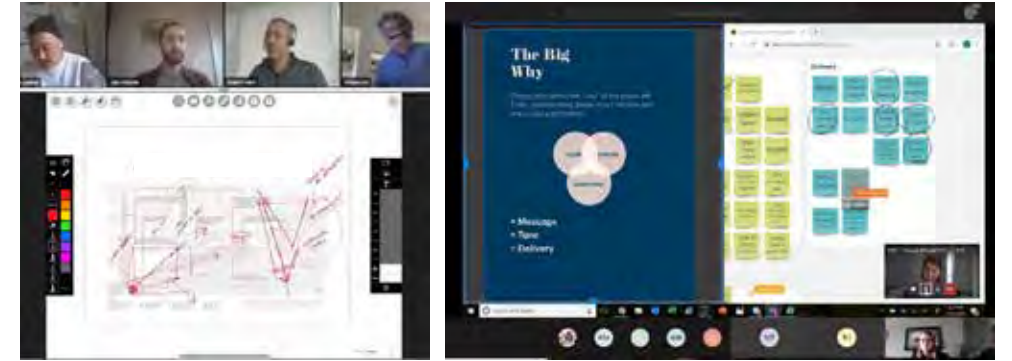
3D Studies



Visioning



Virtual Collaboration



Working Meetings

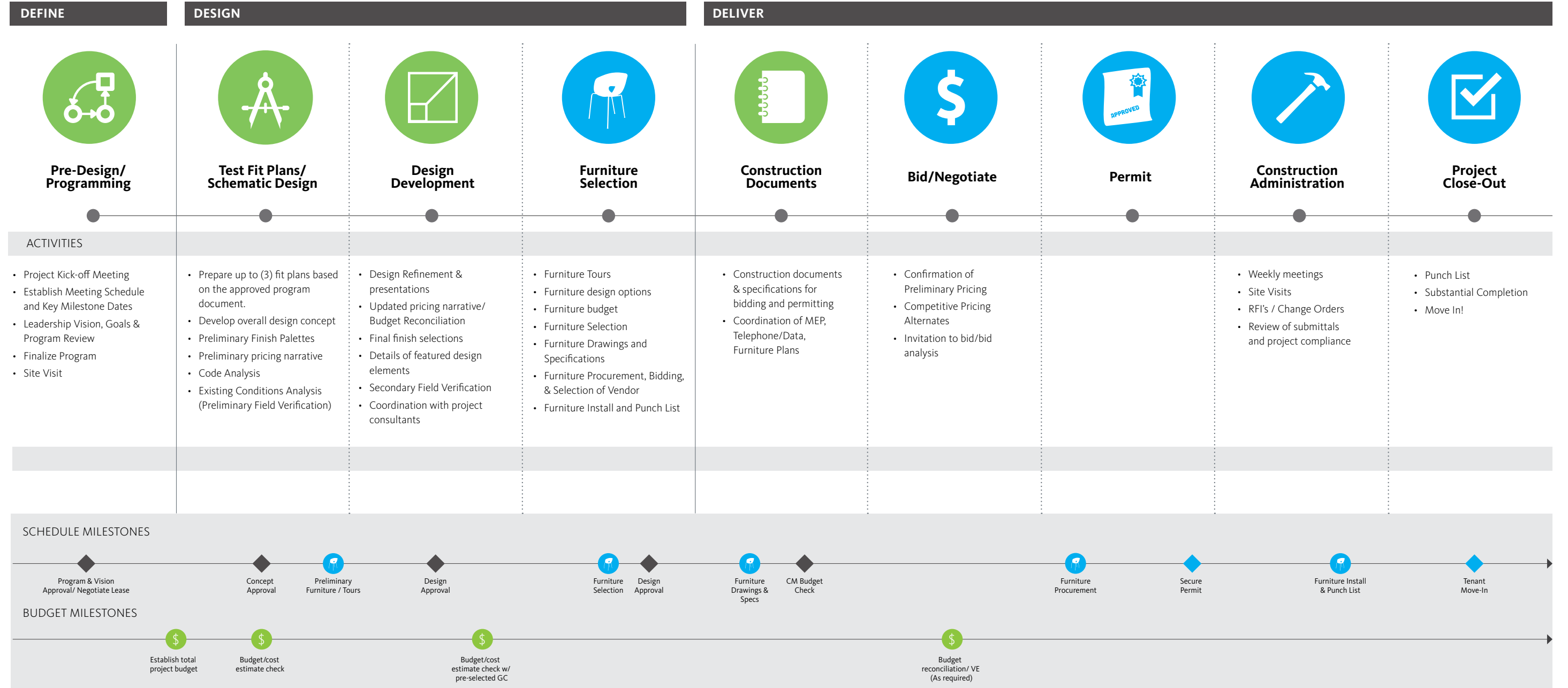


Presentation Integration

Sandbox/Programming

Process + Schedule

● Basic Service ● Add Service



Thank
You!

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name Stephenson and Williams Livery

Other names/site number Omaha Van and Storage Warehouse; DO09:0132-006

Name of related multiple property listing Warehouses in Omaha

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & Number 1114 Florence Boulevard

City or town Omaha State Nebraska County Douglas

Not for publication Vicinity

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property meets does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance: national statewide local

Applicable National Register Criteria: A B C D

SHPO/Director

Signature of certifying official/Title:

Date

Nebraska State Historical Society

State or Federal agency/bureau or Tribal Government

In my opinion, the property meets does not meet the National Register criteria.

Signature of Commenting Official

Date

Title

State of Federal agency/bureau or Tribal Government

4. National Park Service Certification

I, hereby, certify that this property is:

- entered in the National Register.
- determined eligible for the National Register.
- determined not eligible for the National Register.
- removed from the National Register.
- other, (explain): _____

Signature of Keeper

Date of Action

Stephenson and Williams Livery
Name of Property

Douglas County, NE
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5. Classification

Ownership of Property (Check as many boxes as apply)

- Private
- Public-local
- Public-state
- Public-federal

Category of Property (Check only **one** box)

- Building(s)
- District
- Site
- Structure
- Object

Number of Resources within Property (Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1		Buildings
		Sites
		Structures
		Objects
1		Total

Number of contributing resources previously listed in the National Register N/A

6. Function or Use

Historic Functions (Enter categories from instructions.)

COMMERCE/TRADE: specialty store, livery
COMMERCE/TRADE: warehouse

Current Functions (Enter categories from instructions.)

VACANT/NOT IN USE

7. Description

Architectural Classification (Enter categories from instructions.)

LATE 19TH AND EARLY 20TH CENTURY AMERICAN MOVEMENTS: Commercial Style

Materials (enter categories from instructions.)

Principal exterior materials of the property: BRICK, STONE: sandstone

Stephenson and Williams Livery

Douglas County, NE

Name of Property**County and State****Description**

Summary Paragraph (Briefly describe the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

The Stephenson and Williams Livery at 1114 Florence Boulevard is a three-story commercial style painted brick façade constructed in 1888, with a three-story addition completed c. 1905. The building is on the east side of Florence Boulevard between Nicholas and Paul Streets at the center of the block. It was built as a commercial livery and housed various transportation related ventures of its owners. Within ten years of its construction, it was occupied by Omaha Van and Storage and utilized for commercial storage. The three-story building has an open floor plan showing the heavy timber construction with exposed brick walls and wood floors. It remains the last historic building on the block and is surrounded by surface parking. Neighboring properties to the north and east are largely industrial. New residential and educational development are one block south as part of Creighton University's expansion. The building has suffered deferred maintenance but retains its historic integrity.

Narrative Description (Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable.)

Setting

This area of Omaha, considered the near north side or North of Downtown, has been rapidly changing over the past ten years. North Omaha was primarily rural in character during the first three decades after the city's founding in 1854. The area was dotted by acreages for wealthy citizens where they had views of the Missouri River and access to downtown. Large scale residential development began in North Omaha and the near North neighborhoods following population growth between 1880 and 1890. Transportation lines in Omaha contributed to development and public transportation began with a horsecar line established in 1868 which extended to North 20th and Cuming Streets, just two blocks from this building. Other commercial or industrial properties from this early development era in this neighborhood are mostly non-extant. These included marble works, Woodman Linseed Oil Works, lumber yards, and a coal yard all within several blocks of this building. Creighton University has purchased much of the land along the south side Cuming Street (two blocks south).¹ Today, the area is a mix of commercial and light industrial to the north and east, and multi-family residential and educational buildings to the southeast and southwest. Creighton University has acquired and constructed degree specific educational buildings along the south side of Cuming Street, two blocks south of this building. The north side of Cuming Street retains a mixed-use of historic commercial buildings, new residential properties, and vacant lots. The Stephenson and Williams Livery faces Florence Boulevard and remains an example of commercial warehouse type construction in the area. The building was constructed in two phases. The livery construction from 1888 was a two-story brick building with a large central hoist. After 1901 and before 1910, the three-story addition was added, along with a third story to the livery. The building present today illustrates that form.

¹ Jennifer Honebrink, Chris Jensen, and Caitlin Kolb. Reconnaissance Level Survey for North Omaha, Omaha Historic building Survey. Nebraska State Historical Society and City of Omaha, 2016. 3-5.

Stephenson and Williams LiveryDouglas County, NE**Name of Property****County and State*****Exterior***

The main façade faces east and has no setback from the sidewalk right-of-way. It is divided into two distinct bays. The southern bay constructed in 1888 as the livery, and the northern bay constructed c. 1905 for Omaha Van and Storage Company. The finish brick is laid in a simple running bond with a variety of coursing techniques that provide texture and detail to the face of the building and illustrates the skill of the craftsman. The bays are divided on the main elevation by a corbeled pilaster. The 1888 brick face has three large openings at the first level: a wide oversized center opening flanked by two large window openings. The center is garage door size and flanked by bullet shaped stone bollards on either side. This was most likely the main carriage and horse entry. No historic windows or doors are present at this elevation with all openings covered by plywood sheeting. The second story of the south bay has four paired window openings. Fenestration has textured stone sills and lintels with four decorative brick panels in the center of the bay. Windows at the second level are separated by projecting rounded brick attached column-like details. Third level fenestration has a center paired window flanked on either side by individual window units. These openings have stone sills and triple segmental arched header course of brick as lintel. Stepped corbeled brick adds detail to the corners and a center pilaster along with corbeled brick at the cornice line.

The c. 1905 addition reflects the design aesthetic of the 1888 bay, but in a simpler less ornamented fashion. The first level has three large openings: a central garage type bay flanked on either side by large display or storefront type windows. The center opening has a metal overhead garage door and the openings that flank the center bay are covered with plywood. Three single second story windows have stone sills and lintels and a stone band that extends across the façade at the top of each window. Three single windows are at the third level, each with a triple row segmental arch header course as lintel and with stone sills. Matching corbeled cornice and stepped corbeled pilaster define the northeast corner.

The south elevation is a simple façade with one large entry mid-way down the wall. This entry has a segmental arched lintel and is covered with plywood sheeting. Fenestration on this wall consists of regularly spaced small sized window units with segmental arched lintels and stone sills. Second and third level windows are fixed four pane wire glass units with double hung one-over-one windows at the first level. Many of these windows are missing because of deterioration or have been removed and infilled over the years.

The north exterior wall is like the south but remains the only unpainted wall of the exterior. Regularly spaced, smaller scale windows appear to be double hung one-over-one units, most of which are gone. A large painted sign at the east end of the north wall advertises it's long-term tenant as "Omaha Van & Storage Co." There are no windows in the western end of this wall.

The back or west wall shows significant damage and deterioration. Though the building is in generally fair to poor condition throughout, the south side of the west wall has sustained fire damage and is showing signs of diminished structural integrity. The 1888 bay has a central large entry in line with the front entry which most likely afforded a straight line-of-site for horses and carriages to traverse through the building. This opening is repeated on the second and third levels. The second level central opening is flanked by two segmental arched windows while there are no windows flanking the center opening on the third floor. One large door that slides horizontally is on the first floor of the c. 1905 addition. There are only two windows on each second and third level on this wall.

Stephenson and Williams LiveryDouglas County, NE**Name of Property****County and State*****Interior***

The interior has exposed brick walls and heavy timber construction with wood columns and posts throughout. The 1888 bay has one finished interior room with windows and a bathroom area centrally located on the first floor. At the center of the footprint is a large, open freight elevator that accesses all three levels. Historic Sanborn Fire Insurance Maps indicate that this was a hoist when originally constructed, and most likely converted to an elevator when the north bay was added. One open stair accesses all three levels and is in the 1888 building. Aside from the freight elevator, this is the only vertical circulation in the building today. Timber beams cant slightly at the east and west ends of the footprint on all levels. Wood plank finished floors are located throughout all levels of the building. There are areas of structural damage from water infiltration where floors have deteriorated, holes have appeared, and structural beams have become disconnected from the walls.

The c. 1905 addition is also heavy timber with an open floor plan on all levels. There is one wall opening between the two bays. The simple rectangular plan has regularly spaced columns and no subdivided rooms. Numbers are painted on the beams that appear to date from the historic period and may identify areas of storage from when the building was occupied by Omaha Van and Storage Company around 1898.

Very few original/historic windows remain in the building, though remnants do illustrate window configuration. Historic photographs have not been discovered to support the historic evolution of the building. Joist pockets are evident in the brick walls and may illustrate areas of a storage mezzanine and of former additions to the building, prior to construction of the c.1905 bay.

Assumptions

The interior of the building has remnants of structural beams embedded in the brick walls at the west side of the south bay. These may have supported a loft or mezzanine level from the period when the building was used for storage. Historic Sanborn Fire Insurance Company maps indicate that the 1888 building was constructed as a two-story brick stable with central hoist. Within ten years the building was occupied by Omaha Van and Storage Company. 1901 maps show they added a two-story addition at the west end of the north elevation that was used as van storage and a stable. Between the 1901 and the 1910 maps, the three-story bay and a third story addition to the 1888 building were both completed. The dimensions noted on the Sanborn map, match the dimensions of the building today. The "L" shaped configuration (which included the two-story livery) was present in maps up to 1918. Later maps for this area are not available and building permits and historic research have not been found to support additions. However, it can be assumed from the historic maps that the livery was constructed as a two-story building, and when Omaha Van and Storage occupied the building, they constructed the addition and added the third story as well as converted the hoist to a central freight elevator.

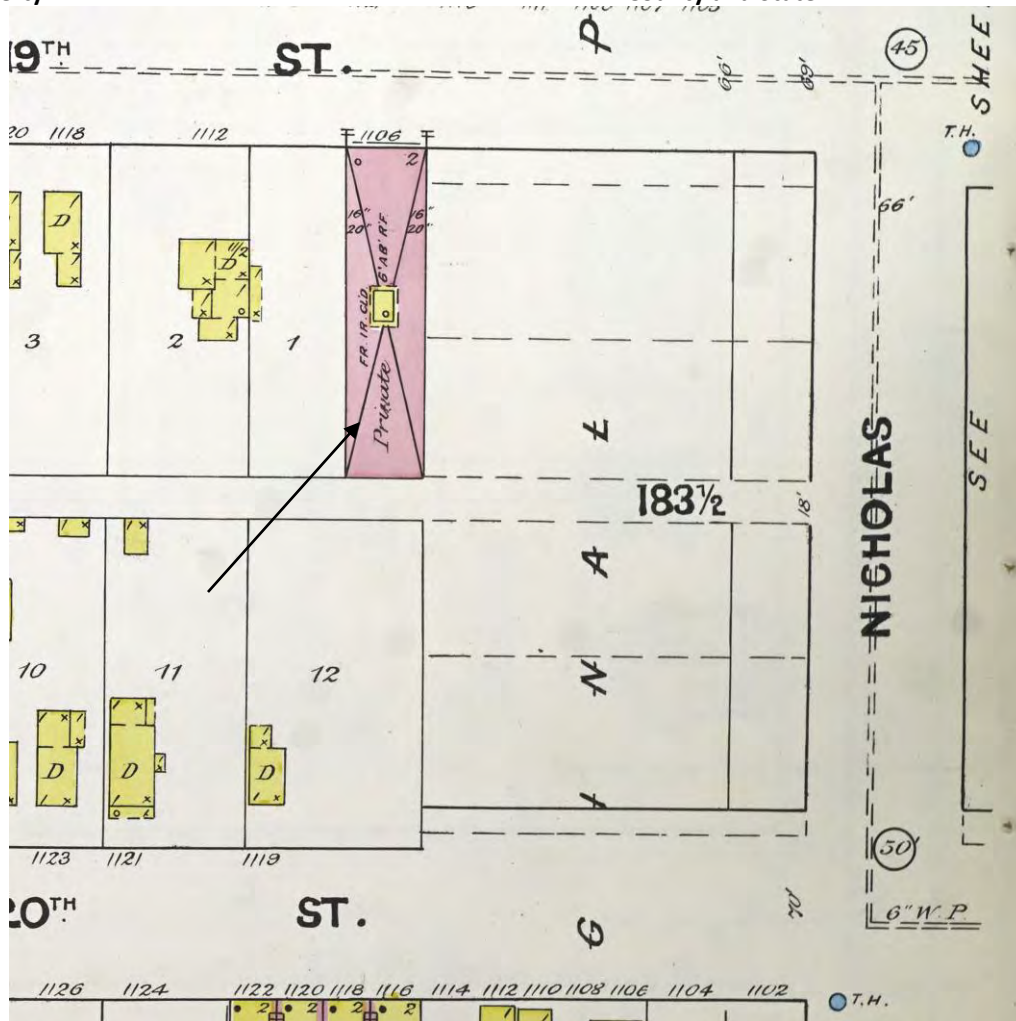
Though the building is generally in fair to poor condition, it does retain historic integrity. The materials, craftsmanship, setting, feeling, association, location, and design are largely intact. It also represents a relatively rare property type, given its early construction date and heavy timber construction that is becoming rare across Omaha's built environment.

Stephenson and Williams Livery

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1890 Sanborn Fire Insurance Map showing the property marked with an "X" shape indicating it was a stable, a number 2 indicating it had two stories, and the yellow square with open circle indicating a frame center hoist with tin or slate roof.

Stephenson and Williams Livery
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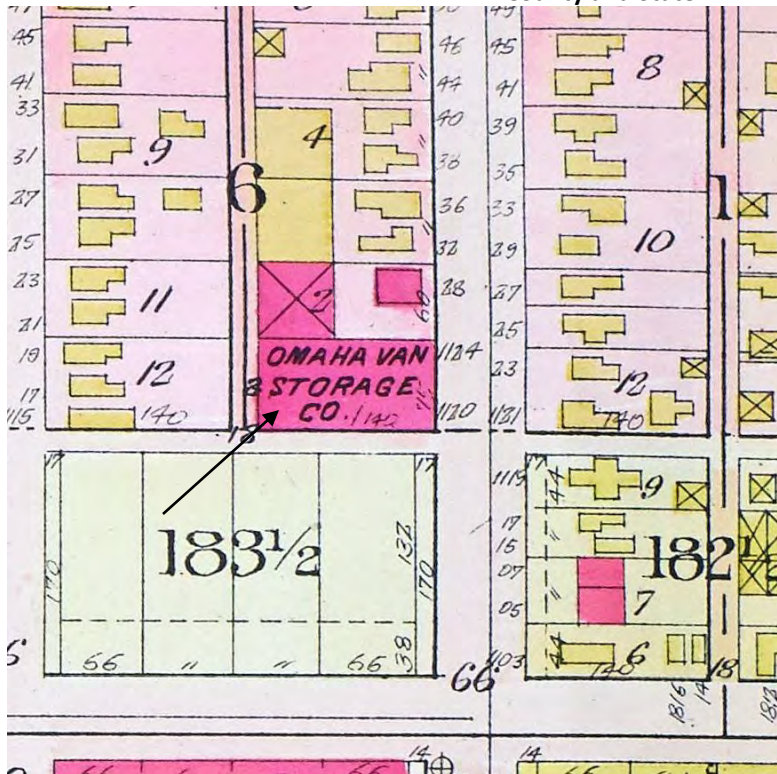
1901 Sanborn Fire Insurance Map showing the property has been converted to the Omaha Van and Storage Company Warehouse with a two-story brick van storage shed and stable. The two additions create an "L" shaped footprint.

Stephenson and Williams Livery

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1910 Sanborn Fire Insurance Map showing the building with the new full footprint of 75 X 140 feet and a two-story masonry stable.

Stephenson and Williams Livery
Name of Property

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8. Statement of Significance

Applicable National Register Criteria

(Mark "X" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations

(Mark "X" in all the boxes that apply.)

Property is:

- A** Owned by a religious institution or used for religious purposes.
- B** Removed from its original location.
- C** A birthplace or a grave.
- D** A cemetery.
A reconstructed building, object, or structure.
- E** A commemorative property.
- F** Less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions.)

COMMERCE

Period of Significance

1888-1935

Significant Dates

1898, c. 1905

Significant Person

(Complete if Criterion B is marked above.)

N/A

Cultural Affiliation

N/A

Architect/Builder

N/A

Stephenson and Williams Livery

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Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Stephenson and Williams Livery is a three-story painted brick building constructed in 1888 as a commercial livery. James Stephenson and Cornelius F. Williams provided funerary services, supplied horses for organized tours, hired coaches for tourism activities, and housed the Western Stage and Express line, along with the Omaha Cab Company among several other business ventures. Within ten years of its construction, it changed hands and was purchased by Omaha Van and Storage Company as a storage warehouse. They built a three-story addition that was completed c. 1905. The period of significance begins in 1888 the year it was constructed and extends through 1935 when the building was vacant, and its use as commercial moving storage by a single tenant ceased. After 1940, other storage uses and various small businesses were located here, and by 1970 it was again vacant. It is locally significant under Criterion A in the area of commerce as a representative example of early commercial activity in Omaha and businesses that served a niche market. It also contributes to the *Warehouses in Omaha Multiple Property Document* (MPD) as an example of the open plan warehouse building type associated with the c. 1905 addition. It is a significant example that contributes to the local robust jobbing industry in Omaha. The building has been vacant for many years and though deferred maintenance has contributed to deterioration and loss of some historic material, as well as structural issues, the building does retain its physical integrity.

Narrative Statement of Significance (Provide at least **one** paragraph for each area of significance.)

Stephenson and Williams Livery

James Stephenson was born in New York in 1836. Between 1850 and 1860 he moved between Iowa and New York, before arriving in Omaha. He traveled across the American West landing in cities including Denver and Fort Laramie as a driver for the Western Stage Company. In 1865, at the age of 29, he purchased all their stage routes and horses in Nebraska and settled permanently in Omaha. He also purchased the rite to transfer mail and baggage on the line. Both businesses were built on literal horsepower until 1871, when the Missouri River Bridge was built by the Union Pacific Railroad. Then he rented one-half of a railway car to bring mail across the bridge. He exclusively handled all the mail that came to and from Omaha except for one small route to Elkhorn City, a small community just north of Omaha. Stephenson also operated multiple stage lines across the region that totaled more than 1,000 miles. His diverse business opportunities all focused on horses.²

He began his commercial livery business in 1868 following the purchase of the stage line. In 1870 Omaha City Directories he was also listed as a Union Pacific Railroad traveling agent, and by 1872 his livery and stable business was well advertised. He built his first stable at the southwest corner of 10th and Harney Streets in 1880 to accommodate 90 horses. He soon occupied additional space at a second stable at Capitol Avenue between 14th and 15th Streets. He owned 160 horses to run his stage routes and an additional 90 that served in other aspects of his business. Managing 250 horses in his liveries across Omaha was a notable task. One narrative described his stables as well drained and kept very tidy. Drainage and cleanliness associated with these commercial liveries was critical to the community to control manure, stench, and bugs. Stephenson was married in Plattsmouth, Nebraska to Mary Van Etta.

² A.T. Andreas and Raymond E. Dale. History of the State of Nebraska. Western Historical Company, A.T. Andreas, proprietor (Chicago, IL), 1882. Accessed www.kancoll.org/books/andreas_ne/

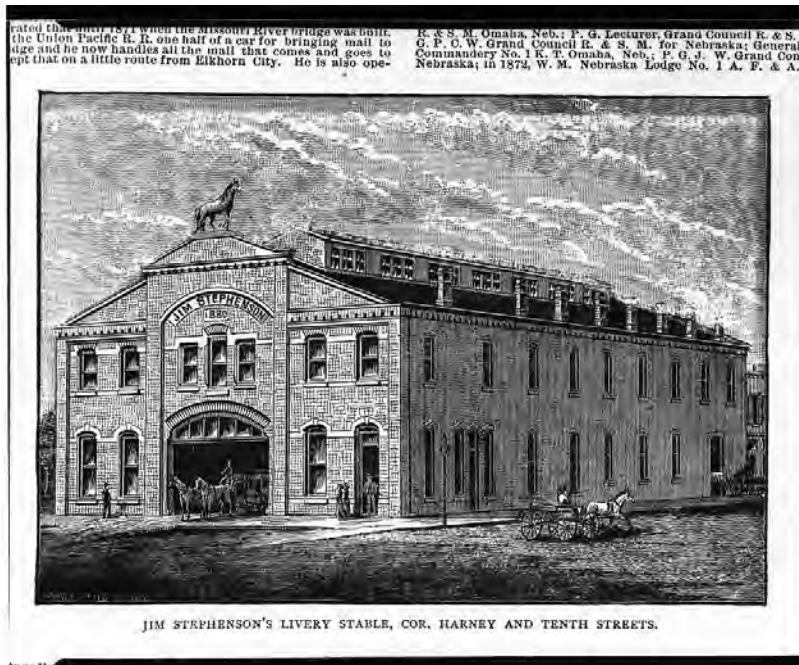
Stephenson and Williams Livery

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Together they had four children: Bessie, Mildred, James, Jr. and William. He was active in the community and served on Omaha's city council for four years.



Stephenson's first livery building at the southwest corner of 10th and Harney Streets in Downtown Omaha. Image courtesy "Omaha Memories" cited below.

In 1882, Stephenson was a critical player in what was termed the "Dump Strike" in Omaha. The Burlington and Missouri railroad purchased land for a new track and freight depot at the 6th Street intersection with their track. Among Stephenson's businesses was a grading and filling service, and he was contracted to grade and fill the area for construction of a new freight depot. The contract price was so low that he could not pay his workers more than \$1.00 to \$1.35 per day which was not considered a living wage in Omaha at that time. The men struck for higher wages and refused to allow others to work. Stephenson called for help and the mayor, Governor, and eventually the Nebraska Militia who patrolled the streets of downtown Omaha responded. Mayor James Boyd took to the streets and read his Riot Act proclamation from a chair at 14th Street near the Paxton Hotel, attempting to calm protestors. The militia marched up 10th Street to Jackson Street to establish camp, instituted martial law with an 8:00 p.m. curfew and grading at the site was done under protection of the militia. This is widely considered the first organized labor revolt in Nebraska history.³

Stephenson's business efforts settled after the Dump Strike, and he continued to prosper, though seemed to veer away from grading and filling business. As his business grew, he constructed this building, at the time a two-story brick livery on Florence Boulevard. Stephenson partnered with C.F. William to request a building permit from the city for a brick barn, 88 x 140 feet at a cost of \$10,000 in Horbach's addition to the city in 1887.⁴ This was a desirable location on the Omaha Horse Railway Company line and linked to downtown. In 1889, the year after its construction, the building was threatened when there was

³ "Omaha Memories by Ed. F. Morearty, Atty at Law." Douglas County, Nebraska Genealogy and History, Chapter III. www.genealogytrails.com/nebraska/douglas/omaha_memories.com

⁴ Building Permits. *Omaha World Herald* (Omaha, Nebraska) 26 October 1887, 1.

Stephenson and Williams Livery

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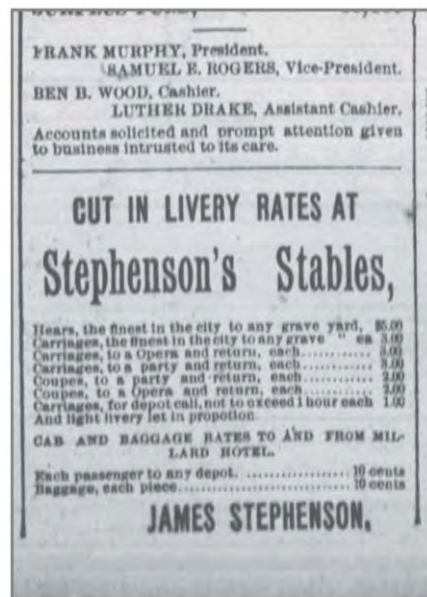
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a move to acquire the block to construct a baseball field. Baseball was very popular with many business-sponsored teams around the city. The block between Nineteenth, Twentieth, Nicholas, and Paul Streets was mostly empty, and was proximate to railcar lines, making it desirable. The site was bypassed because the “only building of any value upon the ground is a feeding stable belonging Stephenson and Williams.”⁵

Stephenson showed his long-standing respect for James Boyd by hanging a portrait of him over the door of the stable. Boyd served as a two-term mayor of Omaha from 1881-1883 and from 1885-1887, and was elected governor of Nebraska in 1892. Boyd was involved with the Dump Strike as mayor of Omaha and earned Stephenson’s respect and lifelong support. The *Omaha Daily Bee* wrote on October 7, 1890 that “It is in accord with the eternal fitness of things that Jim Stephenson should have a great portrait of Jim Boyd over his livery stable door. Jim fought for Jim on the B&M dump.”⁶

Stephenson and Williams ran several businesses out of their livery stables. These included horse rentals for day trips or simple travel around the city, stable services for those who lived in town and did not have sufficient land for their own barns, and horse drawn wagons and carriages were also rented from the building. Stray or unclaimed animals were often sent to their stable. Hearse services for funerals were provided for \$5.00 and it was noted that he offered “the finest in the city to any grave yard.” Carriages were rented for tourism or parties to local recreation areas as well as formal coupes to the opera or railroad depots. Papers noted that a “merry crowd of young people who boarded one of Stephenson’s coaches and enjoyed all the hilarious pleasure of a coaching party to Lake Manawa.” Stephenson and Williams also retained exclusive contracts to provide cab and baggage rates to and from the Millard Hotel. Passengers to any depot could get a ride for ten cents and each bag was ten cents.⁷



Advertisement for Stephenson’s Stables showing rates and services. *Omaha Daily Bee*, 18 April 1888.

⁵ _____. *Omaha World Herald*. (Omaha, Nebraska), 27 September 1889, 1.

⁶ _____. *Omaha Daily Bee* (Omaha, Nebraska) 7 Octo. 1890, 4.

⁷ “Cut in Livery Rates at Stephenson’s stables.” *Omaha Daily Bee* (Omaha, Nebraska), 18 April 1888, 8; “Coaching Party” *Omaha Daily Bee* (Omaha, Nebraska), 22 September 1889, 16.

Stephenson and Williams Livery
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One profitable venture was to contribute to organized tours for wealthy groups and dignitaries that required distant transportation. The livery provided horses for military excursions and once supplied eight four-horse teams to assist with luggage, where they hauled luggage amounting to 50,000 pounds and belonging to the Fort Douglas and Bridger troops between Bordeaux and Fort Robinson, a distance of more than 150 miles in northwest Nebraska.⁸

Former Mayor James Boyd also served as the president of the Omaha Board of Trade which was established in 1877 to promote the commercial development of the city. Stephenson outfitted a Board of Trade excursion to take in the landscape Chadron in northwest Nebraska in the Spring of 1889.⁹ Narratives of the trip noted that the horse drawn coaches traversed a landscape that was relieved only by the occasional sod house or “wretched dug-out.” Many participating in the trip traveled by train and relied on Stephenson’s horses and carriages to carry them through the beautiful scenery of Long Pine, Nebraska. The coaches and horses traveled in train cars and unloaded when the party was drive to areas such as Fort Niobrara which was a little more than four miles from the train station. His horses were described as the best mix of greys and roans, and his two largest stages were freshly painted, his harnesses oiled and his horses shod for the grand excursion. For this trip he took 13 horses, six of which were gray and bay and were considered beauties.¹⁰

During his years of operation, Stephenson was listed as owning sale stables, was an alderman for the 1st Ward, served on the City Council in 1880, operated grading and railroad contracting, managed the Omaha Cab Company, and was proprietor of the Western Stage Line out of this building. By 1898 Stephenson was only listed as having a personal residence in Omaha. He was 62 years old, and Williams is not referenced in City Directories at all. The Stephenson and Williams livery operated for ten years at this location.

Omaha Van and Storage

The next phase of the building’s history was as storage for the Omaha Van and Storage Company. They purchased the building in 1898 as their storage warehouse and stable. Remnants of a painted sign on the north brick wall still identifies Omaha Van and Storage Company. The company was owned by brothers John and Martin Bekins who began their business in Sioux City, Iowa in 1891 with three horse-drawn vans and twelve employees.¹¹ They expanded to Omaha and occupied this building as their first warehouse here. The building fit their needs with access that allowed the horse-drawn vans to be driven directly into the building for unloading. The open plan with a central hoist was defined mostly by the wood columns across the floorplan. They added stables to the northwest corner of the building to maximize space within the building for object storage and to provide shelter for their moving carriages (referred to as vans) and their horses.¹²

⁸ “Fort Robinson’s Fitful Fire.” *Omaha World Herald* (Omaha, Nebraska), 25 April 1889, 2.

⁹ Warehouses in Omaha, MPD

¹⁰ “Kipping the Country O’er.” *Omaha Daily Bee*, (Omaha, NE), 25 April 1889, 2.

¹¹ Sioux City, Iowa is approximately 97 miles directly north of Omaha and was a solid business and railroad economy similar to Omaha’s. Expansion to Omaha was a logical decision with a similar economy and population.

¹² “The History of Bekins: 125 Years of Expert Moving.” Accessed 8-16-2022 at www.bekins.com/why-bekins/history

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The Bekins brothers were clever businessmen who grew their company with attention to technological advancements of the day. The steam engine and the continental railroad system greatly enhanced opportunities for expansion and mobility. They established an office in Los Angeles in 1895 and a household shipping company in Chicago in 1898 to link their shipping and storage service across the country. In the same year they established their presence in Omaha with Omaha Van and Storage in this building. As a major stop along the transcontinental railroad, Omaha had a robust jobbing industry, much of which can be attributed to the city's location that supplied transportation for westward migration and development. Personal object storage was among the many other storage services provided by warehouses in Omaha. Through these locations, the company pooled their shipments from locations across the eastern United States for transport to California. This plan contributed to their rapid growth during the first half of the twentieth century. The industry of public warehousing emerged at this time because many prospered as the result of a strong and growing American economy. Families often owned more than one residence and excess furniture required storage.¹³ The Omaha location was a strong mid-point to transfer materials and goods and store them in this warehouse while organizing long distance travel plans.

They converted the livery portion of this building to their storage warehouse and added additional storage for their vans and stable for their horses at the northwest corner of the building in 1898. Bekins added again to this building around 1905. The three-story addition was constructed using a heavy timber structure. This was toward the end of the period of heavy timber in Omaha as construction methods were largely shifting to concrete framing for fire safety. They stored everything from automobiles, carriages, pianos, and large furniture items in the building. They also converted the central hoist to an open freight elevator to accommodate their business. Though Bekins built an early concrete and steel warehouse in 1906 in Los Angeles, they chose not to do that here. This could be an effort to match the existing construction of the livery, particularly with the third-floor addition to the existing building.¹⁴

Bekins company grew across Omaha as well and occupied other storage buildings. By 1909, they constructed another building at 808 S 16th St (DO09:0120-006). The administrative offices as well as additional storage were housed here. Another building at 621 South 15th Street (DO09:0121-069) was built by Western Newspaper Union in 1916 and later occupied by Bekins. The size of the three buildings occupied by the company reflects their growing business. Both later occupied buildings have massive painted wall signs with the Bekins name. The building at 1114 Florence Boulevard is the only one known to retain the original Omaha Van and Storage painted sign, before the company standardized their naming to Bekins.¹⁵ Bekins painted massive signs on their buildings as illustrated in the images below.

¹³ Ibid.

¹⁴ "History of Bekins Company" posted in www.referenceforbusiness.com/history2/79/Bekins-Company. Accessed 8-16-2022.

¹⁵ Omaha City Directories. Field survey information.

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Omaha Van and Storage at 808 S 16th Street Advertisement from 1910 City Directory



Bekins Building at 808 S 16th Street from 1991 photo collection at City of Omaha. This building still stands today, but the signs have been painted over.

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Former Bekins Building at 621 S 15th Street. This building was built as the Western Newspaper Union in 1916 and later converted to Bekins storage. It has been rehabilitated and today houses apartments. Re-opening previously infilled windows impacted the visibility of the Bekins sign.

Bekins modernized their business by aggressively replacing their horse drawn vans with motor trucks, primarily on the west coast. The first trucks were two-cylinder, air-cooled engines and by the end of World War I, the company no longer used horse-drawn vans. By this time, they had a major presence in the Northwest, Colorado, Iowa, and Nebraska and were owned and operated by the children and grandchildren of the founders. The company is credited with developing a method to accommodate cross-country moves by creating a network of warehouses, train schedules, and coordinating deliveries. They are also credited with the first transcontinental motor van move, accomplished in 1928. Their van left Sioux City and arrived in Los Angeles, two weeks later via a route following the Santa Fe Trail.¹⁶

The company continued to grow and in 1940 regional offices, like Omaha Van and Storage were combined to form Bekins Van Lines (Bekins). The company needed larger buildings and land to accommodate parking. In their infancy, locations were chosen in city centers and within warehouse districts, however with expanding suburban communities supported by automotive technology, Bekins chose to begin relocating its warehouses to outlying areas as well. The occupation of this building follows this format as it was vacant between 1935 and 1940. This marks the end of the period of significance. Additionally, Bekins' business plan began to focus on large cross-country moves, with two of their most notable moves during this period being relocating the Brooklyn Dodgers to Los Angeles and the New York Giants to San Francisco in 1958.¹⁷

¹⁶ Ibid.

¹⁷ Ibid.

Stephenson and Williams Livery

Douglas County, NE

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Bekins continued to innovate into the 1960s and 1970s, a must to stay relevant in an industry with increasing competition. By 1987 they tracked 95% of their shipments through integrated online computer systems. The company remains in business today with locations across the country.

Omaha Van and Storage Company's (later Bekins Van Company) rich history in Omaha is an excellent example of flourishing warehouse industry, made profitable in part because of the city's location as a stepping off point for many moving west and for those settling in Omaha. As the first company to specialize in moving household goods they led the moving and storage business away from horse-drawn wagons into motor trucks by 1903, and this warehouse along with their office contributed to the warehousing and jobbing industry in the city. This building represents that early growth in Omaha.

Omaha Warehouses

As a storage warehouse for much of its history, the building falls under the *Warehouses in Omaha Multiple Property Document* (MPD) as part of the context Wholesale Jobbing in Omaha, 1875-1941. Though the building was not constructed as a warehouse, the three-story addition and its use as a storage facility throughout the majority of the historic period, contribute to this context. It meets the function and form described in the nomination as a building that provided space for the "storage and distribution of finished products, and to a lesser degree, to provide for the storage of raw materials and associated space..."¹⁸ The majority of warehouses across the city housed businesses that were associated with wholesale operations, however some served ancillary purposes such as structures that were built to provide space for storage. As a property type it is significant under Criterion A in the area of commerce for association with the jobbing and storage industry in Omaha. Omaha was a historically important distribution center for goods shipped and stored throughout the west by rail. Under Section IV, *Registration Requirements* this building meets the typology of the significant property type based on its function and association with the warehousing industry. The MPD included all known warehouse structures in and around eastern downtown Omaha, the location of the vast majority of late nineteenth and early twentieth century structures of this property type in the city.¹⁹

Property types were defined by their utilitarian function, structural systems, lot size, and configuration. To maximize commercial locations, warehouses tended to consume the entirety of their building sites with no setbacks and multiple stories. They are generally built directly on the property line and typically only the street facing elevations of warehouses were embellished. The c. 1905 addition to this building conforms to these building typologies as defined in the MPD.

Warehouse property types typically illustrated fireproof construction with exterior masonry walls, with the use of concrete as a structural system and fireproofing method first seen in the 1905 Crane Company Building. It was considered the first warehouse building to use concrete for its fireproofing qualities and marked the beginning of a period where this building method increased. However, many earlier (pre-1910) warehouses had hybrid structural systems that combined various wood framing systems with masonry walls. The Stephenson and Williams livery represents these tenants throughout its design with timber framing, exposed structural members, wood floors, and masonry walls. Most systems were easily expanded and additions to existing buildings were common. The stable was designed in a very similar

¹⁸ Omaha Warehouses, MPD. Sections II, II and IV.

¹⁹ Ibid.

Stephenson and Williams Livery

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fashion to the construction methods used in many of the warehouses, so expanding to accommodate the new use after 1898 was not an uncommon occurrence in Omaha.

The two-story 1888 warehouse conforms to the warehouse trend at the time, which included smaller two-story buildings. Additionally, the MPD notes that “Omaha warehouses gain additional significance in architecture for the representation of the evolution of industrial building design in the late nineteenth centuries in the areas of structural technology, aesthetic appropriateness and fire safety, and for association with the city’s most prominent architects.”²⁰ The Stephenson and Williams Livery warehouse, in representing two different eras of construction, showcases the difference in aesthetic appropriateness and fire safety design very appropriately.

The building relates to the Omaha narrative of economic growth from the pattern of westward migration due to its association with James Boyd, mayor of Omaha and Governor of Nebraska, and the Omaha Board of Trade that stimulated economic growth and expansion. Stephenson and John Bekins through Omaha Van and Storage represent the businesses from that era.

Conclusion

This building represents a relatively rare example of early commercial construction in Omaha. It is an important contributing resource to an area of commerce that is specific to the historic period: the commercial livery stable and moving storage company. Owners Stephenson and Williams built the brick stable to support a successful business enterprise focused on the use of horsepower. From daily rentals to pleasure tours, to commercial cab services, the building served their prospering business for ten years. It additionally contributes to the development of the warehouse industry in Omaha. Omaha Van and Storage is a long-standing business still in operation today, developed and expanded the building to serve their specific warehouse needs. Though not initially built as a warehouse, its’ early conversion to personal goods storage and the large addition that accommodated this use places it strongly within the property types of Omaha warehouses. Vacancy and unauthorized occupations over the past twenty years have taken a toll on the building, however, it does retain its physical integrity. The exterior main façade illustrates the skilled masons who built corbeled and raised brick work across the facade and combined the new addition with the existing building. The interior space remains simple open warehouse with exposed wood columns and timber structural supports. The building is locally significant under Criterion A for its contribution to early commerce in Omaha. The period of significance begins in 1888 and extends through 1935 when the commercial storage businesses in the building ceased.

²⁰ Omaha Warehouses, MPD. Sections II, III, and IV.

Stephenson and Williams Livery
Name of Property

Douglas County, NE
County and State

9. Major Bibliographic References

Bibliography (Insert bibliography here – cite the books, articles and other sources used in preparing this form.)

A.T. Andreas and Raymond E. Dale. History of the State of Nebraska. Western Historical Company, A.T. Andreas, proprietor (Chicago, IL), 1882. Accessed www.kancoll.org/books/andreas_ne/

Building Permits. *Omaha World Herald* (Omaha, Nebraska) 26 October 1887

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“Coaching Party” *Omaha Daily Bee* (Omaha, Nebraska), 22 September 1889

“Fort Robinson’s Fitful Fire.” *Omaha World Herald* (Omaha, Nebraska), 25 April 1889.

Honebrink, Jennifer and Chris Jensen. Reconnaissance Level Survey for North Omaha. Nebraska State Historic Preservation Office and City of Omaha, 2016.

“Kipping the Country O’er.” *Omaha Daily Bee*, (Omaha, NE), 25 April 1889.

Meyer, Lynn. *Omaha Warehouses Multiple Property Document*, National Register of Historic Places, October 1991.

_____. *Omaha World Herald*. (Omaha, Nebraska), 27 September 1889,

_____. *Omaha Daily Bee* (Omaha, Nebraska) 7 Octo. 1890

“Omaha Memories by Ed. F. Morearty, Atty at Law.” Douglas County, Nebraska Genealogy and History, Chapter III. www.genealogytrails.com/nebraska/douglas/omaha_memories.com

Sanborn Fire Insurance Map from Omaha, Douglas and Sarpy County, Nebraska. Sanborn Map company, Vol. 4,-Sep 1962, 1962. Map. https://www.loc.gov/item/sanborn05229_014/.

Stephenson and Williams Livery
Name of Property

Douglas County, NE
County and State

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67 has been requested)
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey #
- recorded by Historic American Engineering Record #
- recorded by Historic American Landscape Survey #

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other (Name of repository)

Historic Resources Survey Number (if assigned): DO09:0132-006

10. Geographical Data

Acreage of property Less than 1 USGS Quadrangle Omaha North

(Use either the UTM system or latitude/longitude coordinates. Delete the other.)

Latitude/Longitude Coordinates

Datum if other than WGS84: _____

- | | | | | |
|----|----------|-------|-----------|-------|
| 1. | Latitude | _____ | Longitude | _____ |
| 2. | Latitude | _____ | Longitude | _____ |
| 3. | Latitude | _____ | Longitude | _____ |
| 4. | Latitude | _____ | Longitude | _____ |

OR

UTM References

Datum (indicated on USGS map): _____

NAD 1927 or NAD 1983

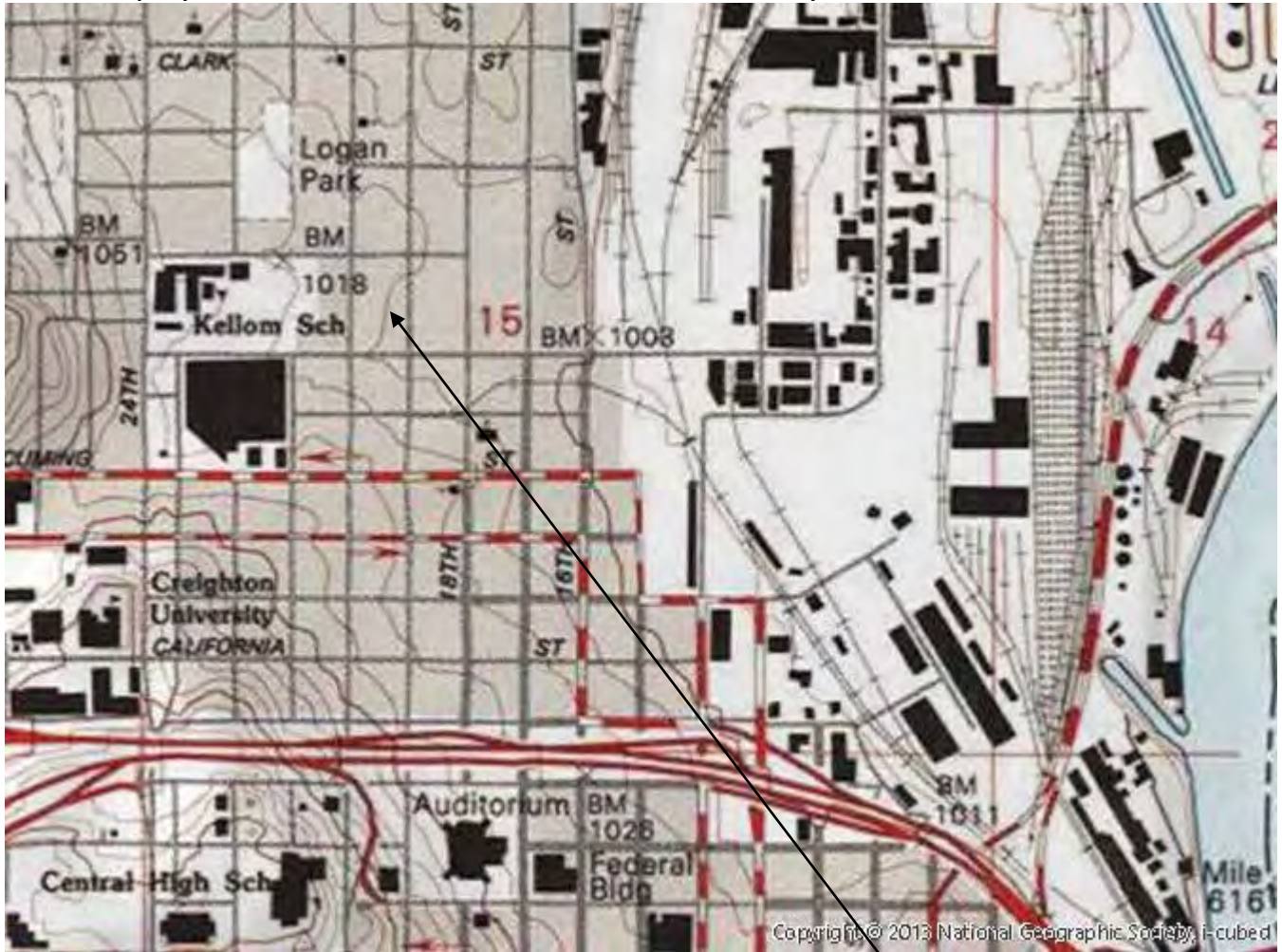
- | | | | | | | |
|----|------|-----------|---------|---------------|----------|----------------|
| 1. | Zone | <u>15</u> | Easting | <u>253619</u> | Northing | <u>4572982</u> |
| 2. | Zone | _____ | Easting | _____ | Northing | _____ |
| 3. | Zone | _____ | Easting | _____ | Northing | _____ |
| 4. | Zone | _____ | Easting | _____ | Northing | _____ |

Stephenson and Williams Livery

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Omaha North USGS Topo Map. Arrow indicates location of Stephenson and Williams Livery.

Stephenson and Williams Livery Douglas County, NE
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Verbal Boundary Description (Describe the boundaries of the property.)

This property includes the legal lot associated with the building, and at the street address of 1114 Florence Boulevard. The building resides at the center of a half city block bounded by Florence Boulevard to the east, Paul Street to the North, North 21st Street to the west and Nicholas Street to the south. The rectangular plan building has no setback from the sidewalk and its approximately 75 foot width extends approximately 150 feet east/west to terminate and approximately the center line of the block.

Legal address of Horbachs 2nd Addition, Lot 1 Block 6, vacated alley on South and ½ vacated alley on west and all of lot 1 84.3 by 149 feet.

Boundary Justification (Explain why the boundaries were selected.)

The boundary selected is the lot historically associated with the building.

11. Form Prepared By

name/title Melissa Dirr Gengler
organization Historic Resources Group, Inc. date July 2022
street & number 2840 Calvert Street telephone 402-770-5877
city or town Lincoln state NE zip code 68502
email melissa@hrg-nebraska.com

Additional Documentation

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to map.
- **Additional items:** (Check with the SHPO for any additional items.)

Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property Stephenson and Williams Livery
City or Vicinity Omaha County Douglas State Nebraska
Photographer Melissa Dirr Gengler Date Photographed July 2022

Description of Photograph(s) and number, include description of view indicating direction of camera.

Stephenson and Williams Livery
Name of Property

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1. Main (east) façade camera looking northwest from Florence Boulevard.



2. South wall, camera looking northwest.

Stephenson and Williams Livery
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3.South wall, camera facing north.



4.North wall, camera facing south.

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5. West wall, camera facing east.



6. First floor, north bay, camera facing east.

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7.Freight elevator in south bay, camera facing west.

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8.2nd floor, south bay camera facing southeast.



9.2nd floor, north bay, camera facing west.

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10.2nd floor, north bay, camera facing east.



11. 3rd floor, south bay, camera facing west.

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Douglas County, NE
County and State



12.3rd floor, south bay, camera facing east.



13.3rd floor, north bay camera facing northeast.

Stephenson and Williams Livery
Name of Property

Douglas County, NE
County and State

Exterior Photo Site Key



Stephenson and Williams Livery
Name of Property

Douglas County, NE
County and State

First Floor Interior Photo Site Key

Storage Warehouse
1114 Florence Bd

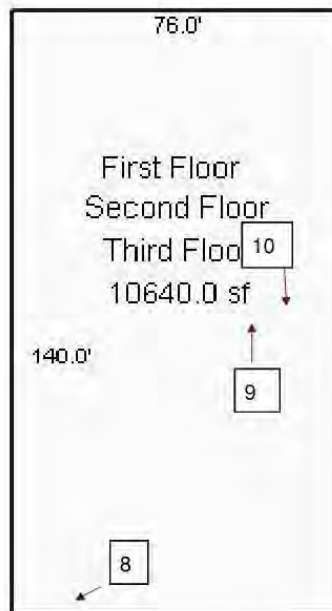


Stephenson and Williams Livery
Name of Property

Douglas County, NE
County and State

Second Floor Interior Photo Site Key

Storage Warehouse
1114 Florence Bd

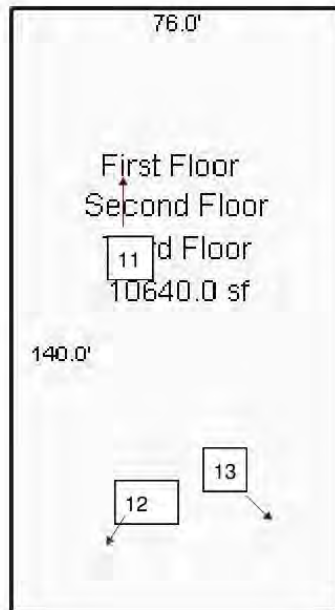


Stephenson and Williams Livery
Name of Property

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Third Floor Interior Photo Site Key

Storage Warehouse 1114 Florence Bd



Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.



Landmarks Heritage Preservation Commission

DISPOSITION AGENDA

Wednesday, September 14, 2022

Public Meeting:

1:30 PM, Room 1210 – 12th Floor

Omaha/Douglas Civic Center
1819 Farnam Street

Landmarks Heritage Preservation Commission (LHPC) Members: Scott Dobbe (Chair), Joan Fogarty (Vice Chair), Kathryn Aultz, Andrew Conzett, Michael Sharp, Jaime Suarez and Curt Witzenburg.

Certification of Publication: Omaha Preservation Administrator certifies publication in the Daily Record, the official newspaper of the City of Omaha, on Friday, September 2, 2022 re: Landmarks Heritage Preservation Commission meeting, Wednesday, September 14, 2022

NEW BUSINESS:

NATIONAL REGISTER OF HISTORIC PLACES NOMINATION:

CASE NUMBER: 22-037-H5

LOCATION: 1114 Florence St

APPLICANT: Melissa Dirr

REQUEST: National Register nomination
[CLG Review + Recommendation]

BOARD ACTION: APPROVED 5-0.

Douglas County, Nebraska Property Record - R1403160000

Information is valid as of 2022-10-07

[Print Report](#)
[View Interactive GIS Map](#)
[Treasurer's Tax Report](#)
[Subdivision Sales Search](#)

Great Feature → → →**Taxpayer**

WEBSTER REHAB LLC

10404 ESSEX CT #101
 OMAHA NE 68114-0000

Property Information

Key Number:	0316 0000 14
Account Type:	Industrial
Parcel Number:	1403160000
Parcel Address:	1114 FLORENCE BLVD OMAHA NE 68102-0000
Abbreviated Legal Description:	HORBACHS 2ND ADD LOT 1 BLOCK 6 VAC ALLEY ON S & 1/2 VAC ALLEY ON W & ALL LOT 1 84.3 X 149

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$50,200	\$247,700	\$297,900
2021	\$50,200	\$175,900	\$226,100
2020	\$50,200	\$175,900	\$226,100
2019	\$50,200	\$175,900	\$226,100
2018	\$50,200	\$175,900	\$226,100
2017	\$50,200	\$150,700	\$200,900

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.28	12560.0	0.0	0.0	0.0	

Improvement Information**Building 1**

[CLICK TO ENLARGE IMAGE](#)

Storage Warehouse
1114 Florence Bd



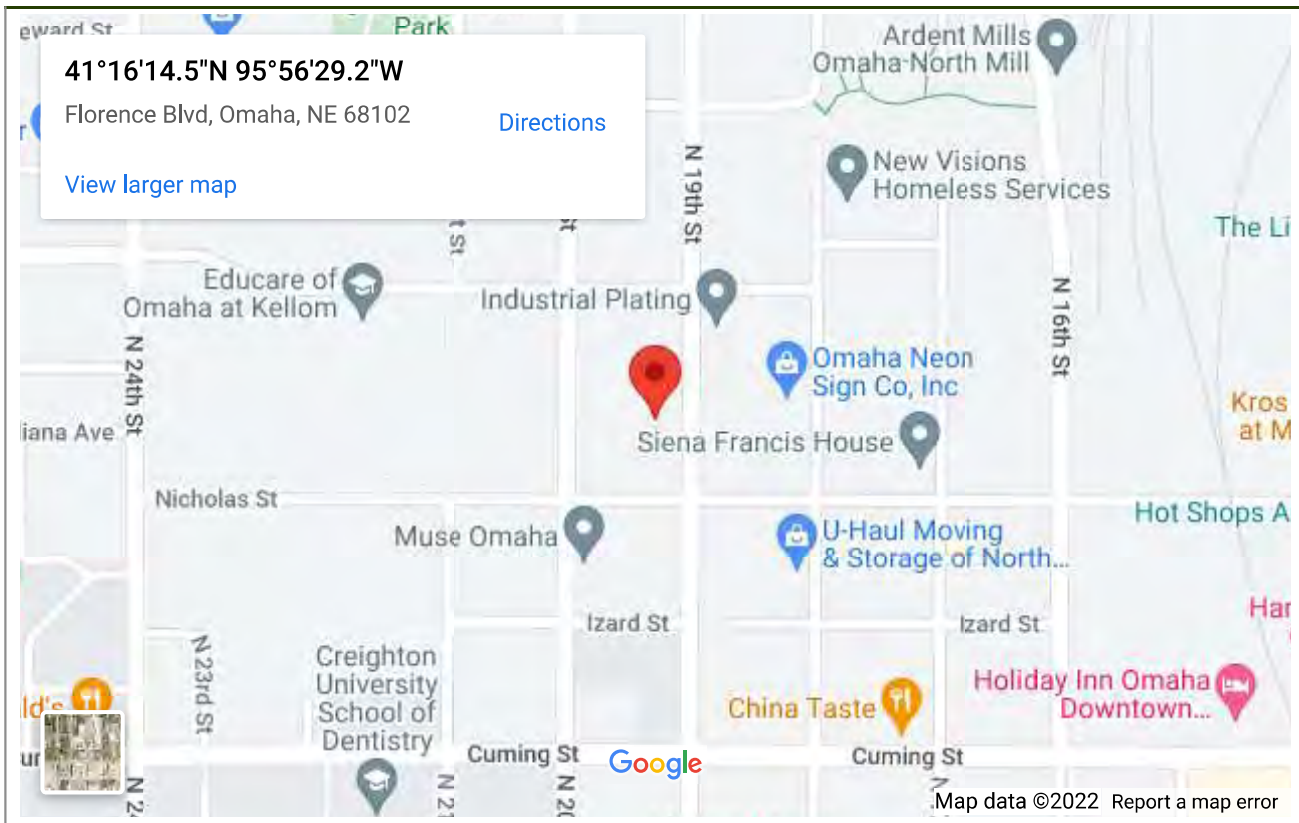
Sketch by Apex Medina™

[CLICK TO ENLARGE IMAGE](#)

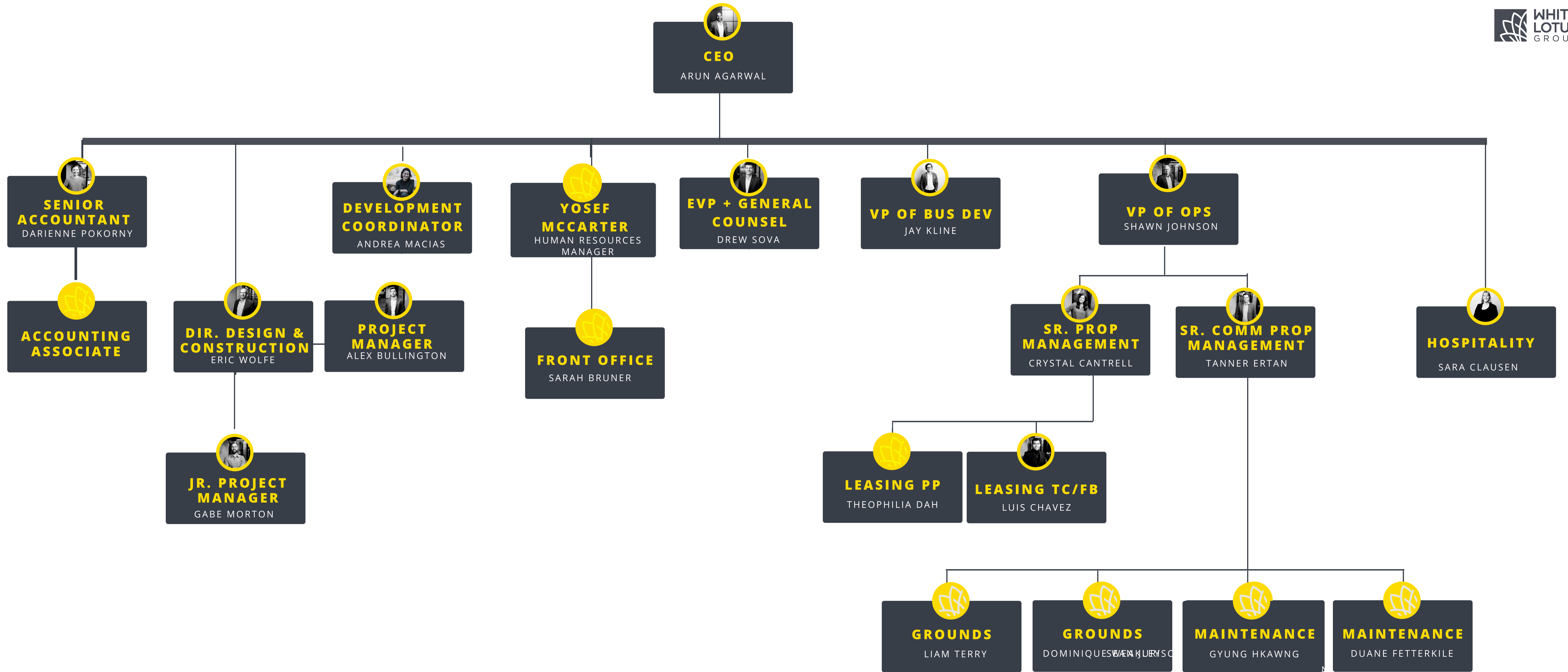
Square Footage:	31920.0	Percent Complete:	100.0%
Perimeter	432.0	Quality:	Fair
Unit Type:		Condition:	Worn Out
Built As:	Storage Warehouse	Condo Square Footage:	0.0
HVAC:	None	Rooms:	0.0
Exterior:		Units:	1.0
Interior:		Baths:	0.0
Roof Cover:		Bedrooms:	0.0
Roof Type:	Flat	Stories:	3.0
Floorcover:		Foundation:	
		Sprinkler Square Footage:	0.0

Year Built	Year Remodeled	Percent Remodeled	Adjusted Year Built	Physical Age
1890	0	0%	1890	0

Detail Type	Detail Description	Units
Add On	Elevator Electric Freight	1.0



To interact more fully with Google Maps and Street View go to this link [Google](#). If you require a more exact property location, you may use the [Interactive GIS Maps](#) that are maintained by our office.



CEO
ARUN AGARWAL

SENIOR ACCOUNTANT
DARIENNE POKORNY

ACCOUNTING ASSOCIATE

DIR. DESIGN & CONSTRUCTION
ERIC WOLFE

JR. PROJECT MANAGER
GABE MORTON

DEVELOPMENT COORDINATOR
ANDREA MACIAS

PROJECT MANAGER
ALEX BULLINGTON

YOSEF MCCARTER
HUMAN RESOURCES MANAGER

FRONT OFFICE
SARAH BRUNER

EVP + GENERAL COUNSEL
DREW SOVA

VP OF BUS DEV
JAY KLINE

VP OF OPS
SHAWN JOHNSON

SR. PROP MANAGEMENT
CRYSTAL CANTRELL

SR. COMM PROP MANAGEMENT
TANNER ERTAN

HOSPITALITY
SARA CLAUSEN

LEASING PP
THEOPHILIA DAH

LEASING TC/FB
LUIS CHAVEZ

GROUNDS
LIAM TERRY

GROUNDS
DOMINIQUE WENIGER

MAINTENANCE
GYUNG HKAWNG

MAINTENANCE
DUANE FETTERKILE



AMES INNOVATION



This building was once well-known as the Ames Bowling Alley in North Omaha, but the 44,000 square foot building had deteriorated over the years, making this a fantastic opportunity for redevelopment.

This project, the Ames Innovation Center, was designed to create a customer-service, data-driven environment in North Omaha that would foster collaboration among various businesses and organizations.

Our first tenant space was completed in the Spring of 2019 and is home to the Nebraska Department of Motor Vehicles and includes a 3,800-square-foot express DMV.



AMES PLAZA



Ames Plaza was a structure that was condemned by the City of Omaha, and at White Lotus Group, we saw this as an exciting challenge and opportunity. We worked closely with the City and negotiated the acquisition of this 1950's retail mall.

The goal of the project was to revitalize and re-purpose the space using Tax Increment Financing into a 100% occupied mixed-use building. We did exactly that with 40,000 square feet of self-storage, 20,000 square feet of a nationally anchored fitness center - Planet Fitness, and a 23,000 square feet workforce training center - Heartland Workforce Solutions.



1401 JONES – PUBLIC LIBRARY



1401 Jones has a rich Omaha history, housing the David Cole Creamery until the 1940s. While White Lotus Group has been searching for the perfect tenant for the space, the project was approved for TIF funding and historic-tax credits.

In February of 2022, The Omaha City Council approved an agreement for the Downtown Omaha Public Library to move from its location at 14th and Farnam to 1401 Jones. Work began at the end of March 2022 and is scheduled to conclude at the end of February 2023.

We are excited to help achieve the Omaha Public Library's 2010 and 2017 Facilities Plans recommendations for a new branch location in downtown Omaha and a new central library.



LEARNING COMMUNITY CENTER



White Lotus Group jumped into this project as the owner's representative for the HELP Foundation of Omaha, Inc. We started by identifying some problems the Learning Community was having which included the need to acquire real estate, build that real estate out to fit their needs, and then finally, how that real estate would be funded. In less than sixty days, White Lotus Group coordinated the acquisition, the design with RDG Planning and the construction with Ronco Construction to initiate a complete project plan. One hundred (100) days later - the center was delivered for 22% under the original budget approved by the Learning Community.



The \$ 20 million development on the former site of a beloved Omaha eatery, MisterC's, will serve the Metropolitan Community College Fort Omaha campus. The five-story, 113,000-square-foot mixed-use 30 Metro feature 110 affordable apartment units, a Charles Drew health clinic, a T-Mobile, the Department of Health and human services, and the Nebraska Economic Development field office- North Omaha. The design and aesthetic are consistent with the college.



The transformation of the Turner Park Apartments included turning 58 units of Class C apartments into historically significant urban cultured apartments. These distinctive apartments were built in 1920 and renovated by the White Lotus Group team in 2017. The renovations included everything from plumbing and mechanical to roofing and interiors.

We believe that they set the standard for innovative revitalization along North Dodge Street, Omaha.



PRAIRIE SPRING APARTMENTS



This development in North Omaha includes 8 buildings and 120 affordable housing apartments with a preference for seniors and veterans. Amenities include a pool, clubhouse, ponds, and walking trails.

As the owner of the land, White Lotus Group has provided turn-key development services leading planning and zoning efforts, selecting of the design and construction consultants, and managing the design and construction efforts.



BLACKSTONE CORNER



Blackstone Corner is a 92,000SF Apartment Complex in the Heart of Blackstone Omaha. The building consists of 112 luxury apartments, a community lounge, and parking. The luxury apartment complex includes a community patio, string lights, a fire pit, and an available gas grill. Other features include Bike storage, a pet wash station, seating for entertainment, and full-size rooms with balconies. White Lotus Group financed the co-developer of this project and our affiliate managed construction.



MURAL Nebraska is a progressive project awarded by the City of Lincoln to White Lotus Group with the task to bring affordable housing to the central business district of Lincoln. The project aims to combine affordable housing units with associated services through their community service facility focused on healthcare and child care. The entire development also has a planned new central library as well as a public park central to the entire block to be developed by the City of Lincoln.

Grant Application

Row 202

Organization Name (if applicable) Claritydevco, LLC D/B/A Clarity Real Estate Compan ("Clarity")

Physical Address 1323 S 12th Street, Omaha, NE 68108

Mailing Address

Website <http://claritydevco.com>

Social Media Accounts N/A

Name Mike Peter

Title Principal

Email Address mpeter@claritydevco.com

Phone +1 (402) 981-3735

Team Yes

Tom Mcleay has over 20 years of real estate experience covering all aspects of the industry, Tom is well-seasoned to address the many challenges inherent in the real estate development process and in particular the complexities of the projects taken on by Clarity. After practicing law in Chicago, Illinois, with one of the nation's largest law firms he returned to his hometown of Omaha and worked with local government and an Omaha-based private equity group focusing on sophisticated real estate financing and development. His varied background includes hands-on experience with international real estate divestment, local government matters, regional lenders, mid-sized businesses and real estate developers. Tom is a graduate of Boston College and the University of Iowa Law School. He holds both a law license and real estate brokerage license in the State of Nebraska. He also served as the Chairman of the Board of the Omaha Municipal Land Bank. Mike Peter served as a Financial Analyst from 2008-2014 for the Burlington Capital Group and was responsible for underwriting and project development for over \$200 million in projects nationwide. Mike has in-depth experience with highly sophisticated multi-family investment modeling and risk-analysis. He has project managed and underwritten numerous projects utilizing Federal Historic Tax Credits, State Historic Tax Credits, Low Income Housing Tax Credits, New Market Tax Credits, the Valuation Incentive Program, and numerous other financing mechanisms. Mike graduated from Creighton University in 2009. Neeraj Agarwal served as in-house counsel for a real estate development company through 2014. As in-house counsel, he negotiated and drafted a variety of sophisticated transactional, real estate and finance-related documents, and spearheaded projects relating to EB-5

financing, New Market Tax Credits, Low Income Housing Tax Credits, Historic Tax Credits, and Tax Increment Financing. Neeraj is a graduate of Georgetown University and the University of Wisconsin Law School. Burke Harr served eight years in the Nebraska Legislature. In the Legislature, he introduced and passed legislation on affordable housing. In his practice of law, he has worked with Nebraska New Market Tax Credits, Low Income Housing Credits, and Nebraska Historic Tax Credits. As an advocate for affordable housing, Burke is looking for new and innovative ways to meet the demand for more affordable housing in Nebraska. Burke is a graduate of the University of St. Thomas and the University of Notre Dame Law School. SYDNEE SCHEINOST Sydnee Scheinost has more than a dozen working in real estate with a focus on multi-tenant unit development. She has a demonstrated history of working in the real estate industry and marketing industry. Skilled in negotiation, sales, Marketing, new construction lease up, sellers, and investment properties. Sydnee is an Accredited Residential Manager A.R.M (R) with a focus in Property Management from IREM (Institute of Real Estate Management) and CAM designation from the National Apartment Association - NE. Sydnee is a graduate of Doane University.

Organizational Chart	Tom McLeay with is the founder and managing member. Each project creates different organizational flow, partnerships, and investors which create different organizational charts.
Other Completed Projects and/or Accomplishments	Clarity has developed over \$500 million worth of commercial, residential, and mixed-use real estate projects together, including both historic renovations and new construction. New construction market rate projects include Little Bo Bungalow and Flats (107 units), Soul Hill Rowhouses (36 townhomes), Blackstone Corner, Blackstone Depot, and Blackstone Station and Union. New construction LIHTC projects include Blair High Residences (192 units), Sorensen Apartments (120 units), Hillside Rows (32 units) and 30 Metropolitan Place (112 units). Historic projects include the Colonial Apartments and the Blackstone Hotel (now known as the Cottonwood Hotel) , both of which have contributed to the tremendous revitalization of the Blackstone District, and the Drummond & Firestone, which is part of the increasing activity on Omaha's historic Automobile Row in Midtown Omaha. Clarity's principals have been involved in the development of over \$500 million in multifamily real estate nationwide. They bring depth and experience from inception to completion and stabilization of the project. Clarity has wide-ranging experience in affordable housing. Clarity has completed multiple Low-Income Housing Tax Credits ("LIHTC") projects in Omaha and across the nation, and consequently, are well versed in LIHTC and its advantages and short comings.
Proposal Title	27 Leavenworth
Total Budget (\$)	\$34,500,000.00
LB1024 Grant Funding Request (\$)	\$24,000,000.00
Proposal Type	Capital project
Brief Proposal Summary	27 Leavenworth ("project") located at 2615 Leavenworth St., Omaha, NE will serve as the first large-scale 100% affordable new construction multifamily housing project combing multiple

income criteria in the Omaha areas. This project would place a 15-year Land Use Restriction Agreement (“LURA”) on the property to insure enforcement of lower rents. Rents would then be based on limits set by Housing and Urban Development (“HUD”) 9% LIHTC transactions, and some market rate rents. At least forty percent (40%) the tenants will be tenants that qualify for 9% LIHTC housing with an income of 80% or below of the Average Median Income (“AMI”). Their rent will be consistent with the rent set by HUD for individuals living in 9% LIHTC projects. The rent for a new one-bedroom apartment would be capped at \$794.000. At least forty percent (40%) of the tenants will be tenants that have income between 80%-120% of AMI. Their rent will also be discounted and capped at 1.2 of the HUD rates (HUD+). Their rent for a new one-bedroom apartment would be \$953.00. Approximately twenty percent (20%) of the tenants will have no income limitations and will pay market rate. The market rate rent for a new one-bedroom apartment is \$1150.00. For the non-market rate section of the project, the goal is to limit rent to no more than 30% of a household’s income using Section 8 vouchers. OHA has more vouchers than landlords willing to rent. Each month hundreds of vouchers go unused. This project will support a more diverse income demographic at a lower price per unit. As a result, tenants are able to pay a lower rent, and as an individual increases their income, they will no longer be forced to move out of their home. Tenants will be able to stay in the same home longer. This allows for more stability for the tenants and for the neighborhood The Project is a result of Clarity’s continued dedication to building high quality affordable housing combined with its goal of developing such affordable housing in core urban areas of Omaha. Unlike LIHTC projects, it is not contingent on other NIFA dollars and will be completed by September 2025.

Timeline

- Designed Updated and Completed (December 2023)
- Site Prep Work and final negotiation of prices (January 1, 2023-May 15, 2023)
- Contracts Finalized (May 15th, 2023 - July 1, 2023)
- o General Contractor will be required to file and to follow the city of Omaha’s Economic Equity and Inclusion Plan
- o General Contractor will be required to voluntarily follow HUD’s Section 3 program which requires the General Contractor, to the greatest extent possible, provide training, employment, contracting and other economic opportunities to low- and very low-income persons.
- Funding Approved (June 2023)
- Construction (July 2023-Novmeber 2023)
- o Construction begins (July 2023)
- o Construction mid-point (March 2024)
- o Construction substantially completed (July 2024)
- Full Occupancy (September 2025).

Percentage completed by July 2025

100%

Funding Goals

Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)

Community Needs	Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
------------------------	---

"other" explanation

Proposal Description and Needs Alignment	<p>COVID-19 exposed the need for affordable housing that many families in urban Omaha are facing. “Historically Redlined neighborhoods have high concentrations of cost burdened households’ (Omaha Housing Affordability Action Plan dated September 21, 2022 (“OHA Plan”), pg. 28). The draft of the OHA Plan states “[a]t current building rates, Omaha and its jurisdiction will not keep pace with projected growth. Resulting in either severe shortage of housing or pushing that construction activity into the larger region, further stretching expensive infrastructure and increasing transportation costs” higher mortgage interest rates. This project will also address substantial demand for affordable housing by providing the Leavenworth Street Business district with an affordable housing option. The project will also be the first housing project with new construction in the area in over 50 years. Traditionally, an affordable housing project such as this would use LIHTC. LIHTC is an effective, but inefficient, tool to create affordable housing. The developer competes for a limited number of dollars. The developer is then given tax credits which it then sells at a discount to a third party. The process usually amounts to \$.75 to \$.80 are use on the project for every \$1.00 of tax credit given. LIHTC has high administration and sales cost. The project will be 134 affordable apartments with a mix of 90 one-bedrooms and 44 two-bedrooms. Sizes will average 700 square feet for one-bedroom units and 1,000 square feet for two-bedroom units. The interior style of the units will be modern industrial. There will be elevator access. Elevator service is important to seniors. The project is aligned with the Community Needs listed earlier Sustainable Community—The project creates and enhances the housing in the area. The project allows tenants to have more diversity and for tenants to live their longer rather than being forced out when they earn more income. The project will be located less than two blocks from the proposed street car which will provide addition mobility along with being located close to the Interstate and 24th street, a major north south artery for public and private transit.</p> <p>Multimodal Transportation—The project will be located less than two blocks from the proposed street car and is in the transit orientated development (“TOD”) In addition, the project is located near the Interstate and 24th street, a major north south artery for public and private transit. For mass transit to be successful, it requires density. The project will be located on several lots that are currently empty or has a building that is not being utilized properly. The project will not only leverage existing transit lines, but it will create demand for the use of the new street car. Quality of Life—The project, with its new investment in the neighborhood, will increase neighborhoods stability and safety. By having new long-term tenants, the tenant will be more invested in the neighborhood. In addition, the project will have green space for its tenants. The project will have new planters and landscaping to beautify the Neighborhood. The project will impact employers and employees near but outside the boundaries of the project.</p>
---	---

Employees that work in Omaha, whether it be in the Downtown or Midtown Omaha submarket or not, will finally have an apartment option that is more affordable. Policy-The project furthers the goals of the city of Omaha's effort to develop affordable housing as described in the OHA Plan. By 2035, Douglas County will need an additional 18,385 affordable units and an additional 7000 rental units with rents below \$1000. The project will help overcome the long-lasting impacts of Redlining and zoning practices that isolated housing and types and incomes.

Visioning Workshop Findings Alignment

The project works well to address the needs set forth in the Visioning Workshops. Clarity is a locally owned development company with roots in the community going back generations. When it comes to housing there is a concern of out of state companies coming into Nebraska, purchasing housing, and raising rents. "An Omaha rental survey, that included over 19,000 rental units in the Omaha Market, found that rents have been increased for 50% of the units in the last 12 months." (Omaha Housing Affordability Action Plan drafted September 21, 2022, pg. 12). The Visioning Workshops listed housing as a major concern. Specifically, the Workshop found a need for high quality affordable housing, options for mixed income housing, and housing for seniors. With the unique 15-year LURA as discussed above, we address many of the needs of the Workshop and concerns regarding raising rents. By building elevated 5 story building, we address the concerns of density, lack of property, and accessibility for all Omahans including the disabled and seniors.

Priorities Alignment

This unique public private partnership of public and private dollars creates the opportunity that could not normally exist. By forgoing LIHTC, we are able to mix incomes that would not normally be cost effective. This form of financing, not only allows for more diversity, but also allows the public dollars to be spent more efficiently. The project aligns with the priorities of LB 1024, which was to create empower the people and the neighborhood, to create the skills and the infrastructure to enable people to not just survive, but to thrive. The project will create quality affordable housing, but it will also create jobs in the neighborhood for the neighbors. Clarity agrees to avail itself to the City of Omaha's EEIP, to work with the Omaha Chamber of Commerce REACH Program, and to follow HUD's Section 3 Program. The project will help overcome the long-lasting impacts of Redlining and zoning practices that isolated housing and types and incomes.

Economic Impact

The project will create the following jobs: • This job will create an estimated 14 full time construction jobs with an anticipated payroll of \$58,000. • The job will also create an additional 4 jobs for soft costs related to the project. Once completed, the project will create the following jobs: • Two full time property management jobs at \$50,000 a year • One full time sales/marketing job at \$45,000 a year • One full time property maintenance job at 45000 a year • 2 part time property maintenance jobs at \$20,000 to 25,000 a year • One full time clerical/administrative job at \$40,000 a year As stated above, the project will create quality affordable housing, but it will also create jobs in the neighborhood for the neighbors. Clarity agrees to avail itself to the City of Omaha's EEIP, to work with the Omaha Chamber of Commerce REACH Program, and to follow HUD's Section 3 Program.

Once completed, the project will create the following jobs: • Two full time property management jobs at \$50,000 a year • One full time sales/marketing job at \$45,000 a year • One full time property maintenance job at 45000 a year • 2 part time property maintenance jobs at \$20,000 to 25,000 a year • One full time clerical/administrative job at \$40,000 a year

• This job will create an estimated 14 full time construction jobs with an anticipated payroll of \$58,000. • The job will also create an additional 4 jobs for soft costs related to the project.

The construction jobs will comply with Davis Bacon.

Clarity agrees to avail itself to the City of Omaha's EEIP, to work with the Omaha Chamber of Commerce REACH Program, and to follow HUD's Section 3 Program. It will also comply with Davis Bacon

Community Benefit The Community Benefit of the project include: • Safe affordable and quality housing; • Mixed Income Housing; • Safe Senior living with elevatored apartments; • Improved neighborhood safety; • Improvement of vacant lots; • Increased access to public transportation and major corridors; • Increased streetscape; • Job training and new jobs; and • Improvement of quality of life

Quality affordable housing improves the physical, social, and economic conditions within neighborhoods can also impact short- and long-term health outcomes. These conditions may include crime and violence, environmental conditions, and access to public services such as public transportation, law enforcement, and schools. As a result, poor-quality housing in disadvantaged neighborhoods further exacerbates health disparities.

Best Practices/Innovation This is a pilot program to show the advantages of financing a high quality affordable housing project using financing outside the limitations of a LIHTC project. This project allows for better long term stable tenants while also allow greater diversity of incomes and thus creating a greater diversity of tenants across abilities, demographics, workforces, age groups, and income levels.

Outcome Measurement It is difficult to measure the direct results, but studies indicate quality housing effects public health, public transportation, education, law enforcement, and other public services.

These may be measured by NIFA or UNO.

By making the neighborhood more appealing and adding density, we believe commercial development will follow.

Partnerships No

Displacement No

Displacement

explanation

Physical Location	2615 Leavenworth Street, Omaha, NE. The site currently is vacant lots with an unused building.
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	see below
Property Zoning	Yes
Is the project connected to utilities?	
	Yes
	Yes
Design, Estimating, and Bidding	Yes
	Yes
General Contractor	Yes
	Yes
Request Rationale	Construction Budget Source of Funds Owner/Developer Equity \$2,000,000.00 ARPA \$24,000,000.00 Construction loan/Permanent Debt \$7,000,000.00 TIF/PACE \$1,500,000.00 USE of FUNDS Land \$2,224,000.00 Construction Costs \$22,897,000.00 Public Improvement/Site Work/Envir \$790,000.00 Contingency \$1,717,275.00 Interest on Const. Loan \$1,602,790.00 Architecture/Engineering \$822,255.00 Developer Fees \$4,446,680.00
Grant Funds Usage	Funds will be used to pay down the expense of construction and for fees related to construction.
Proposal Financial Sustainability	Yes
	On going expenses will be paid by rents on the apartments.
Funding Sources	The project will rely on private funding along with TIF/PACE
	N/A
	N/A
Scalability	No

Financial Commitment	Clarity proposes to put \$2M of its own funds into the project. In addition, Clarity will guarantee a note for \$7M. The \$7M note is interest only. The rents are not enough to allow for payment down of the principal. Finally, Clarity will work with the City of Omaha to obtain TIF/PACE
-----------------------------	--

ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
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ARPA Reporting and Monitoring Process Acknowledgme	<input checked="" type="checkbox"/>
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LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
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Public Information	<input checked="" type="checkbox"/>
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File Uploads	Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Plans and detailed descriptions, including pictures and a map of the site location/surrounding area
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SILVER BULL HOLDINGS, LLC

Sun Oct 9 16:30:56 2022

SOS Account Number

1912237460

Status

Active

Principal Office Address3814 FARNAM ST.
STE. 201
OMAHA, NE 68131
USA**Registered Agent and Office Address**THOMAS H. MCLEAY
3814 FARNAM STREET
SUITE 201
OMAHA, NE 68131**Designated Office Address**3814 FARNAM STREET, SUITE 201
OMAHA, NE 68131**Nature of Business**

Not Available

Entity Type

Domestic LLC

Qualifying State: NE

Date Filed

Dec 02 2019

Next Report Due Date

Jan 01 2023

Filed Documents

To purchase copies of filed documents check the box to the left of the document code. If no checkbox appears, contact the Secretary of State's office to request the document(s).

Document	Date Filed	Price
<input type="checkbox"/> Certificate of Organization	Dec 02 2019	\$0.45 = 1 page(s) @ \$0.45 per page
<input type="checkbox"/> Proof of Publication	Jan 17 2020	\$0.45 = 1 page(s) @ \$0.45 per page
<input type="checkbox"/> Biennial Report	Jan 26 2021	\$0.45 = 1 page(s) @ \$0.45 per page

Good Standing Documents

To purchase documents attesting to the entity's good standing check the box next to the document title.

- If you need your Certificate of Good Standing Apostilled or Authenticated for use in another country, you must contact the Nebraska Secretary of State's office directly for information and instructions. Documents obtained from this site cannot be

Apostilled or Authenticated.

Online Certificate of Good Standing with Electronic Validation

\$6.50

This certificate is available for immediate viewing/printing from your desktop. A Verification ID is provided on the certificate to validate authenticity online at the Secretary of State's website.

Certificate of Good Standing - USPS Mail Delivery

\$10.00

This is a paper certificate mailed to you from the Secretary of State's office within 2-3 business days.

Select All | Select None

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Douglas County, Nebraska Property Record - R1444290001

Information is valid as of 2022-10-07

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Taxpayer

SILVER BULL HOLDINGS LLC

5200 WEBSTER ST
OMAHA NE 68132-0000**Property Information***Key Number:* 4429 0001 14*Account Type:* Commercial*Parcel Number:* 1444290001*Parcel Address:* 2601 LEAVENWORTH ST
OMAHA NE 68105-0000*Abbreviated Legal Description:* KIEWITS SUB DIV LOT 5 BLOCK 0 ALL VAC ALLEY ADJ & -EX N 3 FT- LTS 1 THRU 5**Value Information**

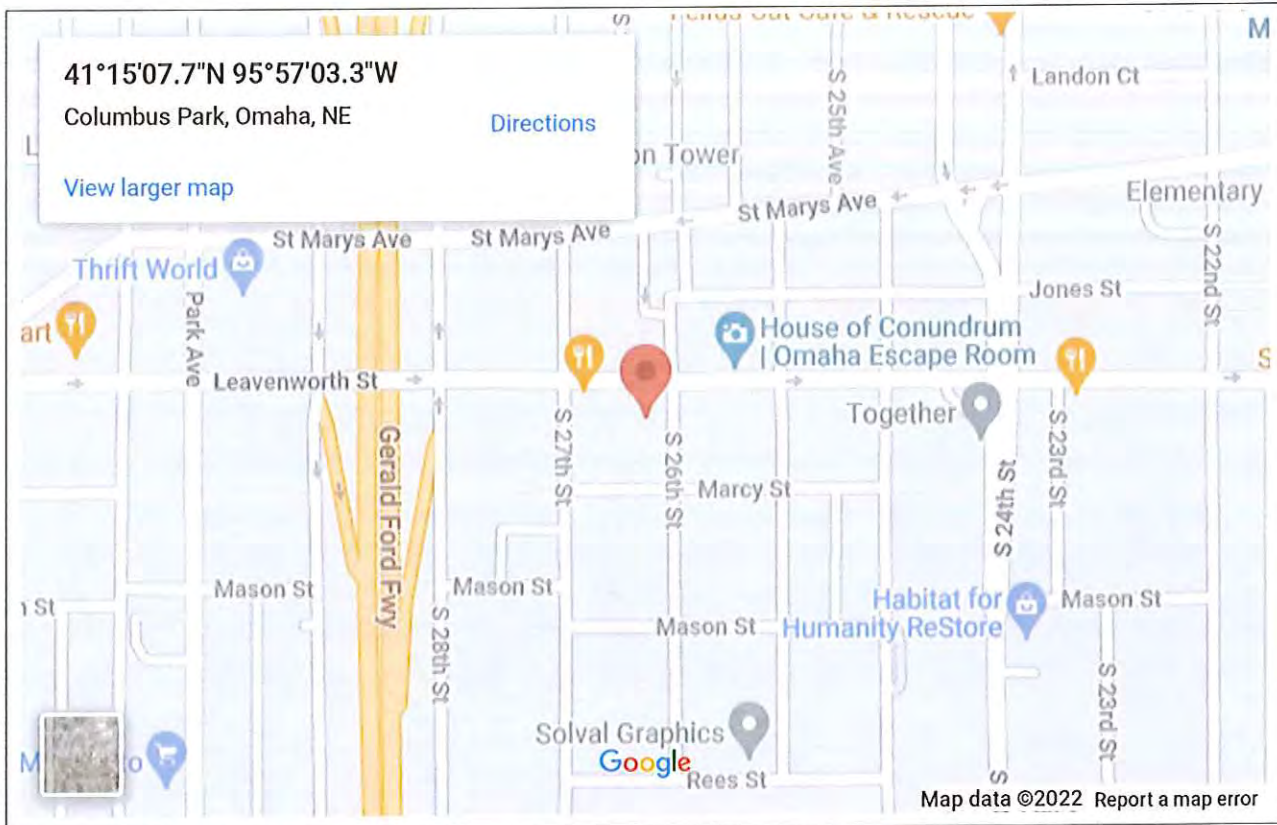
	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$75,300	\$0	\$75,300
2021	\$75,300	\$0	\$75,300
2020	\$75,300	\$0	\$75,300
2019	\$75,300	\$0	\$75,300
2018	\$75,300	\$0	\$75,300
2017	\$75,300	\$0	\$75,300

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.3603	15696.0	0.0	0.0	0.0	

Land Attributes

<i>Attribute</i>	<i>Attribute Description</i>
Location	Inferior -70
Location	Inferior -15



To interact more fully with Google Maps and Street View go to this link [Google](#).

Douglas County, Nebraska Property Record - R1444290003	
Information is valid as of 2022-10-07	Print Report Treasurer's Tax Report Great Feature → → → Subdivision Sales Search

Taxpayer
SILVER BULL HOLDINGS LLC NULL 5200 WEBSTER ST OMAHA NE 68132-0000

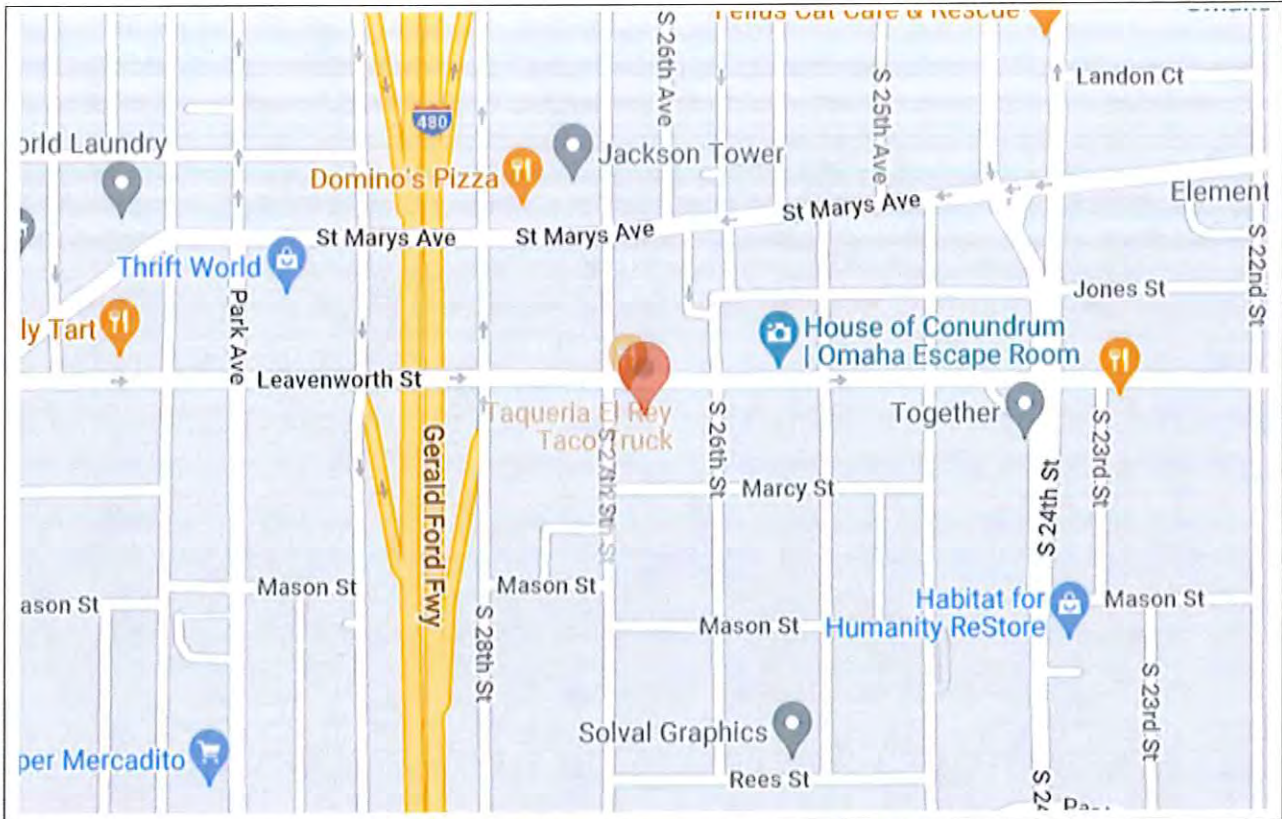
Property Information	
<i>Key Number:</i>	4429 0003 14
<i>Account Type:</i>	Commercial
<i>Parcel Number:</i>	1444290003
<i>Parcel Address:</i>	2615 LEAVENWORTH ST OMAHA NE 68105-0000
<i>Abbreviated Legal Description:</i>	KIEWITS SUB DIV LOT 11 BLOCK 0 EAST 4 FT VAC 27TH ST ADJ LT 11 & -EX N 3 FT- LOTS 6 THRU 11

Value Information			
	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$55,900	\$0	\$55,900
2021	\$55,900	\$0	\$55,900
2020	\$55,900	\$0	\$55,900
2019	\$55,900	\$0	\$55,900
2018	\$55,900	\$0	\$55,900
2017	\$55,900	\$0	\$55,900

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Land Information					
<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.4008	17460.0	0.0	0.0	0.0	

Land Attributes	
<i>Attribute</i>	<i>Attribute Description</i>
Location	Inferior -70
Location	Inferior -20



To interact more fully with Google Maps and Street View go to this link [Google](#).

Douglas County, Nebraska Property Record - R1713230000

Information is valid as of 2022-10-07

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Taxpayer

SILVER BULL HOLDINGS LLC

5200 WEBSTER ST
OMAHA NE 68132-0000**Property Information**

Key Number:	1323 0000 17
Account Type:	Multiple Res
Parcel Number:	1713230000
Parcel Address:	815 S 27 ST OMAHA NE 68105-0000
Abbreviated Legal Description:	MARSHS ADD LOT 6 BLOCK 3 N 66 FT

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$11,800	\$0	\$11,800
2021	\$11,800	\$0	\$11,800
2020	\$11,800	\$0	\$11,800
2019	\$7,000	\$0	\$7,000
2018	\$7,000	\$0	\$7,000
2017	\$7,000	\$0	\$7,000

Sales Information

Sales Date:	2000-09-25				
Deed Type:	D	Book:	2164	Page:	516
Price:	\$64,000				
Grantor:					
Grantee:					
Valid/Invalid:	Valid				
Exclusion Reason:					

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.08	3498.0	0.0	53.0	66.0	

To interact more fully with Google Maps and Street View go to this link [Google](#).

Douglas County, Nebraska Property Record - R1713240000

Information is valid as of 2022-10-07

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Taxpayer

SILVER BULL HOLDINGS LLC

5200 WEBSTER ST
OMAHA NE 68132-0000**Property Information**

Key Number:	1324 0000 17
Account Type:	Multiple Res
Parcel Number:	1713240000
Parcel Address:	819 S 27 ST OMAHA NE 68105-0000
Abbreviated Legal Description:	MARSHS ADD LOT 6 BLOCK 3 S 54 FT

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$10,900	\$0	\$10,900
2021	\$10,900	\$0	\$10,900
2020	\$10,900	\$0	\$10,900
2019	\$5,700	\$0	\$5,700
2018	\$5,700	\$0	\$5,700
2017	\$5,700	\$0	\$5,700

Sales Information

Sales Date:	2000-09-25				
Deed Type:	D	Book:	2164	Page:	515
Price:	\$60,000				
Grantor:					
Grantee:					
Valid/Invalid:	Valid				
Exclusion Reason:					

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.06	2862.0	0.0	53.0	54.0	

To interact more fully with Google Maps and Street View go to this link [Google](#).

Douglas County, Nebraska Property Record - R1713260002

Information is valid as of 2022-10-07

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Taxpayer

SILVER BULL HOLDINGS LLC

5200 WEBSTER ST
 OMAHA NE 68132-0000

Property Information

Key Number:	1326 0002 17
Account Type:	Commercial
Parcel Number:	1713260002
Parcel Address:	2612 MARCY ST OMAHA NE 68105-0000
Abbreviated Legal Description:	MARSHS ADD LOT 8 BLOCK 3 LOTS 7 & 8 BLK 3 106 X 120

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$40,700	\$0	\$40,700
2021	\$40,700	\$0	\$40,700
2020	\$40,700	\$0	\$40,700
2019	\$40,700	\$0	\$40,700
2018	\$40,700	\$0	\$40,700
2017	\$40,700	\$0	\$40,700

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Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.29	12720.0	0.0	0.0	0.0	

Land Attributes

<i>Attribute</i>	<i>Attribute Description</i>
Location	Inferior -70
Location	Inferior -20

To interact more fully with Google Maps and Street View go to this link [Google](#).

Douglas County, Nebraska Property Record - R1713280001

Information is valid as of 2022-10-07

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Taxpayer

SILVER BULL HOLDINGS LLC

5200 WEBSTER ST
 OMAHA NE 68132-0000

Property Information

Key Number:	1328 0001 17
Account Type:	Commercial
Parcel Number:	1713280001
Parcel Address:	
Abbreviated Legal Description:	MARSHS ADD LOT 10 BLOCK 3 E 47 N 50 FT & S 10 E 20 N 60 FT LT 9 & N 60 FT LT 10 --BASE VALUE-- (EXCESS 2515)

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$0	\$0	\$0
2021	\$0	\$0	\$0
2020	\$0	\$0	\$0
2019	\$0	\$0	\$0
2018	\$0	\$0	\$0
2017	\$0	\$0	\$0

Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.0	0.0	0.0	0.0	0.0	

To interact more fully with Google Maps and Street View go to this link [Google](#).

Douglas County, Nebraska Property Record - R1713280003

Information is valid as of 2022-10-07

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Taxpayer

SILVER BULL HOLDINGS LLC

5200 WEBSTER ST
 OMAHA NE 68132-0000

Property Information

Key Number:	1328 0003 17
Account Type:	Commercial
Parcel Number:	1713280003
Parcel Address:	810 S 26 ST OMAHA NE 68105-0000
Abbreviated Legal Description:	MARSHS ADD LOT 10 BLOCK 3 E 47 N 50 FT & S 10 E 20 N 60 FT LT 9 & N 60 FT LT 10 --EXCESS VALUE--

Value Information

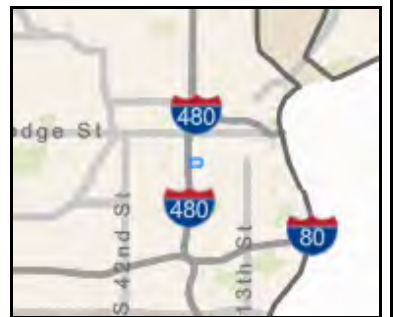
	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$0	\$0	\$0
2021	\$0	\$0	\$0
2020	\$0	\$0	\$0
2019	\$0	\$0	\$0
2018	\$0	\$0	\$0
2017	\$0	\$0	\$0

[Show All Transactions](#)

Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.0	0.0	0.0	0.0	0.0	

To interact more fully with Google Maps and Street View go to this link [Google](#).

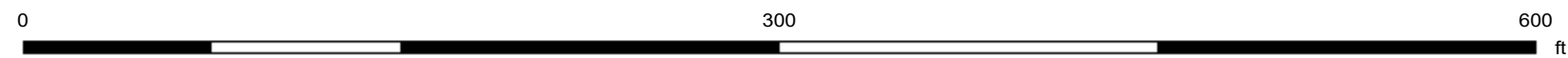


Legend

- Parcels
- Property Lines



Pottawattamie County, IA, Maxar, Microsoft



This map is a user generated static output from an Internet mapping site and is for reference only. Data on this map may or may not be accurate, current, or otherwise reliable. It is for informational purposes only, and may not be suitable for legal, engineering, or surveying purposes. Do NOT use property lines from this website for plan submissions.

Grant Application

Row 203

Organization Name (if applicable)	Jims Rib Haven LLC
Physical Address	3801 Ames Ave Omaha, NE 68111
Mailing Address	3217 Ohio St
Website	ribhavenomaha.com
Social Media Accounts	
Name	James Overton
Title	President
Email Address	jroverton3@gmail.com
Phone	+1 (402) 612-7910
Team	No
Organizational Chart	N/A
Other Completed Projects and/or Accomplishments	We have been in business for over 50 years we are fourth generation business owners
Proposal Title	Jims Rib Haven Expansion
Total Budget (\$)	\$2,000,000.00
LB1024 Grant Funding Request (\$)	\$2,000,000.00
Proposal Type	Capital project
Brief Proposal Summary	We would like to expand our foot print in North Omaha we have been in business here for over 35 years and would like to completely revamp our operation and make our establishment a destination location in North Omaha
Timeline	This project can and will be completed within the next 24 months
Percentage completed by July 2025	100%

Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Other Infrastructure (i.e., develop or improve broadband, business districts, roadways, sewer, etc.)
"other" explanation	
Proposal Description and Needs Alignment	We would like to expand our location and have a dine in facility and expand our kitchen thus creating 20 to 30 additional jobs
Visioning Workshop Findings Alignment	Lack of employment within reasonable distance from their current residence , Lack on the job training
Priorities Alignment	We would like to become North Omahas "Houston Turkey Leg Hut" a location that is know World Wide
Economic Impact	30 Permanent Jobs will be created for \$12-\$20 per hour
	30-40
	20
	\$15 - \$25per hour
	All of our construction needs can and will be filled by contractors from North and South Omaha
Community Benefit	Ames Ave is a busy corridor that does not have many dining options we are looking to expand upon that
Best Practices/Innovation	
Outcome Measurement	We will supply On the Job training and develop a program to spur new and young business owners
	By the number of regularly employed staff
	Yes we have been in business for over 35 years here in Omaha with no assitance
Partnerships	Yes
	Urban League

	None
Displacement	No
Displacement explanation	
Physical Location	3801 Ames Ave
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	N/A
Property Zoning	Yes
Is the project connected to utilities?	
	Yes
	Yes
Design, Estimating, and Bidding	No
	No
	Estimate
General Contractor	No
Request Rationale	This is based upon a currently completed project in our organization
Grant Funds Usage	These funds will pay for construction and labor cost
Proposal Financial Sustainability	Yes
	These funds will allow us to grow our business in North Omaha
Funding Sources	None, all prior funds have been supplied by us
	N/A
	NO
Scalability	Yes
	It can be implemented over time

**Financial
Commitment**

We are Totally committed to the growth of North Omaha

**ARPA Compliance
Acknowledgment**

**ARPA Reporting and
Monitoring Process
Acknowledgme**

**LB1024 Funding
Sources
Acknowledgment**

Public Information

File Uploads

Grant Application

Row 204

Organization Name (if applicable)	Black Power Redevelopers
Physical Address	4507 S 15th Street Omaha NE 68107
Mailing Address	424 S 24th Street Omaha NE 68102
Website	blackpowerredevleopers.com
Social Media Accounts	facebook, tic-tok, instagram
Name	Depree Seavers
Title	Owner
Email Address	blackpowerredevelopers@outlook.com
Phone	+1 (402) 415-6011
Team	Yes
Organizational Chart	
Other Completed Projects and/or Accomplishments	
Proposal Title	Black Power Redevelopers
Total Budget (\$)	\$5,000,000.00
LB1024 Grant Funding Request (\$)	\$5,000,000.00
Proposal Type	Service/program
Brief Proposal Summary	n/a
Timeline	n/a
Percentage completed by July 2025	100%
Funding Goals	Long-Lasting Economic Growth (i.e., a proposal that will foster

gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha)

Community Needs Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment n/a

Visioning Workshop Findings Alignment n/a

Priorities Alignment n/a

Economic Impact n/a

25 plus

25 plus

\$14-17

Community Benefit

Best Practices/Innovation

Outcome Measurement

Partnerships Yes

Displacement No

Displacement explanation

Physical Location

Qualified Census Tract

Additional Location Documents

Property Zoning

Is the project connected to utilities?

Design, Estimating, and Bidding

General Contractor

Request Rationale

Grant Funds Usage

Proposal Financial Sustainability

Funding Sources

Scalability

Financial Commitment n/a

ARPA Compliance Acknowledgment

ARPA Reporting and Monitoring Process Acknowledgme

LB1024 Funding Sources Acknowledgment

Public Information

File Uploads



Nebraska Legislative Bill 1024
Proposal September 2022

Personal/Organization Info.

- Black Power Redevelopers
- 4507 So. 15th street
- Blackpowerredevelopers.com

Proposal Leadership

- Team- Yes, I have an electrical team. Team members are Devin Smith, Jason Gientry, Jonathan Garcia, Tide Nyenga and Tia Bowles. Each electrician is currently in school getting their electrical technology degree from Metro Community College.
- We accomplished obtaining an electrical contractor's license in the state of Nebraska. We accomplished being registered with the SBA and listed as a SB with city of Omaha. This proposal supports our organizational goals by redeveloping the mindset of youth in the North Omaha community. This proposal helps secure lifelong employment in trades and builds confidence in our youth ability. This proposal will help create and fund more electricians from the north Omaha area.

Grant Funding request

- \$1-5 Million to help with payroll, job growth, equipment, tools, building/garage space for vehicles. I would prefer a building in the north Omaha area for easy access for employees and students. Timeline for building space 1-2 years.

Funding Goals

- Create more jobs in trades all year round
- Redirect youth energy towards something positive and productive
- Construction knowledge on tools and machinery/equipment

Community Needs

- Sustainable Community. Creating energy efficient homes for the community. Providing electrical services on the community homes. Educating the community on electrical fires and hazard.

Proposal Impact

- The proposal addresses the shortage of tradesmen in our community specifically electrical. This proposal will help create more opportunity for youth in the community to learn electrical. This proposal will help spend less time on the streets and more time on job sites. The more youth we hire and educate the less crime. The proposal will help our youth become confident in their ability and be able to critical think or problem solve a situation.

Economic Impact

- The more apprentice electrician we train and help become journeyman. Then the more we can hire. Journeyman to apprentice is a 1:3 ratio. I would say 10-15 permanent jobs. Once we start creating journeyman electricians then we could create hundreds of jobs. We also own property so there will be construction job sites of our own created. Apprentice electrician starting pay for the union is \$17hr. Apprentice starting pay at Black Power with zero experience about \$12-13hr. Electricians is job security simply because electrical is essential. Black Power will have on-going business from service calls to residential or commercial projects rather it be remodel or new construction.

Grant Application

Row 205

Organization Name (if applicable)	Po Boy Mega Alley, LLC
Physical Address	6011 N 30th Street, Omaha, NE 68111
Mailing Address	
Website	NA
Social Media Accounts	NA
Name	Myron Minnifield
Title	President
Email Address	poboymegaalleyllc@gmail.com
Phone	+1 (402) 612-1812
Team	Yes
	<p>Myron Minnifield (President) and Nevaeh Prince (Vice President). Myron Minnifield began his career by serving 17 years in the United States Airforce and then spent the next 10 years managing Po Boy Auto Sales, LLC, a successful buy-here-pay-here car lot that served the North Omaha community. Myron was unable to maintain business with Po Boy Auto Sales, LLC as a result of the pandemic due to increased car prices nationally and less people driving. Myron will serve as manager and make many of the business decisions. Nevaeh is business minded and a tutor of mathematics. She also provides ongoing leadership to her community by volunteering on her church board. Nevaeh is not only an ambitious pre-med college student but has an ambitious understanding that strong local business will strengthen and support her local community.</p>
Organizational Chart	Po Boy Mega Alley, LLC has two members, Myron Minnifield, 51% membership, serves as President, and Nevaeh Jade Prince, a 49% membership holder serves as Vice President.
Other Completed Projects and/or Accomplishments	PO Boy Mega Alley, LLC ("The Mega Alley") is a new limited liability company that intends to operate a start-up convenience store in North Omaha with an overarching goal of community betterment and togetherness. This proposal seeks funding to complete renovations to the building for the store location, commission of community-oriented murals for the exterior of the building, build a farmers market produce stand, and obtain picnic tables for public use near our location. To date, Myron Minnifield purchased the building and is providing a lease to The Mega Alley. The Mega Alley has been working over the course of the last seven months to renovate the lot including the parking space and building location. As part of these

renovations, the parking lot has been smoothed and resurfaced, the exterior of the building has received a facelift, and the interior has undergone a full cleaning and renovation to add necessary shelving and storage for a convenience store. The Mega Alley aspires to bring the North Omaha community together by providing a central location for day-to-day necessities, provide a community gathering place, and participate with local businesses and organizations to bring educational opportunities to North Omaha.

Proposal Title	Po Boy Mega Alley, LLC Economic and Community Development
Total Budget (\$)	\$250,000.00
LB1024 Grant Funding Request (\$)	\$152,500.00
Proposal Type	Service/program
Brief Proposal Summary	The Mega Alley is seeking grant funding as a community small business striving to develop a one-stop-shop community convenience store providing daily necessities such as food, drinks, personal goods, and premade meals to improve the North Omaha Community and provide increased employment opportunities. The Mega Alley is located at the southeast corner of North 30th and Kansas Ave. across from Miller Park. The lot began as a derelict lot with a falling down building. The Mega Alley has already begun renovations on the lot and building to convert a former mechanics shop into a convenience store with plans to open the store by the end of 2022, and gradually add additions and programs as desired by its customers. In addition to creating local jobs, The Mega Alley has made contact with other local businesses to hopefully provide community outreach and education events.
Timeline	Significant renovation has already taken place to the building structure. The Mega Alley's remaining project times are expected to be completed within the next eighteen months, by Spring 2024. Sign and Mural Installation, December 2022 Complete construction, January 2023 Inventory Stocked & soft opening of the convenience store, January 2023 Picnic Tables & Farmers Market Stand, March, 2023 New HVAC and Central Air, May 2023 Complete updates to commercial kitchen to offer Culinary Continuing Education, September 2023
Percentage completed by July 2025	100%
Funding Goals	Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Other Quality of Life (i.e., create or enhance natural spaces, mixed uses,

parcs, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation Greater community access to basic necessities that will be walking, driving, and bus accessible.

Proposal Description and Needs Alignment The Mega Alley is intended to not only be a convenience store providing daily necessities within easy access of community members, but also serve as a gathering place and foster involvement in the community. The Mega Alley is directly next to a Metro transit, providing easily accessible goods, and directly across the street from Miller Park, conjoining North Omaha economic and recreation centers. In addition to adding local jobs, the business is also attempting a partnership with Metropolitan Community College to provide the culinary program training space and Culinary Continuing Education opportunities.

Visioning Workshop Findings Alignment The Mega Alley's proposal is the brainchild of two longtime North Omaha residents that understand the community and their potential customers. First and foremost, the proposal is utilizing a previously vacant lot containing a crumbling building surrounded by community staples -- Miller Park, Bellevue University, Nelson Mandella Elementary School, and several churches within walking distance. The proposal seeks funding to complete building renovations on an aging, yet viable building, and for items that support the business, but also connect the community, like offering a space for a farmers' market produce stand, placing picnic tables for casual outside dining and meeting space, and using the commercial kitchen to provide educational collaboration with the Metro Community College Culinary program and continuing education courses. The Mega Alley eventually hopes to offer customers access to natural medicinal products within its store and potentially expand to an area for physical wellness, which are in short supply in North Omaha.

Priorities Alignment The Mega Alley's project aims to develop a convenience store that becomes engrained in the community by providing a constant service to customers, employment opportunities, educational training, and visual and productive improvement to a previously vacant corner lot.

Economic Impact Until renovations are complete, The Mega Alley will continue to hire contractors and laborers at their standard rates to complete the work. The Mega Alley anticipates around 10 temporary employment opportunities in the areas of general contracting, painting, drywall, electrical, and appliance installation. Once The Mega Alley convenience store is operational, The Mega Alley anticipates creation of 10-15 permanent jobs at rates around \$15.00 per hour.

10-15

10

For temporary, current market rates; or permanent, above minimum wage.

The Mega Alley seeks to hire contractors, laborers, and

purchase construction materials almost immediately to complete the building. After the building is complete, The Mega Alley intends to hire 10-15 convenience store employee jobs and conduct Culinary continuing education courses.

Community Benefit The Mega Alley proposal will benefit the surrounding community by cleaning up a formerly vacant lot and renovating the building to provide an attractive destination. In addition, The Mega Alley is centrally located within walking distances of schools, churches, and parks that are central to everyday life. The Mega Alley aims to provide a diverse inventory of products and take home meals that customers may not find at any other local store.

The Mega Alley proposal contributes to community sustainability by seamlessly incorporating its location into the surrounding area near public Transportation, providing both temporary and permanent jobs, providing a small, and locally owned business engaged with the community and providing educational opportunities.

Best Practices/Innovation The Mega Alley is intentionally designing the inside and outside of its business with a key focus on community involvement, which diverges from that of all other convenience stores. The Mega Alley has been innovative in the industry because the owners have a strong sense of community and want to bring that feeling to their business. They have planned the exterior to appeal to the community through murals, offering a farmers market type stand for customers to sell their garden products, incorporating picnic tables to feel more connected to Miller Park. The Mega Alley has set out to provide a combined customer and community experience.

Outcome Measurement Job creation, community beautification, community partnerships, and educational opportunities in culinary arts

Such outcomes may be visually observed by the general community and neighboring businesses and organizations. The owners of the business will be able to measure employment creation rates.

If the convenience store operations are favorable, The Mega Alley is excited to explore expanding its business to provide community opportunities for health and wellness.

Partnerships Yes

The Mega Alley is discussing a partnership with area churches to provide pastry goods for church services, with the Nelson Mandela School to provide early childhood cooking and entrepreneurial training; with Metro Community College to arrange Culinary Student course time and Culinary Continuing education.

None

Displacement No

Displacement explanation

Physical Location	The physical location of the project is 6011 N 30th Street, Omaha, NE, which is located at the southeast corner of North 30th and Kansas Ave. The convenience store will be directly across the street from the southwest corner of Miller Park and is located along bustling North 30th Street which provides ample vehicle and foot traffic.
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	Additional documentation has been uploaded.
Property Zoning	Yes
Is the project connected to utilities?	Yes
	Yes
Design, Estimating, and Bidding	No
	No
	Myron Minnifield has done many of the renovations himself, to determine costs, all products were listed at current commercial cost. A contractor may be hired for more extensive renovations and for the AC installation, for which an oral estimate was provided.
General Contractor	No
Request Rationale	Final Structural Building Renovations – Materials and Labor \$6,000 Central Air, including ductwork – Materials and Labor \$10,000 Murals - \$9,000 Final Commercial Kitchen Renovations and Appliances– \$15,000 Fire Suppression for Commercial Kitchen - \$20,000 Farmer’s Market Stand - \$1,500 Picnic Tables (x4) - \$4,000 Commercial Walk In Cooler - \$15,000 Commercial Drink Coolers (x5) - \$12,000 Traffic Barriers - \$10,000 Inventory - \$50,000 The Mega Alley has received oral bids and received itemizations for goods and services.
Grant Funds Usage	Funds will be used for the following: completing building renovation, including installing central air conditioning, purchasing appliances to upgrade the commercial kitchen and store inventory, building a farmers market stand, purchasing picnic tables, and commissioning community murals.
Proposal Financial Sustainability	Yes

The proposal relates to a convenience store that is expected to generate its own revenue through sales of goods and services. The owner intends, where feasible, to use portions of the business profits for community events and outreach.

Funding Sources The Mega Alley's alternative funding source, at this time, comes from personal investment income from members.

NA

Currently the funds to finalize renovations and replace the air conditioning unit are top priority.

Scalability Yes, the proposal is designed to be completed in small components as funds are available and in stages.

In the timeline set out above, each project is meant to be an individual improvement and can be completed at a later date.

Financial Commitment Members of The Mega Alley have already expended over \$100,000 to renovate the parking lot and building for the convenience store. The Mega Alley and its members are prepared to continue personal investments until completion of the project.

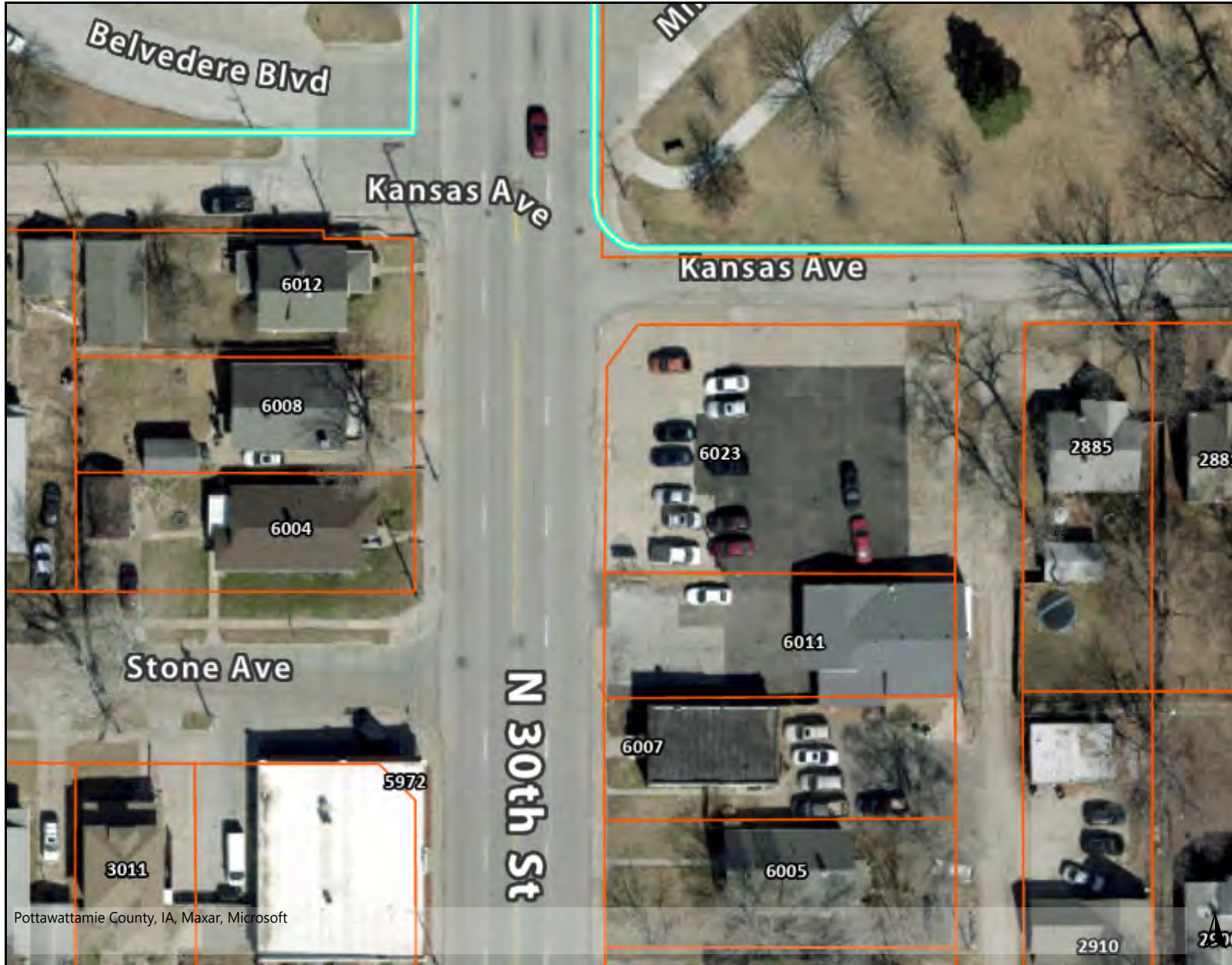
ARPA Compliance Acknowledgment

ARPA Reporting and Monitoring Process Acknowledgment

LB1024 Funding Sources Acknowledgment

Public Information

File Uploads Data table of uses (breakdown of how the requested funds will be used for your proposal) Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Plans and detailed descriptions, including pictures and a map of the site location/surrounding area Pro Forma



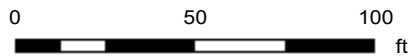
Legend

Parcels

Property Lines



Pottawattamie County, IA, Maxar, Microsoft



Please contact Douglas County GIS for map questions (gis@douglascounty-ne.gov)

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THANKFUL





GRATITUDE



EXIT





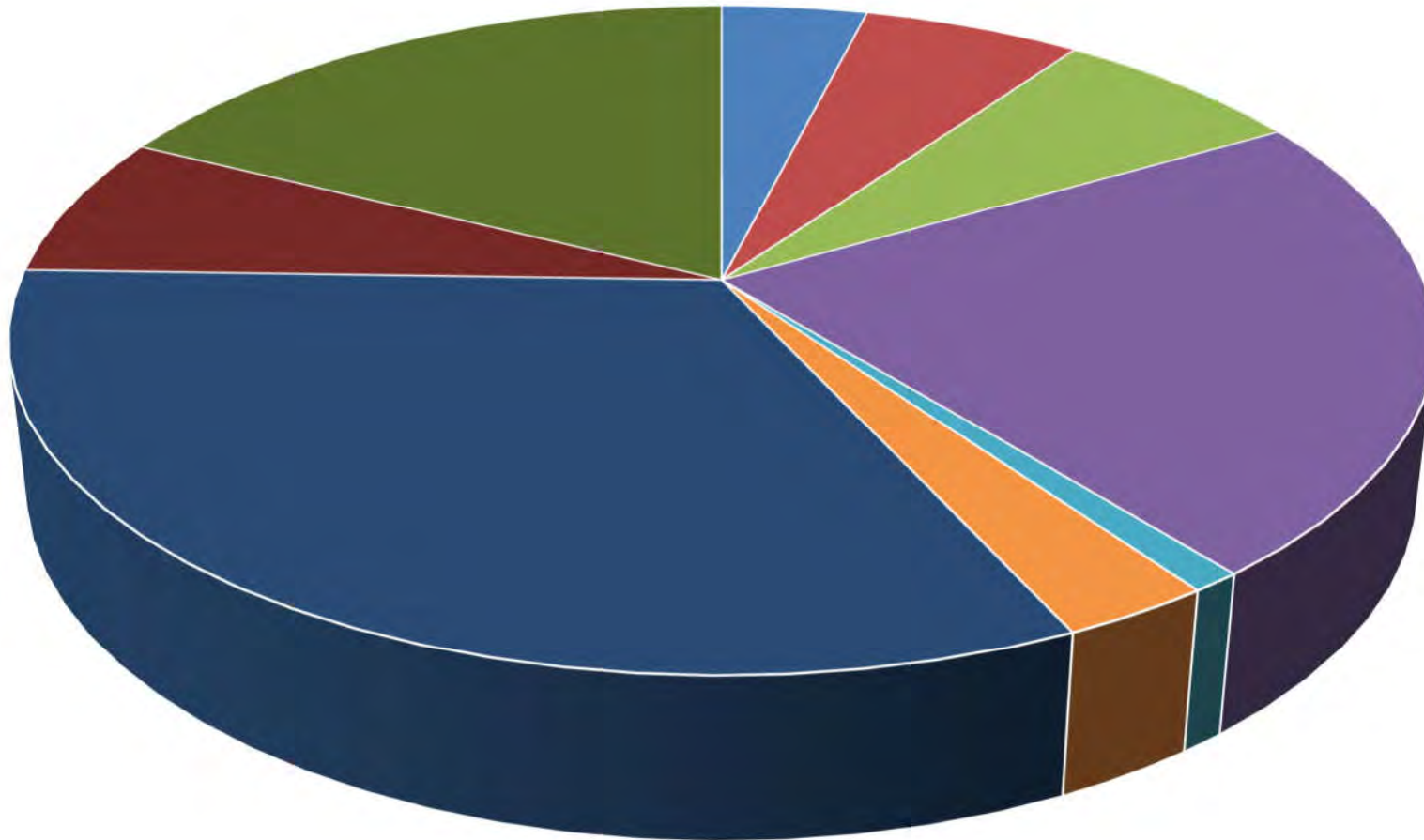
EXIT

WINE & DINE





Po Boy Mega Alley, LLC Project Funding



■ Building Renovations ■ Murals ■ Central Air Conditioning ■ Kitchen ■ Market Stand ■ Picnic Tables ■ Inventory ■ Barriers ■ Coolers

2022

PO BOY MEGA ALLEY, LLC



Business Plan

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1.0 EXECUTIVE SUMMARY

PO Boy Mega Alley, LLC is a start-up convenience store in North Omaha, Nebraska capitalizing on steady convenience store market expansion. The world market for convenience stores, which was estimated at \$2.12 trillion in 2021, is projected to increase at a compound annual growth rate of 5.6% between 2022 and 2028.¹ Many of the factors that have contributed to the global convenience store expansion, including strong economic growth within an emerging economy, rising urban population density, and rising interest in franchising concepts,² are present in North Omaha.

PO Boy Mega Alley, LLC (“The Mega Alley”) serves nearby schools, residential neighborhoods, and commercial business establishments with daily needs like snacks, pastries, and beverages such as coffee, milkshakes, and canned and bottled drinks. Aside from food and drinks, a limited range of household goods, groceries, over-the-counter medicine, magazines and newspapers, alcohol, tobacco, and pre-cooked meals will be available at the store.

The Mega Alley owners, Myron L. Minnifield serving as President and Nevaeh J. Prince, serving as Vice president, make a perfect business partnership as they are both passionate and innovative individuals. They have already begun developing a sought-after business in a competitive North Omaha location and seek to use their experience and dedication to their community and customers to expand that business into a local destination.

¹ Convenience Stores Market Size, Share & Trends Analysis Report By Type (Cigarettes & Tobacco, Foodservice, Packaged Beverages, Center Store, Low Alcoholic Beverages), By Region, And Segment Forecasts, 2022 – 2028, Grand View Research, Report ID: GVR-4-68039-929-0.

² Id.

1.1 GOALS AND OBJECTIVES

GOALS

Every start-up business begins with the general goal of being successful. Success to The Mega Alley means providing effective, efficient, and customer-focused solutions to customer issues that leads to a consistent client base and continuous business growth.

In addition to its overarching goal, The Mega Alley hopes to:

- Become the neighborhood's one-stop-shop for daily living necessities
- Build a self-sustaining business that will survive from its cash flow without the need for external investment sources.
- Earn sufficient revenues to have a landmark impact on the local economy, as a business, an employer, and benefactor.

OBJECTIVES

In effort to achieve its goals, The Mega Alley shall aim to:

- Maintain sufficient inventory to support daily living needs
- Maintain a steady growth in sales volume that will sustain the business long-term
- Launch a target specific marketing campaign via social media to introduce and incentivize customers to patronize The Mega Alley
- Obtain quality word-of-mouth referrals from current customers
- Build and sustain a good reputation and garner connections in the industry
- Establish a minimum 95% clients satisfaction rate to retain long-term relationships with clients
- Endeavor towards consistently increasing sales to increase profit margin

1.2 SUCCESS FACTORS

The Mega Alley's growth and expansion will be critically dependent upon the number of clients we can attract with our standard line of service and products. The Mega Alley aims to achieve growth and expansion by incorporating the following:



- ❖ **Fluid Transition:** Remain innovative through creative service methods to ensure The Mega Alley stays current and transitions with public trends.
- ❖ **Budget Adherence:** Appropriately manage the day-to-day and long-term budgets to safeguard longevity of the business.
- ❖ **Improvements:** Pursue constant customer and community satisfaction through creative services, delivery methods, and products and community interaction. The Mega Alley seeks not only to improve its business image, but also that of the surrounding community.
- ❖ **Knowledge about the Industry:** Stay up to date in industry related knowledge and techniques; comply with federal, state, and local industry standards; follow market trends; continuously learn from established businesses; and strive to incorporate new ideologies.
- ❖ **Communication:** Establish consistent communication channels for customers, vendors, and community members to provide an open dialog, continually learn from feedback, and reach solutions to any issues in an expediated manner.
- ❖ **Social Media Footprint:** Create and maintain a strong social media plan to advertise and expand business connections.

1.3 KEY RISKS

The Mega Alley understands that all business ventures are exposed to risks, and has identified the following primary risks it can expect to encounter:

- Economic and financial instability
- Unexpected compliance requirements as a result of changing laws and regulations
- Personnel retention
- Natural disasters and resulting damage to structure and inventory
- Potential theft of high value or limited access inventory

1.4 COMPANY COMMITMENT

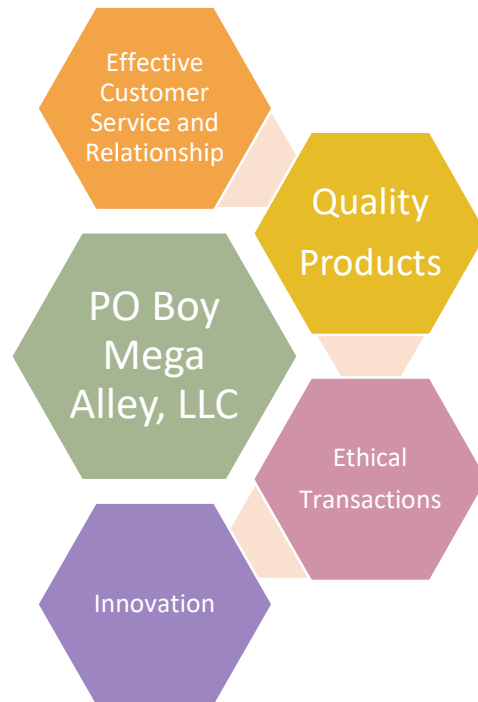
The Mega Alley commits to providing proactive, informative, and intent-driven customer service to satisfy its customers' needs. The owners are committed to building a business based on professionalism, courtesy, reliability, and dedicate themselves to a customer centric approach. The owners wish to build relationships with their customers and vendors with the intent to become a recognized community convenience store. The Mega Alley promises to hold itself accountable to the highest quality standards by meeting customers' needs each and every time they patronize the store.

The Mega Alley further commits to hiring local, reliable employees that are equally enthusiastic about customer service and maintaining quality control. The owners will cultivate a team-building environment that provides a human and sustainable approach to earning a living.

1.5 CUSTOMER MANAGEMENT

The Mega Alley endeavors to gain and maintain customer confidence by providing high quality inventory at attractive pricing, operating a wide range of store hours, and practicing good customer service and conflict resolution strategies.

1.6 CORE VALUES



1.7 SUSTAINABILITY PLAN

First, the brand views sustainability as a change process with specific action steps to strengthen company's infrastructure and innovation attributes that are necessary to sustain demand for our products. The process will be ongoing and cyclical to adopt customer's feedback at every point in time.

Secondly, the company will ensure an adaptive system as part the sustainability process. The system must be receptive to change, thus creating an environment for innovations to adapt

to the system, if necessary, to which they are introduced. That is; a capacity-building actions must be adapted to fit that reality.

1.8 COMPANY EXIT PLAN

The Mega Alley has no immediate plans to cease operations. Should a time arise where The Mega Alley is needing to wind up business operations, the entity will dissolve pursuant to the Nebraska Limited Liability Company Act.

2.0 COMPANY OVERVIEW

2.1 COMPANY SUMMARY

PO Boy Mega Alley, LLC is a Nebraska limited liability company formed for the central purpose of providing a convenience store in Omaha, Nebraska. The Mega Alley is owned and operated by local North Omaha residents committed to providing their neighbors with accessible goods and services and employment opportunities. The Mega Alley's physical location is strategically located near schools, churches, residential neighborhoods, and Miller Park where the owners aim to serve the largest swath of the North Omaha community.

2.2 COMPANY OWNERSHIP AND MANAGEMENT TEAM

President Myron Minnifield began his career by serving 17 years in the United States Airforce and then spent the next 10 years managing Po Boy Auto Sales, LLC, a successful buy-here-pay-here car lot that served the North Omaha community and beyond. Myron is a passionate and open-minded individual that is committed to his community.

Vice President Nevaeh J. Prince was Omaha raised and provides ongoing leadership to her community by volunteering on her church board and tutoring young girls in mathematics. Nevaeh is not only an ambitious pre-med college student, but is business minded with the understanding that strong local business will strengthen and support her local community.

Myron and Neveah are prepared to hire a team of local skilled and capable employees with a strong work ethic to elevate the business and increase community employment opportunities.

2.3 START-UP SUMMARY

The Mega Alley has already incurred start-up expenses for state business organization, to purchase real estate and a building for business operations, for building renovations and improvements, and to secure equipment necessary for its operating activities.

The Mega Alley plans to incur additional expenses for research and development of competitive convenience store services and products, to complete the remaining building renovations, commission a community driven mural, to build a farmer's market stand, and to incorporate picnic tables on the property in anticipation of community gathering and outreach.

2.4 MISSION STATEMENT

The Mega Alley, as a convenience store, aims to be a North Omaha staple that provides community members with their every-day needs in a convenient location and at competitive prices, and as a community member, seeks to engage community members and take part in larger civic projects to revitalize North Omaha.

2.5 VISION STATEMENT

The Mega Alley is a business that will provide unparalleled customer service to all of its patrons and be a beacon for community achievement.

3.0 MARKETING SUMMARY

3.1 TARGET MARKETS

The Mega Alley's target markets are adolescent and adult males ages 15-70 and adolescent and adult women ages 15-75. This target market was identified as a result of consultation with other businesses within the convenience store market and an analysis of the products and services the store intends to offer.

3.2 STRATEGY AND IMPLEMENTATION

The Mega Alley is particularly aware that convenience store services are within a competitive market, and there is a large possibility for competition in the near future. The Mega Alley strives to be ahead of the competition by maintaining clean and modern facilities, delivering superior customer service, and stocking consistent and reliable products at affordable prices. We believe we will have a competitive edge over other convenience stores in the local market because our leadership and employees are committed above all else to customer satisfaction. We have also targeted premium products and quality services not represented in our competitors' locations that are guaranteed to differentiate The Mega Alley from its competition.

3.3 SWOT ANALYSIS



The Mega Alley has conducted a SWOT analysis, which includes analysis of the Strengths, Weaknesses, Opportunities, and Threats affecting the business in its day-to-day transactions.

STRENGTHS

The Mega Alley currently excels in the following respects:

- Highly experienced, credible, and determined owner
- Prime, centralized location
- Strong ties to community and supportive involvement from the neighborhood
- Competitive and affordable pricing for quick market penetration

WEAKNESSES

The Mega Alley could currently experience improvement in the following areas:

- Startup business without established customers; building a client base may take time.
- Decreased marketing presence due to insufficient budget
- Untested products and services that may not perform as expected

OPPORTUNITIES

The Mega Alley has identified the following opportunities for growth:

- Growing local population
- Increased travel and tourism to the Omaha area
- Revitalization of North Omaha Neighborhoods
- Community excitement surrounding the property renovation and business opening
- Community desire for increased product offerings
- Marketing campaign via social media to increase visibility in target market

THREATS

The Mega Alley foresees potential issues regarding the following:

- Business imitation
- The need for expedited growth and sales revenue
- Community economic hardships
- Out performance in product sales by competitors
- Reduction in employee availability
- Propensity of convenience stores to be criminal targets

3.4 PROMOTIONAL STRATEGY

The Mega Alley will promote its goods and services using the following methods:

- Utilizing friends and family to promote awareness for the business
- Radio and Television station commercials
- Create various social media pages containing testimonials, advertisements, and promotional giveaways
- Hardcopy fliers and cards

- Sponsorship of local events and celebrations
- Advertise on metro bus stations
- Business networking within the convenience store industry and with potential vendors
- Utilizing Google AdWords and search engine optimization
- Engage a professional scriptwriter to create fascinating promotional scripts and ad copies for advertisement

3.5 SERVICES

The Mega Alley endeavors to always provide first-rate and memorable service to its customers. All customers and vendors will receive conscientious, one-on-one, timely service with the goal of obtaining repeat customers, brand loyalty, and a stable customer base.

3.6 COMPETITIVE EDGE

The Mega Alley will have a competitive advantage over its competitors through:

- Timely delivery of services
- Favorable, centralized location without a multitude of competitors
- Programs designed to benefit its customers that local competitors do not offer
- Ownership and management that understand the needs of their community and will provide matching products
- Ownership and management that are active within their community

Po Boy Mega Alley, LLC
Chart of Accounts

Assets:	Cash	\$	-
	Inventory	\$	50,000.00
	Accounts Receivable	\$	-
	Leasehold		
	Appliances & Equipment	\$	60,000.00
Liabilities:	Accounts Payable	\$	-
	Loans	\$	-

**Po Boy Mega Alley, LLC
Requested Funds Table**

Request Item	Cost	Use
Labor and Materials for Final Structural Building Renovations	\$6,000	Building will be used for convenience store and location for Culinary education
Central Air, including ductwork	\$10,000	comfort
Murals	\$9,000	Community based murals for beautification and connectivitiy
Final Commercial Kitchen Renovations and Appliances	\$15,000	Food preparation for sales and Culinary education
Fire Suppression for Commercial Kitchen	\$20,000	Kitchen Safety
Farmer's Market Stand	\$1,500	Community use for selling products
Picnic Tables (x4)	\$4,000	Customer and community use
Commercial Walk In Cooler	\$15,000	Product preservation
Commercial Drink Coolers (x5)	\$12,000	convenience
Traffic Barriers	\$10,000	Traffic Barriers between busy street and convenience store for customer protection
Product Inventory	\$50,000	Inventory for customer sales
Total:	\$152,500	

LEASE AGREEMENT

THIS LEASE AGREEMENT (hereinafter "Lease") is made effective March 1, 2022 by and between Myron Minnifield (hereinafter collectively "Landlord"), and Po Boy Mega Alley, LLC, a Nebraska limited liability company (hereinafter "Tenant").

WHEREAS, Landlord is the owner of the commercial real estate property consisting of a building containing about 1880 square feet and an adjacent parking lot with an address of 6011 North 30th Street, Omaha, NE 68111, within which Tenant will operate a convenience store style business out of (the "Premises").

WHEREAS, Tenant desires to lease the Premises from Landlord to conduct the business operations of Tenant, and such additional activities as are necessary or incidental to company operations.

Landlord and Tenant hereby agree as follows:

1. Definitions and Premises. The defined terms used in this Lease shall, unless the context otherwise requires, have the meanings specified in this section. The singular shall include the plural, the masculine gender shall include the feminine, and vice versa, as the context requires. "Premises" means the building containing about 1880 square feet and an adjacent parking lot with an address of 6011 North 30th Street, Omaha, NE 68111.

2. Premises and Rental Terms. Landlord hereby leases to Tenant and Tenant hereby leases from Landlord, the Premises above described. The Premises need significant repairs, which shall be the responsibility of the Tenant. In consideration thereof, Tenant shall lease the Premises free of charge from the Landlord for a period of one year. Tenant shall make improvements to the Premises for the purpose of operating a convenience store.

3. Initial Lease Term. The term of this Lease shall be for one year, with the lease commencing on March 1, 2022 and ending on February 28, 2023.

4. Renewal Term. After the expiration of the Initial Lease Term, the Lease shall be automatically extended for an initial period of five (5) years. During the Renewal Term, Tenant shall pay to Landlord monthly rent in the amount of \$800.00 per month, payable in advance on the first of each month during each month of the lease term, starting March 1, 2023. If Tenant fails to pay the rent due under this lease on or before the fifth day of each month, Tenant agrees to pay Landlord a late charge equal to 5.0% of the monthly rent amount.

5. Use. Tenant may use the Premises for a convenience store business, or such other appropriate activities as are incident to its business operation, and for no other purpose. Tenant agrees to comply with all applicable government laws, ordinances, and regulations in connection with its use of the Premises, including without limitation environmental laws, to keep the Premises in a clean and sanitary condition, and to use all reasonable precaution to prevent waste, damage, or injury to the Premises.

6. Security Deposit. No Security Deposit has been deposited with Landlord.

7. Costs, Expenses and Obligations. Except as otherwise specifically provided herein, the costs of all utilities and property maintenance relating to the Premises shall be paid by Tenant. In the event any of these forgoing costs are attributable to more than the Premises (i.e., the building as a whole rather than just the Premises), Tenant shall pay the pro rata share of such costs based on square footage. The personal property of Tenant at the Premises shall be at the risk of Tenant only, and Landlord will not be responsible for any damage to Tenant's personal property.

8. Taxes and Assessments. Tenant shall pay, as the same become due and payable and prior to delinquency, taxes and assessments directly attributable to the conduct of his business, including taxes, charges, license fees or similar fees directly attributable to the conduct of Tenant's business.

9. Utilities. Tenant shall, in his own name, contract for and pay when due all charges for connection or use of water, gas, electricity, garbage collection, security services, lot maintenance, repair and replacement, sewer use and other utility services supplied to the Premises during the Lease Term.

10. Insurance. Tenant shall maintain throughout the Term the following insurance policies: (1) commercial general liability insurance (2) insurance covering the full value of Tenant's property and improvements, and other property (including property of others) in the Premises, and (3) worker's compensation insurance.

11. Quiet Enjoyment. So long as Tenant shall keep and perform all of the terms, covenants and conditions on its part herein contained, Landlord covenants that Tenant, subject to Landlord's rights herein, shall have the right to the occupancy of the Premises.

12. Condition of Premises. Tenant agrees that no promises, representations, statements, or warranties have been made on behalf of Landlord to Tenant respecting the condition of the Premises or the making of any repairs to the Premises. By taking possession of the Premises, Tenant acknowledges that the Premises were in satisfactory condition when possession was taken. During the Lease term, Tenant shall maintain the Premises, including the performance of all necessary repairs and replacements, at its sole expense in a manner sufficient to keep the Premises in good condition. Tenant shall, at the termination of this Lease, by lapse of time or otherwise, remove all of Tenant's property and surrender the Premises to Landlord in as good condition as at the beginning of this Lease, normal wear excepted, except as otherwise provided herein.

13. Expansion; Improvement. In the event Tenant desires the expansion or improvement of the Premises, plans for same shall require prior written approval of Landlord, which may be withheld in Lessor's sole discretion, and all costs, expenses, charges and or fees for same shall be the sole obligation of Tenant.

14. Condemnation or Destruction. If the whole or any part of the Premises shall be taken by public authority under the power of eminent domain, then the term of this Lease shall cease on that portion of the Premises so taken, from the date of possession, and the rent shall be paid to that date, with a proportionate refund by Landlord to Tenant of such rent as may have

been paid by Tenant in advance. If the portion of the Premises taken is such that it prevents the practical use of the Premises for Tenant's purposes, then Tenant shall have the right either (a) to terminate this Lease by giving written notice of such termination to Landlord not later than thirty (30) days after the taking, or (b) to continue in possession of the remainder of the Premises, except that the rent shall be reduced in proportion to the area of the Premises taken. In the event of any taking or condemnation of the Premises, in whole or in part, the entire resulting award of damages shall be the exclusive property of Landlord, including all damages awarded as compensation for diminution in value to the leasehold, without any deduction for the value of any unexpired term of this Lease, or for any other estate or interest in the Premises now or hereafter vested in Tenant.

15. Tenant's Default. Each of the following occurrences shall be a "Tenant Event of Default" on the part of Tenant:

- a. Tenant's failure to pay rent within ten (10) days after the same is due;
- b. Tenant fails to provide any estoppel certificate verifying factual information supplied on the certificate by Landlord as called for in this Lease and such failure shall continue for ten (10) days after written notice thereof from Landlord to Tenant;
- c. Tenant's failure to perform, comply with, or observe any other agreement or obligation of Tenant under this Lease and the continuance of such failure for a period of more than thirty (30) days after Landlord has delivered to Tenant written notice thereof provided, if the nature of Tenant's failure is such that more time is reasonably required in order to cure, there shall be no Event of Default if Tenant commences to cure within such period and thereafter reasonably seeks to cure such failure to completion; and
- d. The filing of a petition by or against Tenant (the term "Tenant" shall include, for the purpose of this subsection, any guarantor of Tenant's obligations hereunder) (1) in any bankruptcy or other insolvency proceeding; (2) seeking any relief under any state or federal debtor relief law; (3) for the appointment of a liquidator or receiver for all or substantially all of Tenant's property or for Tenant's interest in this Lease; or (4) for the reorganization or modification of Tenant's capital structure; however, if such a petition is filed against Tenant, then such filing shall not be an Event of Default unless Tenant fails to have the proceedings initiated by such petition dismissed within ninety (90) days after the filing thereof.

16. Landlord's Remedies. Upon any Tenant Event of Default, Landlord may, in addition to all other rights and remedies afforded Landlord hereunder or by law or equity, take any of the following actions:

- a. Terminate the Tenant's right to possession of the Premises by any lawful means in which case this Lease terminates and the Tenant will immediately surrender possession of the Premises to the Landlord. In such event Landlord will be entitled to recover from the Tenant all damages incurred by the Landlord by reason of the Tenant's default including, but not limited to, (a) the cost of recovering possession of the Premises,

(b) expenses of reletting including necessary renovation and alteration of the Premises, (c) reasonable attorneys' fees and any real estate commission actually paid, and (d) the worth at the time of the award by the court having jurisdiction thereof of the amount by which the unpaid Rent for the balance of the Term after the time of such award exceeds the amount of such Rent loss for the same period that the Tenant proves could be reasonably avoided. In the event that the Tenant has abandoned the Premises, the Landlord has the option of taking possession of the Premises and recovering from the Tenant the amount specified in this subsection or proceeding under the provisions of the subsection immediately below.

b. The Landlord may terminate this Lease and immediately repossess the Premises and recover as damages a sum of money equal to the excess of the present value of the Rent required to be paid by the Tenant for the balance of Term plus any other sum of money and damages owed by the Tenant to the Landlord less the present value of the fair market rental value of the Premises for said period. Should the fair market rental value exceed the value of the Rent required to be paid by the Tenant for the balance of the Term, the Landlord has no obligation to pay to the Tenant the excess or any part thereof.

c. The Landlord may continue this Lease in full force and effect and the Lease will continue in effect as long as the Landlord does not terminate the Tenant's right to possession and the Landlord will have the right to collect Rent when due. During the period the Tenant is in default, the Landlord may enter the Premises and relet them, or any part of them, to third parties for credit to the Tenant's account. The Tenant will be liable immediately to the Landlord for all costs the Landlord incurs in reletting the Premises, including, without limitation, brokers' commissions, expenses of remodeling the Premises required by the reletting and all other like costs. Reletting may be for a period shorter or longer than the remaining term of this Lease. The Tenant will pay to the Landlord the Rent due under this Lease on the date the Rent is due less the Rent the Landlord receives from any reletting. No act by the Landlord allowed by this subsection will terminate this Lease unless the Landlord notifies the Tenant that the Landlord elected to terminate this Lease.

17. Non-Waiver. Landlord's acceptance of Rent following an Event of Default shall not waive Landlord's rights regarding such Event of Default. No waiver by Landlord of any violation or breach of any of the terms contained herein shall waive Landlord's rights regarding any future violation of such term. Landlord's acceptance of any partial payment of Rent shall not waive Landlord's rights with regard to the remaining portion of the Rent that is due, regardless of any endorsement or other statement on any instrument delivered in payment of Rent or any writing delivered in connection therewith; accordingly, Landlord's acceptance of a partial payment of Rent shall not constitute an accord and satisfaction of the full amount of the Rent that is due.

18. Mortgage and Subordination. The Premises may be encumbered with mortgages or deeds of trust for financing or refinancing of the debts of the owner(s) of the Premises; provided, however, that no such mortgage or deed of trust shall interfere with the rights of Tenant hereunder, and all parties to any such financing shall agree to attorn to such rights under

the provisions of this Lease and shall provide evidence of such attornment to Tenant. Tenant may file or cause to be filed any financing documents necessary to evidence security agreements covering its property located at the Premises.

19. Estoppel Certificate. Upon the request of either party, at any time and from time to time, Landlord and Tenant agree, promptly and in no event later than 15 days after receipt of a request in writing from the other, to execute, acknowledge and deliver a statement in writing certifying that this Lease is unmodified and in full force and effect (or, if there have been modifications, that the same is in full force and effect as modified and stating the modifications) and the dates to which any sums due hereunder have been paid.

20. Compliance with ADA. Tenant shall be responsible for all costs of complying with the Americans with Disabilities Act (ADA) and all similar laws and regulations within the Premises.

21. Assignment. Tenant shall not assign this Lease or sublet the whole or any part of the Premises, transfer this Lease by operation of law or otherwise, or permit any other person except agents and employees of Tenant to occupy the Premises, or any part thereof, without the prior written consent of Landlord. Landlord may consider any factor it deems relevant in determining whether to withhold consent including, but not limited to, the following: (a) financial responsibility of the new tenant, (b) identity and business character of the new tenant, (c) nature and legality of the proposed use of the Premises. Landlord shall have the right to assign its interest under this Lease or the rent hereunder.

22. Notices. All notices, demands, requests, consents, approvals or other instruments required or permitted to be given by either party pursuant to this Lease shall be in writing and shall be deemed to have been properly given if sent by registered or certified mail to the party at the address set forth below or to such other address as either party may give notice pursuant to this section from time to time. All notices shall be deemed received when delivered but in no event later than five days after they are deposited with the United States Postal Service, whichever shall first occur.

Landlord: Myron Minnifield
6536 Read Street
Omaha, NE 68152

Tenant: Po Boy Mega Alley, LLC
6011 North 30th Street
Omaha, NE 68111

23. Holding Over. If Tenant remains in possession of the Premises after the expiration of the term hereof, Tenant may be deemed a tenant on a month-to-month basis subject to all the terms of this Lease.

24. Landlord's Reserved Rights. Without notice to Tenant, and provided that the exercise of such rights does not unreasonably interfere with Tenant's access to or occupancy of the Premises, Landlord shall have the right to:

a. Make, at its own expense, repairs, alterations, additions, and improvements, structural or otherwise, in or to the Premises;

b. Approve all signs, painting, and lettering on the Premises prior to the installation thereof;

c. Enter the Premises at reasonable hours to show the Premises to prospective purchasers, lenders, or during the last four months of the Term, to tenants.

25. Surrender of Premises. No act by Landlord shall be deemed an acceptance of a surrender of the Premises, and no agreement to accept a surrender of the Premises shall be valid unless it is in writing and signed by Landlord. At the expiration or termination of this Lease, Tenant shall deliver to Landlord the Premises with all improvements located therein in good repair and condition, broom-clean, reasonable wear and tear, condemnation and casualty damage excepted, and shall deliver to Landlord all keys to the Premises. Provided that Tenant has performed all of its obligations hereunder, Tenant may remove all unattached trade fixtures, furniture, and personal property placed in the Premises by Tenant. All items not so removed shall be deemed to have been abandoned by Tenant and may be appropriated, sold, stored, destroyed, or otherwise disposed of by Landlord without notice to Tenant and without any obligation to account for such items. The provisions of this section shall survive the termination of the Lease.

26. Waiver and Amendment. No provision of this Lease shall be deemed waived or amended except by a written instrument unambiguously setting forth the matter waived or amended and signed by the party against which enforcement of such waiver or amendment is sought. Waiver of any matter shall not be deemed a waiver of the same or any other matter on any future occasion.

27. Disclaimer of Joint Venture. None of the one or more agreements contained herein is intended, nor shall the same be deemed or construed, to create a partnership between Landlord and Tenant to make them joint venturers, nor to make either party in any way responsible for the debts or losses of the other party.

28. Captions. Captions are used throughout this Lease for convenience of reference only and shall not be considered in any manner in the construction or interpretation hereof.

29. Severability. The provisions of this Lease shall be deemed severable. If any part of this Lease shall be held unenforceable by any court of competent jurisdiction, the remainder shall remain in full force and effect, and such unenforceable provision shall be reformed by such court so as to give maximum legal effect to the intention of the parties as expressed therein.

30. Construction Generally. This is a commercial lease between entrepreneurs which has been entered into by both parties in reliance upon the economic and legal bargains contained herein. This Lease shall be interpreted and construed in a fair and impartial manner without regard to such factors as the party which prepared the instrument, the relative bargaining powers of the parties or the domicile of any party.

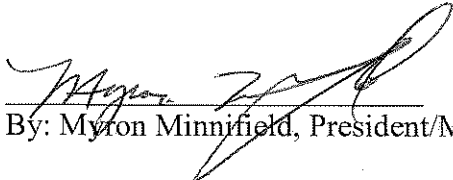
31. Other Documents. Each of the parties agrees to sign such other and further documents as may be appropriate to carry out the intentions expressed in this Lease.

32. Entire Agreement. This Lease, and any other instruments or agreements referred to herein, constitute the entire agreement between the parties with respect to the subject matter hereof, and there are no other representations, warranties or agreements except as herein provided.

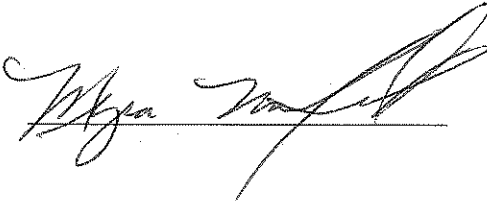
33. Counterparts. This Lease may be executed in one or more counterparts, each of which shall be deemed an original.

IN WITNESS WHEREOF, Landlord and Tenant have entered into this Lease to be effective the date first above written.

TENANT: Po Boy Mega Alley, LLC


By: Myron Minnifield, President/Manager

LANDLORD: Myron Minnifield

By: 

Grant Application

Row 206

Organization Name (if applicable)	JT&T Trucking, LLC
Physical Address	13830 N. 78th Street Omaha,NE
Mailing Address	
Website	NA
Social Media Accounts	NA
Name	Cal Erwin
Title	CEO
Email Address	colettas2@msn.com
Phone	+1 (402) 813-2800
Team	Yes
	<p>Cal Erwin, Chief Executive Officer, Over 55 years of experience in Trucking Jimeace Erwin Andrews, Chief Operating Officer, B.S. in Behavioral Science with over 30 years of experience in Administration and trucking. Coletta Erwin Hollingsworth, Vice President Erwin Trucking, B.S in Business Management and a Master degree in Public Service. Over 40 years of experience in Administration and Trucking. Calvin Erwin, jr., Vice President Legacy Hauling and Excavating Ja Mia Collins, Vice President , Trucking Institute of North Omaha, B.S in Psychology and B.S. in Black Studies., 6 years of combined experience in Administration and Instruction at the University level. Lorraine Blow, Executive Administrator, Trucking Institute of Omaha, Over 35 years in Administration and Trucking Courtney Collins, Director of Security, 7 years of security experience including managerial and directorial positions and current duty as a law enforcement officer.</p>
Organizational Chart	Please see uploaded document
Other Completed Projects and/or Accomplishments	It is our goal to help the people in low-income areas specifically North Omaha. We have a background in education within the North Omaha community. We have partnered with Omaha Job Training in the past we have trained over 150 drivers so that they were able to obtain their Commercial Driver License. The drivers that we trained are still in the workforce today they drive tractor trailers, but they also drive city buses as well.
Proposal Title	JT&T Transportation Hub

Total Budget (\$)	\$1,163,528.00
LB1024 Grant Funding Request (\$)	\$1,163,528.00
Proposal Type	Capital project
Brief Proposal Summary	We will foster Long-Lasting Economic Growth by dividing into three divisions. Each division will be sustainable and growing at its own pace. We will offer gainful employment within each division. JT&T Services will reinvest into the community that we love so much. Not only will we continue to reinvest in our business to keep it growing but we will also invest in our employees by investing in an excellent benefit program that will include a 401K. By hiring at a base of \$25.00 per hour we will be able to keep high wage jobs in North Omaha. We will also invite financial institutions in to teach financial literacy because that is something a lot of families in North Omaha did not teach.
Timeline	Please see uploaded document
Percentage completed by July 2025	100%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	It is our intent to build a Transportation Hub within North Omaha, for North Omaha. We are not aware of any building or service such as this in existence in the East sector of Omaha. JT&T Services will be the holding company of Erwin Trucking, Legacy Hauling and Excavating and The Transportation Institute of North Omaha. By splitting into divisions, we are able to concentrate on specific needs within the community. The purpose of the Transportation Hub is three-fold. The first is help North Omaha become a sustainable community. We will do this by providing excellent training and high paying jobs in transportation and logistics to those in the community. We will do this by opening the Transportation Institute of North Omaha. We will use the Institute to train people who are wishing to obtain a Commercial Driver's license (CDL) and other industry related certifications. We will have qualified instructors teach all phases necessary to pass the CDL exam. After they qualify for their CDL, they will receive an offer letter for employment from

Erwin Trucking or Legacy Hauling and Excavation. There is a need for people who are cross-trained and can operate other equipment, for example the excavators and front-end loaders, to be able to move with the industry. We plan to train in identified high need areas, which are truck drivers and specifically Owner Operators in North Omaha. Secondly, it will give the driver a chance to drive locally or over the road for a company in North Omaha. This will be beneficial because it will provide us with qualified well-trained drivers and also create doors to other opportunities for drivers who want to diversify their experience. Being efficiently trained will enable the drivers to apply at larger company's such as Amazon and Walmart where they can make over \$100,000.00 per year. We will not only need drivers but office workers and mechanics. Our wage minimum for all employed personnel will be \$25.00 per hour. Our facility will be an eco-friendly, technologically sound space that we will open to other companies who are in need of our services. It is our goal to help North Omaha and underserved populations within the community. With a background in education within the North Omaha community, we have partnered with Omaha Job Training in the past, training and producing over 150 drivers who successfully obtained a Commercial Driver License. Many of those drivers are still actively in the workforce as trailer tractor drivers as well as driving city buses. The second is to help small minority truck companies and Owner/Operators bring down the cost of operating their trucks. Once the maintenance shop is built, we will be able to provide the services at cost to the owner/operators and small business owners in the East sector of Omaha. Providing a service as simple as an oil change at cost will enable the owner to keep the truck on the road and increase their bottom line. We will offer all preventive maintenance at cost. In the coming years there will be a great need for dump trucks due to the passage of the infrastructure bill. One of the biggest downfalls for a dump truck owner is maintenance. According to the DOL there are a total of 2583 Owner/Operator in Nebraska. Less than 29% of those drivers are minorities. The biggest obstacle for Owner/Operators is the cost of maintenance. If the cost of maintenance could be brought down to cost, then more minorities could afford to own their own business. It is our belief that if cost is brought down then there would be more independent Owner/Operators. According to the American Trucking Association's U.S. Freight Transportation Forecast to 2022, freight tonnage will spike 24 percent in 2022, resulting in a 66 percent revenue increase in the industry. A large portion of the rise for 2022, and even for the next decade, is dominated by the trucking segment. The market size, measured by revenue, of the Long-Distance Freight Trucking industry is \$262.9bn in

Visioning Workshop Findings Alignment

To our knowledge there is no other entity like our transportation depot that has its own eco system that will benefit our personnel and the community. We start with The Transportation Institute of North Omaha that helps individuals obtain skills and licensing in this specific industry then offers high paying employment in through Erwin Trucking, Inc. and Legacy Hauling and Excavating, and provides the necessary tools to expand their skill set and experience in the Transportation and Logistics industry.

Priorities Alignment

The Transportation Hub is transformational because it is a new concept in North Omaha. Not only will the building and grounds add to the beauty of North Omaha, but the hustle and bustle of people coming and going in a section that has not had any

growth will help transform the east section of North Omaha. We will bring fundamental change by continuing to elevate North Omaha's perception not only thru out the region but the country. When our trucks leave this city, they take North Omaha to wherever they go. By, JT&T, being based in North Omaha that will bring people into North Omaha that usually would not come. We will foster Long-Lasting Economic Growth by dividing into four divisions. Each division with be sustainable and growing at its own pace. We will offer gainful employment within each division. JT&T Services will reinvest into the community that we respect and treasure. Not only will we continue to reinvest in our business to keep it growing but we will also invest in our employees by underwriting protean benefit program that will include a 401K. By hiring at a base of \$25.00 per hour we will be able to keep high wage jobs in North Omaha. We will also invite financial institutions in to teach financial literacy because that is a skillset many in the community are in need of. With three educated and experienced generations working at and managing the divisions of JT&T Services, it is our goal to create generational wealth by building a healthy company from the ground up. By reinvesting in our company and community we will be able to pass it on to generations to come. There is nothing better than a healthy community and it is our goal to help our community become healthy in a way that it has never been.

Economic Impact	Executive, Mid, and Entry Level
	Approximately 55
	TBD
	See uploaded Document
	Once, we are able to operate, we are able to hire independent contractors and partner with local businesses.
Community Benefit	We are aiding to diversify the economy by offering high wage jobs. As we continue to grow, we will steadily need to increase the number of people we employ, which will continue to benefit not only our employees but the community as they continue to live and patronize businesses and services within the community.
	As we previously stated, we will be helping economically, but in addition, we will be offering services to the community such as financial literacy sessions, scholarships, holiday giveaways, and simply keeping our finger on the pulse on the needs of our community and how we can help.
Best Practices/Innovation	We have a unique opportunity to incorporate both best practices and innovation. It is commonly understood that when individuals have access to germane resources, they are more likely to succeed. As previously touched upon, one of the biggest obstacles for Owner/Operators is maintenance. Our Transportation Depot would offer quality maintenance at cost, making it more accessible for them to succeed. What's innovative, is that there is currently no entity that offers a "one stop shop" experience for not only their personnel but to owner/operators in the community. Speaking of being a "one stop shop," there are very few organizations where you can be properly trained and licensed, offered direct high-wage

employment, and have further opportunities for expansion and experience. Outcome Measurement

Outcome Measurement	We will measure high-wage job opportunities and improved education
	We will be able to measure the outcome of high wage jobs by using HR to keep record of all employee/personnel information including wages, as well as position vacancies and the wage for those positions. The Transportation Institute of North Omaha will keep record of the number of active students enrolled in programming and the number of students that have successfully completed licensing programs.
	Yes
Partnerships	No
Displacement	No
Displacement explanation	
Physical Location	RIVERFRONT INDUSTRIAL PARK REP 5 LOT 2 BLOCK 0 - EX IRREG 15,682 SQ FT DESC 2006 048700- LT 2 (Parcel ID # 2118615263) City of Omaha Douglas County, Nebraska
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	Please see uploaded document
Property Zoning	Yes
Is the project connected to utilities?	
	Yes
	No
Design, Estimating, and Bidding	No
	Yes
General Contractor	Yes
	No
	We went with a minority contractor.

Request Rationale We are requesting a total amount of \$11,063,526. This amount will provide funding for personnel to physically complete all necessary jobs and posts, the building and grounds to house and execute all operations, the equipment necessary to fulfill the needs of the company and all its divisions from top to bottom, and all other needs to ensure successful and productive operations and employment

Grant Funds Usage The funds will be used to employ personnel, erect a building, shop, and grounds for operation, and purchase equipment for all areas of operation. In our attached budget there is a description of the usage of each item or position.

Proposal Financial Sustainability Yes

After being able to obtain all necessary equipment, we will be able to soft open operations, employ personnel, and start working on sites hauling and excavating and contract with companies for local and over the road transportation.

Funding Sources None

na

We are not anticipating any other funding sources.

Scalability Being that we have proactively structured our proposal and timeline in a way that allows for us to move into full operation in a gradual and productive fashion, there is no foreseeable scalability.

na

Financial Commitment The best way we can answer this is by simply stating that we are 100% all in. Virtually every member of our team is leaving their current employment, ending their retirement, and/or making changes to their career to be able to make this organization as successful and impactful as we can. These decisions all have some sort of financial contractionary impact. Yet we are willing to put it all on the line in an effort to create something more substantial than ourselves.

ARPA Compliance Acknowledgment

ARPA Reporting and Monitoring Process Acknowledgme

LB1024 Funding Sources Acknowledgment

Public Information

File Uploads Additional Location Documents (see application for list) Data table of uses (breakdown of how the requested funds will be

used for your proposal) Organizational Chart Proposal
Budget/Sources and Uses

CATEGORY	DESCRIPTION & USES	AMOUNT	AMOUNT DETAILS
PERSONNEL			
EXECUTIVE LEVEL			
Directs, plans, and coordinates operational activities for their organization or company and are normally responsible for devising policies and strategies to meet company goals. Salaried			
JT&T Services CEO	Calvin Erwin Sr., manages the company business of JT&T Services and all of it's divisions.	80,000	Base Salary
JT&T Services COO	Jimeace Erwin-Andrews, handles internal operations of JT&T Services and all of it's divisions.	70,000	Base Salary
Vice President of Erwin Trucking Inc	Coletta Erwin-Hollingsworth, creates and implements the vision and strategy for transportation programs, systems and processes required to support the company's current and future distribution and supply chain requirements.	68,250	\$35/hr
Vice President of Legacy Hauling and Excavating	Calvin Erwin Jr., creates and implements the vision and strategy for local hauling and excavating	68,250	\$35/hr
Vice President of The Transportation Institute of North Omaha	Ja Mia Collins, plans, implements, and coordinates training programs	68,250	\$35/hr
Executive Director of Security	Courtney Collins, enforces security protocols and policies and conducting training and programs to employees for safety and emergency drills and manages IT needs and concerns.	58,500	\$30/hr
MID-LEVEL			
Head of major departments, their specialized units, or in a specially trained role. Hourly.			
Safety Coordinator	Monitoring and evaluating daily operations and planning procedures to mitigate risks and improve safety regulations.	55,000	\$27.50/hr
The Transportation Institute of North Omaha Executive Adm	Lorraine Blow, responsible for assisting the senior management staff in managing and coordinating training programs, staff, and students.	\$55,000	\$27.50/hr
Human Resources and Recruitment	Scouting new employees, arranging interviews, coordinating hiring efforts, and onboarding new employees.	\$55,000	\$27.50/hr
Estimator	Draws up, estimates, and determines the overall costs of a new or existing construction project.	\$55,000	\$27.50/hr
Shop Management	Oversee daily operations and have techs under them.	\$55,000	\$27.50/hr
Shag Driver	Pulling trucks through the plant several times for each load. Scale empty trucks and then park them. Ensure trucks and trailers are secured properly and road-worthy. Properly maintain and keep accurate maintenance records.	\$55,000	\$27.50/hr
Dispatch	Arrange for parcels and shipments to be picked up and plan freight deliveries. In addition, they are responsible for planning drivers' routes, transmitting shipment details to customers, and scheduling truck drivers.	\$55,000	\$27.50/hr
ENTRY LEVEL			
Personnel having 0-2 years of experience and building further skills and knowledge.			
Accounts Payable	In charge of making payments owed by the company to suppliers and other creditors, paying vendor invoices or bills, and recording the company's short-term debts	\$52,000	\$25/hr
Administrative Assistant	Responsible for many clerical tasks to ensure the staff can communicate and work efficiently.	\$52,000	\$25/hr
Accounts Receivable	Correctly bill clients for goods or services.	\$52,000	\$25/hr
Security Officers	Responsible for ensuring the safety and protection of a company's employees, visitors, and associated property	\$52,000	\$25/hr
Payroll	Verifying employees' work hours and payment through the payroll system.	\$52,000	\$25/hr
Truck Drivers	Responsible for transporting goods from one location to another.	\$52,000	\$25/hr
Instructors	Provides training in policy, procedures in compliance with all local, state and federal rules, regulations and laws.	\$52,000	\$25/hr
Mechanics	Inspect, make diagnoses, and repair the brake systems and other electrical components. They conduct routine maintenance work, which aims for longevity and functionality.	\$52,000	\$25/hr
Excavator Drivers	Operates construction, excavation, hauling, and maintenance equipment including backhoes, front-end loaders, bulldozers, excavators, or grade tractors.	\$52,000	\$25/hr
IT (Information Technology)	Responsible for installing, maintaining and repairing hardware & software components of the organization's computers.	\$52,000	\$25/hr
Side Dumpster Drivers	Keeps accurate log of deliveries and completes required paperwork for billing.	\$52,000	\$25/hr
MICELLANEOUS			
PERSONNEL SUBTOTAL		1,370,250	
BUILDING & GROUNDS			
Building and Shop	Preliminary Bid from Davis Contracting for an 120x60 building and includes site work, electrical, plumbing, mechanical, and all structural components to complete this project to the finish.	2,500,000	
Fencing	Would surround all of the building and grounds	60,000	
Sliding Electric Gate	Main entrance and exit for the grounds	20,000	
BUILDING & GROUNDS SUBTOTAL		2,580,000	
EQUIPMENT			
TRANSPORTATION & CONSTRUCTION			
Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC. Vehicles and Equipment			
Sleeper Trucks (6)	Heavy-duty semi-truck that transports goods and has a compartment attached behind the cabin of a tractor unit used for rest or sleeping.	1,200,000	200,000/each
Refrigerated Trailers (6)	Otherwise known as a refer, transports goods that need to maintain a colder temperature	174,900	29150/each
Van Trailers (2)	Otherwise known as dry trailers that transport dry goods.	153,800	76900/each
Shag Truck	Used in moving trailers and containers short distances around freight terminals, port facilities, warehouses, and other facilities.	\$120,000	
Low Boy	A semi-trailer with two drops in deck height: one right after the gooseneck and one right before the wheels.	\$121,183.00	
Dump Trucks (3)	Used for transporting materials for construction.	\$727,500	\$242,500.00/each
Side Dumpster Trailers (6)	Used for transporting materials for construction that can be unloaded from the side.	415,194	69,199.00
Day Cab (6)	Heavy-duty semi-truck that transports goods and doesn't have a sleeping berth behind the driving cab.	1,080,000	180,000
Pickup Trucks (2)	Used for security, ground maintenance and other operational use	\$130,000	\$65000/truck
Service Truck with gas tank	Used to refuel gas powered equipment	\$115,998	
950GC-Wheel Loader	Used to load and carry materials across a job site.	291,390.00	CAT Equipment
320-Excavator	Used for projects such as demolition, dredging rivers, material handling, or just simply heavy lifting of objects.	269,000.00	CAT Equipment
305-Mini Excavator	Used to dig out trenches and ditches.	104,181.25	CAT Equipment
289-Skidsteer	Used for interior and exterior demolition projects and debris removal.	88,670.00	CAT Equipment
953-Track Loader	Used for unloading trucks, digging, lifting, grading, and bulldozing.	357,990.00	CAT Equipment
Dozer	Used to push large quantities of rubble, soil, sand and other loose materials.	316,000.00	Builders Machinery & Supply Co.
SHOP			
Auto Shop will service Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC. Vehicles and Equipment			
Pressure Washer	For heavy duty cleaning of Trucks, Trailers, and all other equipment.	9,950.00	
Varied Bay Equipment	Such as Jacks, Hanging Oil and Grease, etc)	10,000	
Battery Charger	Heavy Truck Jump Starter 12/24V (w/ AGM Batteries)	2,334.00	via Unique Truck Equip.
TECHNOLOGY			
All technological needs for Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC.			
GPS	For all local and over the road Trucks	\$1,600	\$80/truck trailer/month
Log System for drivers	Allows drivers to log hours, miles, and other pertinent information.		
Ethernet	A continuous, high-bandwidth method for enterprises to connect their local area networks (LANs) with the public internet and streamline the performance of their wide area network (WAN).	2,500	
Wi-Fi	Widespread internet.	\$2,388	\$199/month

Inventory System for the Shop	Used to track products purchased by company	\$1,068	yearly
Payroll System	Keep track of worked hours, calculating wages, withholding taxes and other deductions, printing and delivering checks, and paying government employment taxes.	\$482.35	Bi Weekly
Badge Readers	Have to wait on quotes	\$450	\$9/user/month
DUO Authentication	Prevent Data Breaches With Strong Authentication.	\$108	\$9/month
Code Reader for the shop (2)	For example, an Autel AL539, goes beyond check engine functions to include antilock braking systems, airbags, transmissions and more.	\$180	
Laptops	These laptops will be for student use while enrolled in the institute.	\$21,250.00	\$850/laptop
Laptop Charging Cart	Charging Cart for the laptops used by The Transportation Institute of North Omaha students	\$939.88	Amazon
Desktop Computers	Used for office employees for JT&T Services, Legacy Hauling & Excavating, and the Transportation Institute of North Omaha	\$24,464.00	\$1,529/laptop
Phone System	Used for advanced telephone features such as call handling and transferring, conference calling, call metering and accounting, private and shared voice message boxes, and so on for JT&T Services, Legacy Hauling & Excavating	\$5,988	\$24.95/per user(20)/ per month
Radios	Used for communication amongst truckers	\$12,870	\$429.00/each
Laptops for each Truck	Used to utilize log system for drivers to log hours, miles, and other pertinent information.	\$73,000	\$3650/laptop
Digital Boards	Use for teaching at the Transportation Institute of North Omaha	2,899.99	
EQUIPMENT SUBTOTAL		5,838,278	
MICELLANEOUS			
Vehicle Insurance	Insurance to cover each truck and it's driver for Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC.	\$1,000,000	\$50,000/truck, for 20 vehicles
Health/Vision/Dental	For Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC. full time employees		Awaiting Quotes
Life Insurance	For Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC. full time employees		Awaiting Quotes
Branded Items	Stationery, pens, shirts, hats, etc. for Erwin Trucking, Inc., Legacy Hauling & Excavating, Transportation Institute of North Omaha, and JT&T Services, LLC.		Awaiting Quotes
Working Capital		\$275,000	
MICELLANEOUS SUBTOTAL		\$1,275,000	
GRAND TOTAL		11,063,528	



PURCHASE AND SALE AGREEMENT

(This is a legally binding contract. If not understood, seek legal advice.)

Investors Realty, Inc., Broker

J T & T Services, Inc., "Buyer" (whether one or more) agrees to purchase, and Krejci R Frank Trustee, "Seller" agrees to sell, pursuant to the terms of this Purchase Agreement (this "Agreement"), the Property described as follows:

1. **Address:** To be determined.
2. **Legal Description (Property):** RIVERFRONT INDUSTRIAL PARK REP 5 LOT 2 BLOCK 0 -EX IRREG 15,682 SQ FT DESC 2006 048700- LT 2 (Parcel ID # 2118615263) City of Omaha Douglas County, Nebraska (the "Property"), together with all (i) buildings, (ii) fixtures, (iii) improvements; (iv) any and all rights, titles, powers, privileges, easements, licenses, rights-of-way and interests appurtenant to and which benefit the Property and/or the improvements and (vii) equipment permanently attached to the Property. The Property is depicted on the attached Exhibit "A".
3. **Personal Property:** The only personal property included is as follows: None
4. **Conveyance:** Seller represents that it has good, valid and marketable title, in fee simple, and agrees to convey title to the Property to Buyer or its nominee by general warranty deed, free and clear of all liens and encumbrances or special taxes levied or assessed. The Property will be conveyed free and clear of tenants in possession. The sale and purchase of the Property is subject to all applicable building codes and zoning laws, and other governmental laws and regulations.
5. **Assessments:** Seller agrees to pay any assessments for public improvements previously constructed or ordered or required to be constructed by the public authority, but not yet assessed. Seller is not aware of any public improvements ordered or required to be constructed but not yet constructed.
6. **Purchase Price:** Buyer agrees to pay Four Hundred Ninety-Eight Thousand Five Hundred Eighty-Five Thousand and 40/100 Dollars (\$498,585.40) (the "Purchase Price") on the following terms: Ten Thousand and no/100 Dollars (\$10,000.00) (the "Deposit") deposited with TitleCore (the "Title/Escrow Agent") within three (3) business days after full execution of this Agreement. The Title/Escrow Agent will provide a receipt. In the event of refusal or failure of the Buyer to consummate the purchase, the Seller may, at its option, retain the Deposit as liquidated damages for failure to carry out the terms of this Agreement. The Deposit amount shall be credited against the Purchase Price subject to adjustment as set forth herein and the balance of the Purchase Price is to be paid in immediately available funds at Closing.
7. **Applicable Conditions:** This Agreement is conditioned upon the happening of each of the following events. If each of the same have not occurred within the time stated, this offer shall be null and void, and any Deposit promptly returned to Buyer.
 - A. **Due Diligence:** Buyer shall have One Hundred Twenty (120) days after the Effective Date to inspect the Property and complete engineering, environmental, survey and such other studies Buyer requires to determine that the Property is suitable for Buyer's intended use, provided however, Buyer or Buyer's representatives will not make or conduct any physically invasive testing of, on or under the real estate without Seller's prior written consent which consent may be withheld in Seller's sole discretion. If Buyer, in Buyer's sole discretion, determines the Property is unsuitable, Buyer may terminate by giving written notice within said Forty-five (45) days and the Deposit will be refunded. Buyer or Buyer's agents have the right to enter upon the Property, at reasonable times in order to perform such investigations as Buyer deems necessary including without limitation soil tests and environmental audits. Buyer will promptly repair and restore any damages to the Property caused by such inspections. Buyer will not permit any liens or encumbrances to arise against the Property in connection with their investigation, and shall indemnify, defend and hold Seller harmless against any and all loss, liability and costs relating to Buyer's (or Buyer's agents, employees or representatives) entry and investigation of the Property.
 - B. **Financing:** Buyer shall obtain a commitment for financing on terms satisfactory to Buyer within One Hundred Twenty (120) days after the Effective Date. If a commitment satisfactory to Buyer, in Buyer's sole discretion, is not obtained within said time period, Buyer shall notify Seller in writing and this offer shall be null and void and the Deposit returned to Buyer.
8. **Taxes:** Urban Taxes: All consolidated real estate taxes which become delinquent in the year in which Closing takes place shall be treated as though all are current taxes, and those taxes shall be prorated as of the Closing Date, and all the prior years' taxes, interest, and other charges, if any, will be paid by Seller.
9. **Rents, Deposit and Leases, If Rented:** If the Property is subject to a lease or leases, Seller will assign all leases to Buyer at no cost to Buyer at Closing, and Buyer will assume all obligations under the leases. Buyer shall receive a credit in the amount of any unpaid leasing costs, including, but not limited to, improvement costs, and the amount of any free rent or rental amount which any tenant may be entitled after Closing. Original leases, amendments and other documentation in Seller's possession shall be delivered to Buyer at Closing. Seller represents that all leases are in effect and not in default. Prior to closing, Seller shall deliver to Buyer an estoppel certificate from each tenant in a form reasonably acceptable to Buyer and an SNDA if required by Buyer's lender.
10. **Sanitary and Improvement District (S.I.D.):** Intentionally deleted.

11. **Title:** The date this Agreement is fully executed by both Buyer and Seller shall be the Effective Date (the "Effective Date"). Within ten (10) days after the Effective Date, Buyer shall obtain from TitleCore (the "Effective Date"), Buyer shall obtain from TitleCore (the "Title Company") and deliver to Seller an A.L. TA commitment for a standard owner's policy of title insurance (the "Title Commitment") with respect to the Property issued by the Title Company, together with copies of all documents listed as an exception thereon. Buyer shall notify Seller within thirty (30) days after receipt of any title objections and the curative steps requested by Buyer. If Seller is unable or unwilling to take such curative steps within Fifteen (15) days thereafter, Buyer may either (i) terminate this Agreement and receive a refund of the Deposit in which case neither party will have any further obligation to the other or (ii) waive the title objections and proceed to closing, subject to the other terms and conditions of this Agreement.
12. **Closing:** Subject to the terms and conditions of this Agreement, the closing of the transaction contemplated by this Agreement shall close (the "Closing") on or before Thirty (30) days after all conditions herein have been accepted or waived. (the "Closing Date"). **Time is of the essence.** The Closing shall occur at a time mutually agreeable to Buyer and Seller on the Closing Date. Possession of the Property will be delivered on the Closing Date.
13. **Escrow Closing:** Buyer and Seller acknowledge and understand that the closing of the sale may be handled by the Title Company and that the Broker is authorized to directly Deposit or transfer the Deposit or any other funds it receives from Buyer or Seller pertaining to the Closing to the Title Company. After said transfer, Broker shall have no further responsibility or liability to Buyer or Seller for the accounting for said funds.
14. **Other Costs and Prorations:**
- A. **State Documentary Tax:** The State Documentary Tax on the deed shall be paid by the Seller.
- B. **Attorney's Fees:** Each of the parties will pay its own attorney's fees, except that a party defaulting under this Agreement or any of Seller's Closing Documents or Buyer's Closing Documents will pay the reasonable attorney's fees and court costs incurred by the non-defaulting party to enforce its rights regarding such default.
- C. **Recording Costs:** Seller will pay the cost of recording all documents necessary to place record title in the condition required by this Agreement. Buyer will pay the cost of recording all other documents.
- D. **Title Insurance:** Buyer and Seller will equally share the cost of an owners Title Insurance Policy. Buyer will be responsible for the cost of any endorsements requested by Buyer.
- E. **Escrow Closing Fees:** Escrow closing fees charged by the Title/Escrow Agent shall be equally divided between Buyer and Seller.
15. **Wood Infestation:** Intentionally deleted.
16. **Smoke Detector:** Intentionally deleted.
17. **Condition of Property:** Seller represents to the best of Seller's knowledge, information and belief, there are no latent defects in the Property.
18. **Environmental:** Except as otherwise disclosed to Buyer in writing, Seller represents to the best of the Seller's knowledge, information and belief, there are no conditions present or existing with respect to the Property which may give rise to or create environmental hazards or liabilities and there are no enforcement actions pending or threatened with respect thereto.
19. **As-Is/Where-Is:** Buyer acknowledges and agrees that Seller is selling and conveying to Buyer, and Buyer is accepting, the Property 'AS IS, WHERE IS, WITH ALL FAULTS', except to the extent expressly provided in any document executed by Seller and delivered to Buyer at Closing. Except as expressly set forth in this Agreement, Buyer acknowledges that it has not relied and will not rely on, and Seller has not made and is not liable for or bound by, any express or implied warranties, representations or information pertaining to the Property furnished by Seller or any agent representing or purporting to represent Seller. Buyer represents that it is a knowledgeable, experienced and sophisticated purchaser of real estate and that, except as expressly set forth in this Agreement, it is relying solely on its own expertise and that of its representatives in purchasing the Property. Buyer further acknowledges that it will conduct such investigations and inspections of the Property as Buyer deems necessary and shall rely exclusively on the same.
20. **Agency:** The REALTOR(S) involved in this transaction are:
Lee Ehlers is acting as limited agents for Buyer
Matt Hasenjager and Denny Sciscoe is acting as agent for the Seller.
21. **Broker Compensation:** Buyer and Seller acknowledge that Sage Capital Real Estate Investments is being paid a fee by Seller and said fee will be shared between brokers based on a separate agreement.
22. **Offer Expiration:** This offer to purchase is subject to acceptance by Seller on or before October 8, 2022, at 3:00 PM CT

23. **Notice:** All notices, consents, requests, instructions, approvals, demands and other communications under this Agreement shall be in writing and deemed duly given, when delivered at the address specified in this Section 23, if delivered: (i) personally by hand or by a nationally recognized overnight courier service; (ii) by United States certified or registered first class mail on the date appearing on the return receipt therefor; or (iii) by electronic mail when such electronic mail is transmitted to the electronic mail address specified in this Section 23.

If to Seller: Krejci R Frank Trustee
Attn: [REDACTED]
1505 N 203rd St
Elkhorn, NE 68022
centuryexec@yahoo.com

With a Copy to: The Lund Co
Attn: Matt Hasenjager
Attn: Denny Sciscoe
450 Regency Pkwy
Ste 220
Omaha, NE 68114
mhasenjager@lundco.com
dsciscoe@lundco.com

If to Buyer: J T & T Services, Inc.
Attn: Cal Erwin
13830 N 78th
Omaha, NE 68122
cerwin@jttservices.com

With a copy to: Investors Realty, Inc.
Attn: Lee Ehlers
12500 I Street #160
Omaha, NE 68137
lee@investorsomaha.com

24. **Enforceability:** If any provision of this Agreement is held to be illegal, invalid or unenforceable, such provision shall be fully severable. This Agreement shall be construed and enforced as if such illegal, invalid or unenforceable provision had never comprised a part hereof.

25. **Counterparts:** This Agreement may be executed in multiple counterparts, including but not limited to facsimile and electronic mail transmittal, and each shall be deemed to constitute an original for all purposes.

26. **Entire Agreement:** This Agreement contains the entire agreement between Seller and Buyer, and there are no other terms, conditions, promises, undertakings, statements or representations, either written or oral or express or implied, concerning the sale contemplated by this Agreement. This Agreement shall supersede any and all prior communications or agreements between the parties.

27. **Governing Law; Jurisdiction Venue:** This Agreement shall be construed in accordance with the laws of the State of Nebraska.

28. **Authority/Representation/Warranty:**

A. Buyer is duly and legally authorized to enter into this Agreement and Buyer's representative executing this Agreement is authorized to act on behalf of and bind Buyer to the terms of this Agreement.

B. Seller is duly and legally authorized to enter into this Agreement and Seller's representative executing this Agreement is authorized to act on behalf of and bind Seller to the terms of this Agreement.

29. **Insurance:** Any risk of loss to the Property shall be borne by the Seller until title has been conveyed to the Buyer.

30. **Access & Inspection:** Buyer or Buyer's agents have the right to enter upon the Property, at reasonable times in order to perform such investigations as Buyer deems necessary including without limitation soil tests and environmental audits. Buyer will promptly repair and restore any damages to the Property caused by such inspections. Buyer will not permit any liens or encumbrances to arise against the Property in connection with their investigation, and shall indemnify, defend and hold Seller harmless against any and all loss, liability and costs relating to Buyer's (or Buyer's agents, employees or representatives) entry and investigation of the Property.

31. **Wire Fraud Notice:** Please be aware that the Escrow Company under the attached Agreement may require a wire transfer of funds at Closing. Buyer and Seller should take care to provide wire transfer information only to a property agent of the Escrow Company. Funds should only be wired to the Escrow Company using account information provided by verified agents of the Escrow Company.

32. **Due Diligence Documents:** Within Ten (10) days following the Effective Date hereof, Seller shall deliver to Buyer copies of the following documents (the "Diligence Documents"), if in Seller's possession or control.

- I. Surveys of the Property
- II. Environmental surveys, studies, and notices
- III. Any notices from governmental agencies received within the past five (5) years regarding zoning, eminent domain, life safety or traffic; and

33. **Buyer's 1031 Exchange:** A material part of the consideration to the Buyer for purchasing is that the Buyer has the option to qualify this transaction as part of a tax deferred exchange under Section 1031 of the Internal Revenue Code. To affect the exchange, Buyer may assign this Agreement to an exchange intermediary of Buyer's choice. Seller shall receive notice of that assignment and agrees to accept such assignment and to reasonably cooperate with Buyer and/or such exchange intermediary to qualify this transaction as part of a tax deferred exchange, provided, however, that Seller shall not be required to accept title to any additional property or incur any material additional expense which is not reimbursed to Seller by Buyer.

34. **Seller's 1031 Exchange:** A material part of the consideration to the Seller for selling is that the Seller has the option to qualify this transaction as part of a tax deferred exchange under Section 1031 of the Internal Revenue Code. To affect the exchange, Seller may assign this Agreement to an exchange intermediary of Seller's choice. Buyer shall receive notice of that assignment and agrees to accept such assignment and to reasonably cooperate with Seller and/or such exchange intermediary to qualify this transaction as part of a tax deferred exchange, provided, however, that Buyer shall not be required to accept title to any additional property or incur any material additional expense which is not reimbursed to Buyer by Seller.

30. **Assignment of the Purchase Agreement:** The Buyer shall have the privilege of assigning this agreement to any person, partnership, corporation, LLC or L.L.P. prior to closing Buyer shall deliver to Seller an executed copy of any such assignment in which event the Seller shall close the transaction with the Assignee of the Buyer.

ACCEPTANCE

Buyer: J T & T Services, Inc.

By:  Date: 10/7/2022

Name: Cal Erwin

Its: _____

SELLER ACCEPTANCE

Seller: Krejci R Frank Trustee

Date: _____

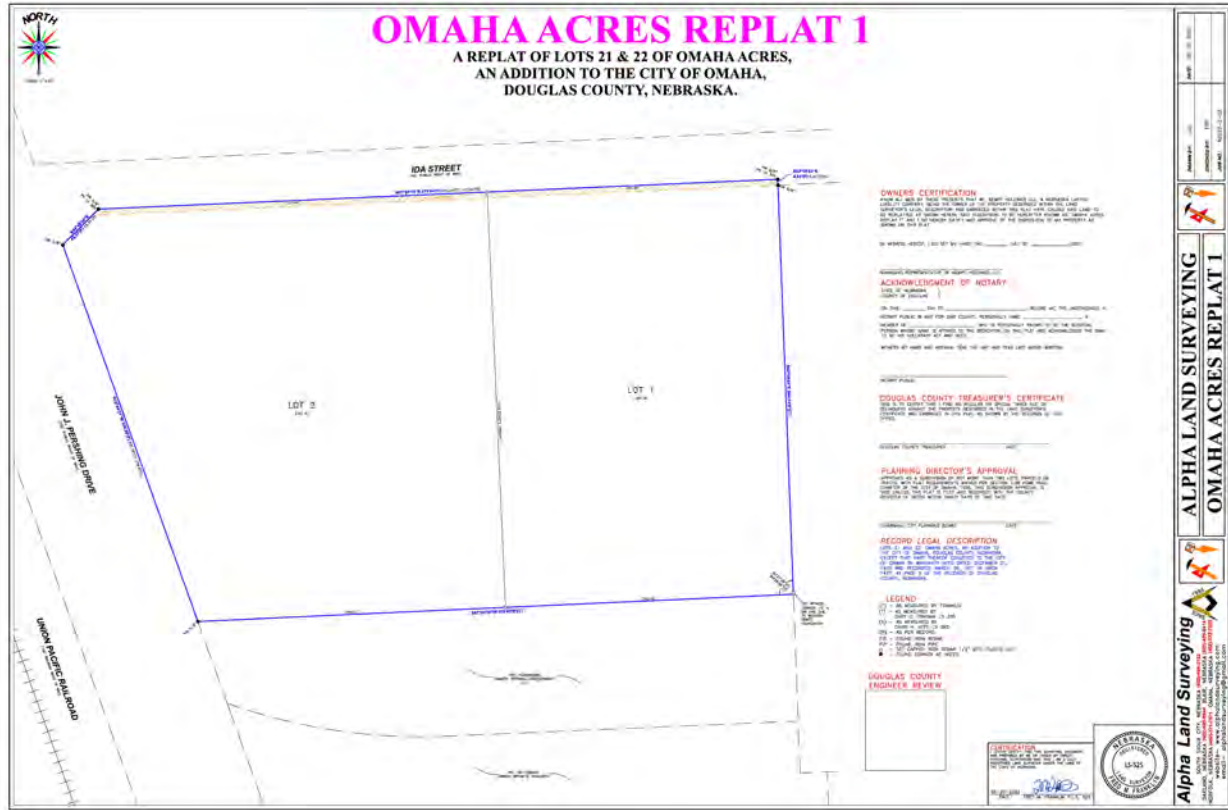
By: _____

Name: _____

Its: _____

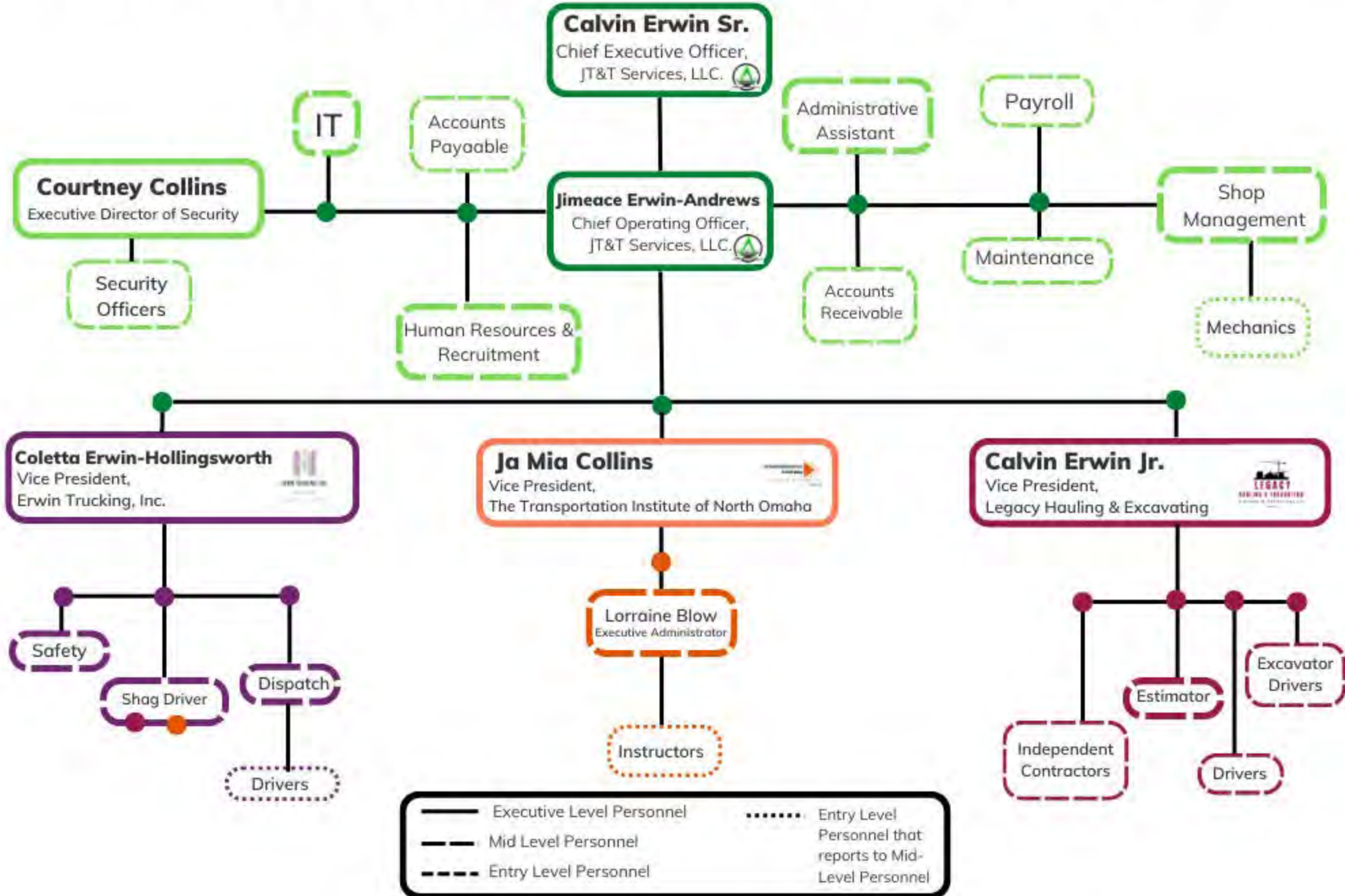
Exhibit "A"

The Property is generally depicted below.





Transportation Hub Organizational Chart



— Executive Level Personnel Entry Level Personnel that reports to Mid-Level Personnel
 - - - Mid Level Personnel
 - - - - - Entry Level Personnel

PROPOSAL TIMELINE

December
2022



Obtain Grant Funding

January 2023



Purchasing Land

Spring 2023



Break Ground

This location will house our office building, shop, and storage.

Spring 2023



Purchasing Equipment

This includes trucks, dump trucks, side dumpsters, and other similar items.

Summer 2023



Soft Opening

JT&T Services, LLC. , Legacy Hauling & Excavating, and Erwin Trucking, Inc. will be operating.

Fall 2023



Building and Grounds Opening

This is the anticipated completion. JT&T Services, LLC. , Legacy Hauling & Excavating, Erwin Trucking, Inc. , and The Transportation Institute of North Omaha will all be fully operating.

Grant Application

Row 207

Organization Name (if applicable)	Great Plains Black Museum and Interpretive Center Inc
Physical Address	2221 North 24th Street
Mailing Address	
Website	https://gpblackhistorymuseum.org/
Social Media Accounts	https://www.facebook.com/Greatplainsblackhistorymuseum/
Name	Eric Ewing
Title	Executive Director
Email Address	ericewing.gpbhm@gmail.com
Phone	+1 (402) 932-7077
Team	Yes
	Information provided on Board of Directors & Staff Information
Organizational Chart	See board chart at the end of the application
Other Completed Projects and/or Accomplishments	N/A
Proposal Title	The New Great Plains Black History Museum
Total Budget (\$)	\$11.00
LB1024 Grant Funding Request (\$)	\$1,100,000.00
Proposal Type	Capital project
Brief Proposal Summary	<p>The Great Plains Black History Museum is looking to build a new facility that will help attract thousands back to the 24th and lake area. As such, the new building would create an estimated \$64 million impact on the Omaha economic community in the first five years of operation. The museum estimates that approximately 65,000 visitors would walk through the doors the first year, with 19,500 of them coming from out of town. The estimated annual new Tourism Revenue Direct Impact would be \$1.7 million. Allowing Omaha and the state of Nebraska to tap into the \$40 billion annual market of African American tourism and generate a positive, measurable return on investment to</p>

the Omaha community and the state. The location that the Great Plains Black History Museum looks to erect its new facility is the two to three empty lots located between the Webster Telephone Exchange Building 2213 Lake Street, Omaha, NE 68110 and The Union for Contemporary Art 2423 North 24th Street, Omaha, NE 68110, community development. Facility timeline: design will start in December 2022, construction will start May 2023 with project completion of Feb 2025

Timeline	Design will start in December 2022, construction will start May, 2023 with project completion of Feb 2025
Percentage completed by July 2025	100%
Funding Goals	Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	The Great Plains Black History Museum looks to build a new state of the art Museum that will and economic generator for the city of Omaha, and the State. Allowing the state to tap into the \$40 billion market of African American tourism. Creating employment opportunities for 8 to 10 personnel for the Museum, and 2 full -time and 6 part-time positions for the Gift shop/bookstore, and its coffee shop.
Visioning Workshop Findings Alignment	Key reason for the support of the building a new museum is purely economic. On the national scene, African Americans spend billions of dollars on tourism every year. Currently, Omaha and the state of Nebraska capture very few of those dollars. The Great Plains Black History Museum has worked to develop a vision for an Arts, Culture, History and Entertainment facility for the district along 24h and Lake, an area where some of the greatest entertainers in the world once played providing the opportunity to connect a rich history to a thriving future. A new facility will allow the Great Plains Black History Museum to be a tourist attraction. attract thousands back to the 24th and lake area. When the powerful vision of the Great Plains Black History Museum is achieved Omaha and the state of Nebraska will be able to tap into the \$40 billion market of African American tourism and generate a positive, measurable return on investment.
Priorities Alignment	The Great Plains Black History Museum can serve as the spark that triggers the re-development of North Omaha, becoming an exciting attraction for both local and out-of-town visitors to Omaha and inspire our youth to achieve and succeed in life. The museum would become an economic driver as well as a cultural and heritage facility. As such, the new building would create an estimated \$64 million impact on the Omaha economic community in the first five years of operation. The museum estimates that approximately 65,000 visitors would walk through the doors the first year, with 19,500 of them coming

from out of town. The estimated annual new Tourism Revenue Direct Impact would be \$1.7 million.

Economic Impact

With the Great Plains Black History's new facility will include two for profit organizations, Gift shop/bookstore, and a coffee shop owned by the Museum.

8 to 10 new positions for the Museum, and 2 full -time and 6 part-time positions for the Gift shop/bookstore, and a coffee shop.

At this time, we cannot determine the amount of temporary or construction jobs this new development will create, but we will be targeting organizations with a diverse staffing.

The Great Plains Black History Museum will look to provide entry level (hourly staffing) and management and leadership level (salary staffing) positions

As a tourist attraction will look to bring visitors to the community, which will help to bring awareness to other businesses. The Museum will seek local divisor contractors for maintenance, and custodial services for our new facility.

Community Benefit

Key reason for the support of the building a new museum is purely economic. On the national scene, African Americans spend billions of dollars on tourism every year. Currently, Omaha and the state of Nebraska capture very few of those dollars. The Great Plains Black History Museum has worked to develop a vision for an Arts, Culture, History and Entertainment facility for the district along 24th and Lake, an area where some of the greatest entertainers in the world once played providing the opportunity to connect a rich history to a thriving future. New stores, art galleries, music venues and housing developments are starting to spring up in the area and large-scale community festivals are beginning to attract thousands back to the 24th and lake area. When the powerful vision of the Great Plains Black History Museum is achieved Omaha and the state of Nebraska will be able to tap into the \$40 billion market of African American tourism and generate a positive, measurable return on investment. Over the past ten years, the Empowerment Network has survey and polled over 3,000 Omaha residents and leaders regarding important issues, recommendations, solutions and priorities. Consistently, when asked about the top priorities in the areas of arts, culture, history and entertainment, the Great Plains Black History Museum places number one or two in the ranking process. People of all ages are interested in the dynamic and compelling history of African Americans in the city of Omaha and state of Nebraska. The Souvenir Gift/Bookstore The Museum's Souvenir Gift Store will feature books, art prints related to the African Americans Souvenir items will include both educational and leisure-time merchandise to appeal to the broad spectrum of visitors. Specially developed "Logo" clothing merchandise will be available for fashionable apparel and accessories featuring the Museum's logo and iconic graphics, including specially designed Tuskegee Airmen Bomber Jackets and caps. Merchandise relating to the Museum's theme historic jazz recordings of Preston Love Sr., Count Basie, Duke Ellington and other jazz greats, audio storybook versions from the Museum's exhibits, mural paintings, art prints, books, and a special souvenir guidebook or photo prints of the Museum as

lasting mementoes. The unique Souvenir Gift Store merchandise, available only at the Museum, will provide another good reason to visit, and visit repeatedly throughout the year for special gifts.

The Great Plains Black History Museum can serve as the spark that triggers the re-development of North Omaha, becoming an exciting attraction for both local and out-of-town visitors to Omaha and inspire our youth to achieve and succeed in life. The museum would become an economic driver as well as a cultural and heritage facility. As such, the new building would create an estimated \$64 million impact on the Omaha economic community in the first five years of operation. The museum estimates that approximately 65,000 visitors would walk through the doors the first year, with 19,500 of them coming from out of town. The estimated annual new Tourism Revenue Direct Impact would be \$1.7 million. One of the most vital reasons for investing in the Great Plains Black History Museum is the education of African American and other children. When children understand and appreciate their history, they are more empowered and encouraged to achieve. They are provided historical role models that emphasize the importance of education and the spirit of overcoming. Rather than only learning about their ancestors as just slaves, students will have the opportunity to learn about African American leaders, trailblazers, legends and innovators from Nebraska, the Great Plains, and throughout the United States that truly impacted the nation and world. Students of all races will benefit by learning a more complete history. The Museum can be an educational resource for our local higher education institutes, Creighton University, University of Nebraska at Omaha and Metropolitan Community College. The Outdoor Event Area and Meeting Area The Museum grounds and facilities will include a landscaped outdoor event area for seasonal events, outdoor performances, student, school and community recognition events. This outdoor event area can also be rented for family reunions, picnics and corporate events. A circular enclosed picnic and play area accessible from the Changing Gallery is also available for private events and reunions.

Best Practices/Innovation

The Great Plains Black History Museum will use state of the art Museum innovation to make a once invisible history visible: Holograms, interactive exhibits and technology to tell American History through the lens of African Americans. The Museum will also have its own Archival Resource Center that will use best practices and innovation to main its collection of historic photos, letters, news clippings, artwork, and other records. The priceless archival collection will be recorded on digital files which can be made available at computer stations in the Museum, and on-line to students, educators, and scholars so this heritage can be preserved for future generations.

Outcome Measurement

As the only Museum in the state of Nebraska focused on American History told through the lens of African Americans, the Great Plains Black History Museum can have a greater impact on educating all students and adult learners of the rich history of African Americans. The Great Plains Black History Museum is a primary source for educating students on African American history. When students understand and appreciate their history, they are more empowered and encouraged to achieve. The Great Plains Black History Museum provides students with historical role models that emphasize the importance of education and the spirit of overcoming. Rather than only learning about their ancestors as just slaves, students

will have the opportunity to learn about African American leaders, trailblazers, legends and innovators from Nebraska, the Great Plains, and throughout the United States who have truly impacted the United States and the world. Students of all races will benefit by learning a more complete history. The Museum can be an educational resource for our local higher education institutes, Creighton University, University of Nebraska at Omaha and Metropolitan Community College. As with Joslyn Art Museum, the Durham Museum, Omaha Children's Museum there are various management and leadership positions required to have a successful organization we believe the a new facility for the Great Plains Black History Museum will create opportunities for additional management and leadership positions, which will create internships, entry level, medium, and high-wage jobs.

Measurable outcomes will be measured by the number of guests who visit the Museum, revenue generated through the gift shop/bookstore, and coffee shop. The number of employees that the Museum employs Museum annual and lifetime memberships. These outcomes will be measured by the Museum and will be made available to outside sources upon request.

We believe that our new facility can serve as a catalyst for both co-investment as well as secondary investment. Through exhibit sponsorships, Gift shop/bookstore and coffee shop products

Partnerships

Yes

For this new development the Great Plains Black History Museum will look to partner with Omaha, Economic Development Corporation in inquiring the land located between the Webster Telephone Exchange Building 2213 Lake Street, Omaha, NE 68110 and The Union for Contemporary Art 2423 North 24th Street, Omaha, NE 68110, for this new community development.

The Great Plains Black History Museum is currently in the process of finalizing a transfer of the property agreement of three vacant lots located between the Webster Telephone Exchange Building 2213 Lake Street, Omaha, NE 68110 and The Union for Contemporary Art 2423 North 24th Street, Omaha, NE 68110, community development.

Displacement

No

Displacement explanation

Physical Location

The location that the Great Plains Black History Museum looks to erect its new facility is the two to three empty lots located between the Webster Telephone Exchange Building 2213 Lake Street, Omaha, NE 68110 and The Union for Contemporary Art 2423 North 24th Street, Omaha, NE 68110, community development.

Qualified Census Tract

Within one or more QCTs

Additional Location Documents

Property Zoning Yes

Is the project connected to utilities?

Yes

No

Design, Estimating, and Bidding No

No

Holland Basham Architects provided the Great Plains Black History Museum with in-kind proposed site plan

General Contractor No

Request Rationale Rationale is based off of the proposed master plan provided by Holland Basham Architects

Grant Funds Usage LB1024 grant funds will be used strictly for the purpose to erect a new facility for the Great Plains Black History that will be used to serve and educate both local and national guests.

Proposal Financial Sustainability Yes

As a non-profit organization the Museum will look to maintain operations through foundations, gift shop/bookstore, coffee shop, guests, membership, and Omaha community support

Funding Sources The Great Plains Black History Museum is currently in communications with local foundations for capital campaign funding.

Without LB 10124, funding the Museum will be unable to erect its new facility.

Scalability This is a scalable proposal

Financial Commitment The Great Plains Black History Museum is currently in conversation with local Foundations Capital Campaign for additional funding.

ARPA Compliance Acknowledgment

**ARPA Reporting and
Monitoring Process
Acknowledgme**

**LB1024 Funding
Sources
Acknowledgment**

Public Information

File Uploads Organizational Chart Plans and detailed descriptions, including pictures and a map of the site location/surrounding area
Proposal Budget/Sources and Uses

24th & Lake Historic District: Economic Impact Collaborative OMAHA ECONOMIC RECOVERY ACT COORDINATION PLAN

October 4, 2022

LB1024 Economic Recovery Act Bill (*signed into law in April 2022*) Re: Economic Recovery for North and South Omaha (Omaha, NE) Attention: Grant Proposal Review Committee

Dear Committee Members:

Over the past two decades, there have been various plans developed for 24th and Lake. These plans include, but are not limited to efforts led by the City of Omaha, Chamber of Commerce, North Omaha Village Revitalization Plan, and most recently Forever North.

Each plan has produced some steps forward. Many of the businesses, arts and culture venues and organizations at 24th and Lake have worked together to host major events and supported recent grand openings and announcements of new businesses. Other new major developments are now underway. We are prepared to build on the progress together.

The participants see this as an unprecedented opportunity to accelerate the pace of redevelopment in this historically significant area. Having convened in small and large groups, businesses and organizations have met to share project proposals, planned updates, discussed opportunities to partner and support each other to once again make 24th and Lake and North 24th a thriving business, arts, culture, entertainment and food district.

It is with tremendous pride, and gratitude we join with 24th & Lake Street businesses, organizations, ministries, landowners and community partners in making this “Declaration of Support and Cooperation Statement.” These organizations include, but are not limited those located at or near 24th & Lake, also businesses extending from the north boundary of Ohio Street, to the south boundary of Patrick Street, and other Omaha citywide business leaders that provide professional services and products in a variety of disciplines and industries.

OUR DECLARATION OF SUPPORT AND COOPERATION

“We are committed to and make this declaration to cooperate and support each other’s businesses, organizations and projects purposefully and intentionally (i.e., in word, actions, financially, etc.).

We believe that our success and longevity as a people has been and continues to be intimately dependent and inter-connected to each other. We also believe that supporting other African-American and North Omaha residents, businesses, cultural venues and other organizations isn’t an option, but is vital to the sustainability of the North Omaha Community, to the City of Omaha, our region and to our nation.

24th and Lake will be an economic engine in North Omaha and for the region by focusing on business growth, increasing tourism through arts and culture, generating job creation, creating mixed-income housing and building on the strengths of the community through an asset based and holistic approach.

We celebrate and recognize the rich history of 24th & Lake and we are committed to working together to create a thriving future.”

24th and Lake Historic District: Economic Impact Collaborative



Carver Legacy Center

Empowerment Network

Fabric Lab

Great Plains Black History Museum

Ital Vital Living

North Omaha Legacy Tours

North Omaha Music and Arts

Omaha Economic Development Corporation

Rare Bird Innovations

Revive Center Omaha/SMB Enterprises

SPARK

Styles of Evolution

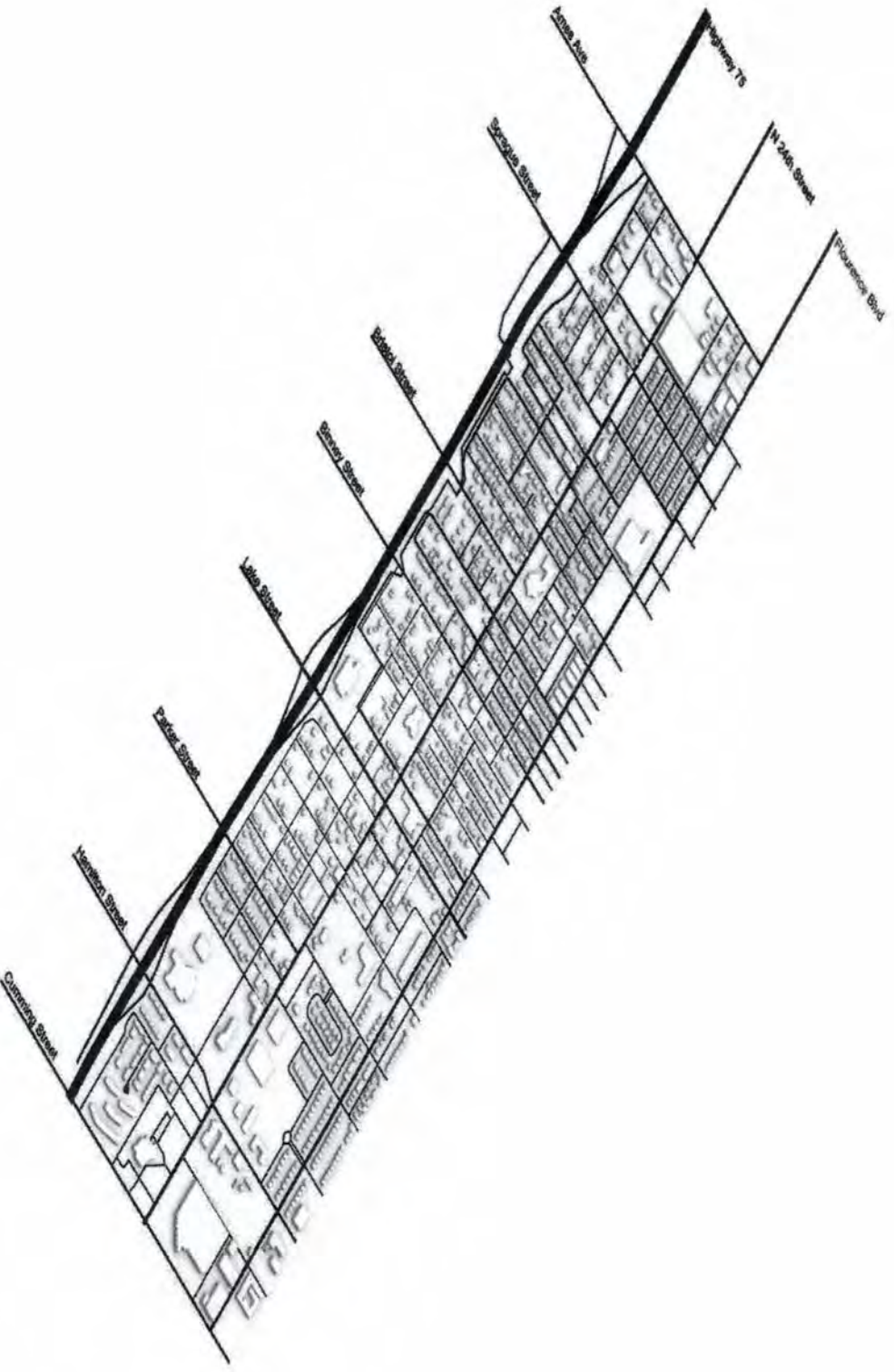
The Union for Contemporary Art

Vinson Ventures & The Honeycomb Foundation

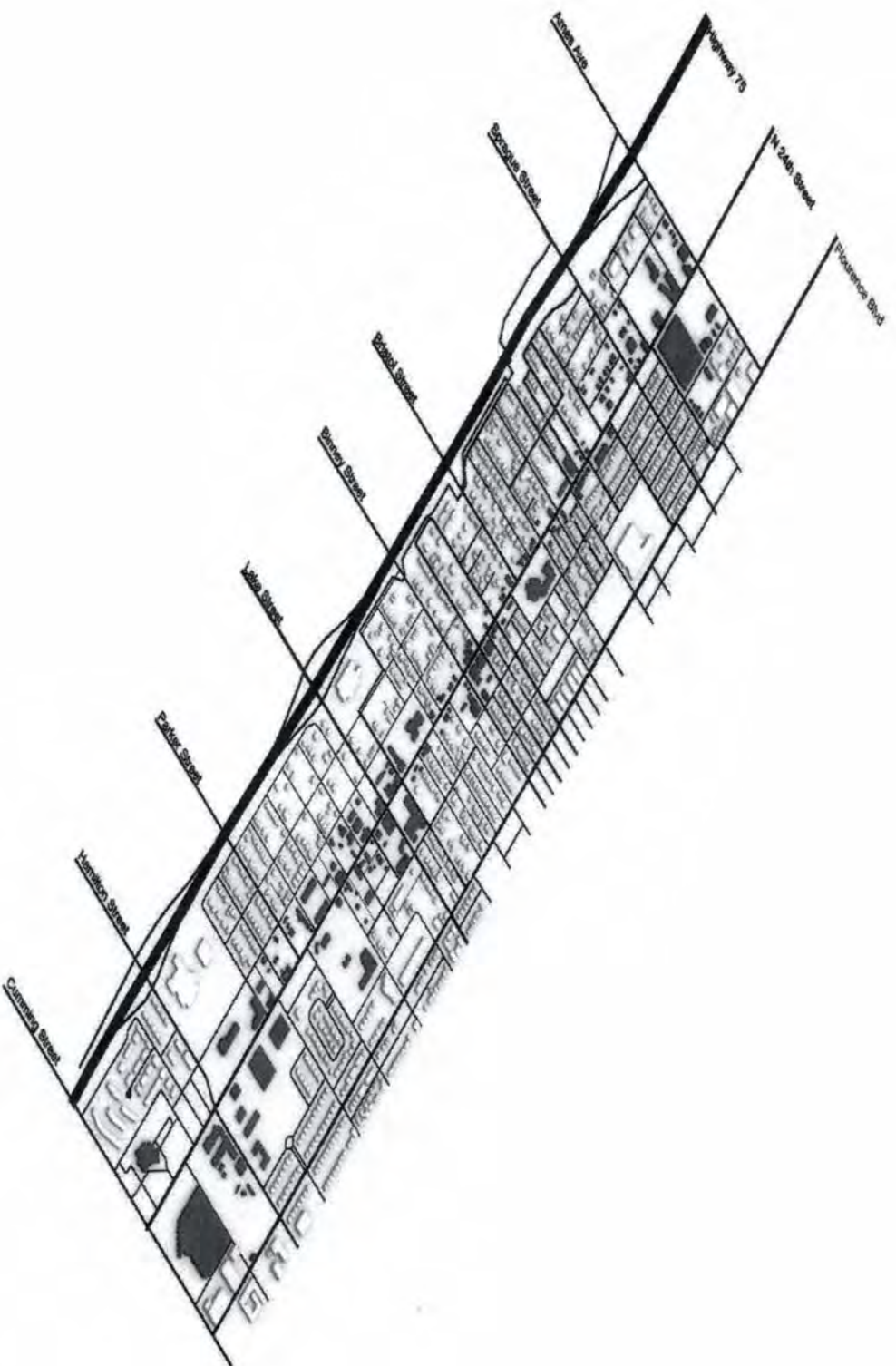
We fully anticipate 90%+ of the other businesses, cultural venues, organizations, ministries, landowners and others will join in this commitment by the end of the year. With the short window available to reach out to everyone, the group was not able to meet with all those submitting projects for the State ARPA funds. Beyond the ARPA proposals, these groups are committed to working together to make 24th and Lake a thriving district once again.

Great Plains Black History Museum

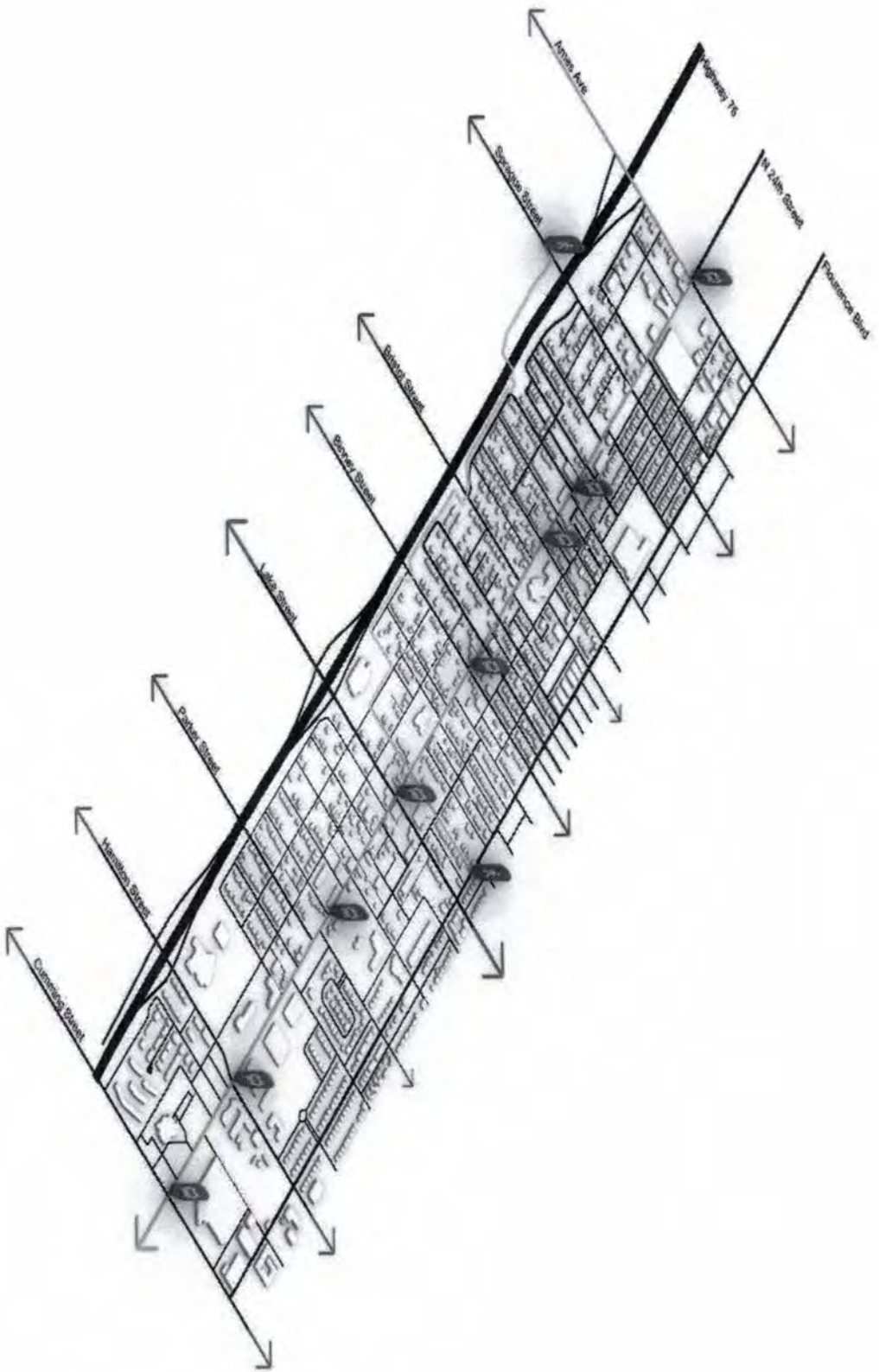
Site Development Study



North Omaha Contextual Massing

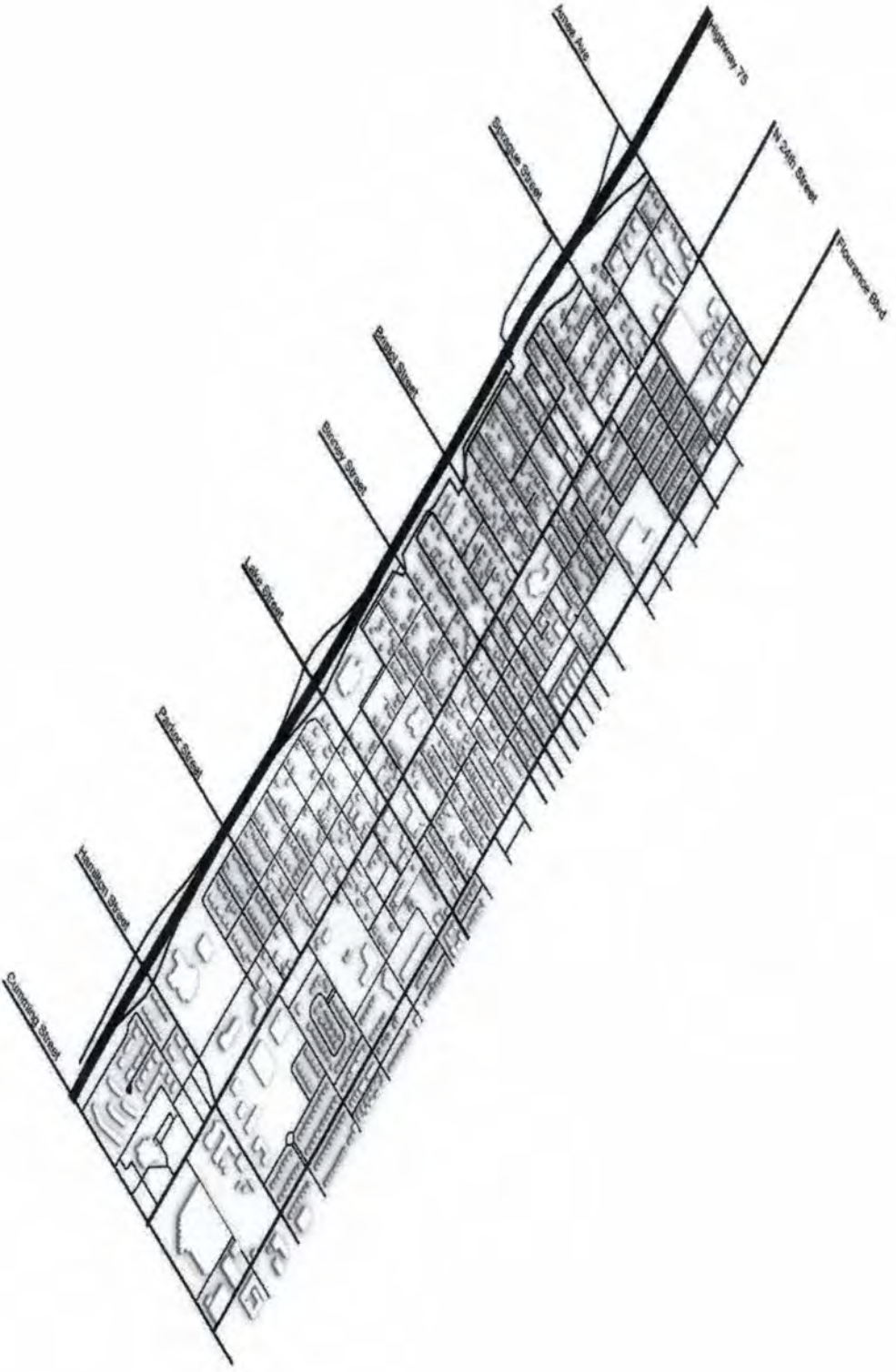


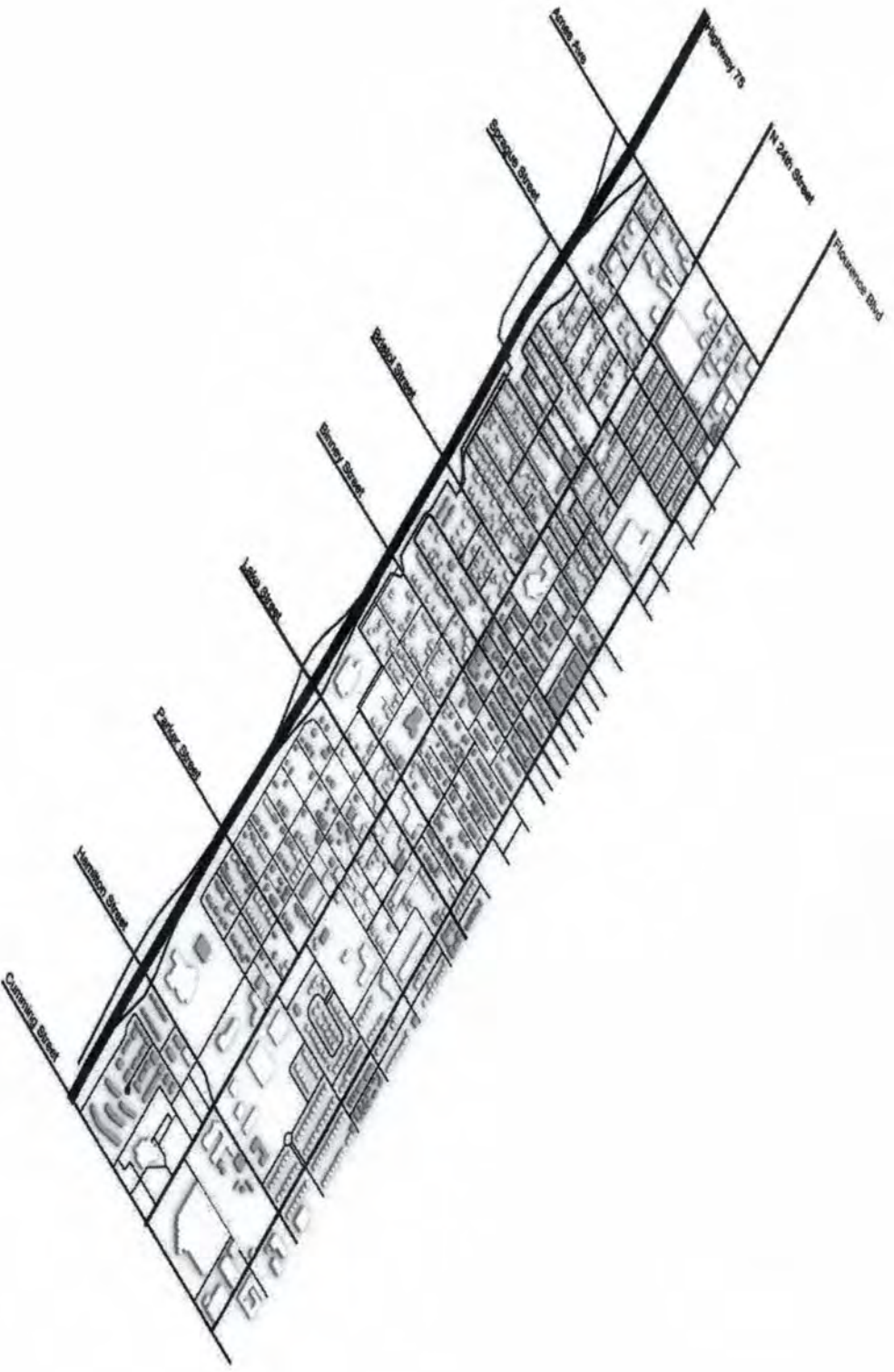
North 24th Street Business Improvement District



Transportation

-  Streets that cross Highway 75 with on ramps to Highway 75
-  Current Metro line along North 24th Street
-  Streets that cross Highway 75 without on ramps to Highway 75
-  North Omaha walking trail
-  Location Plus Bus Stops and Walking Trail

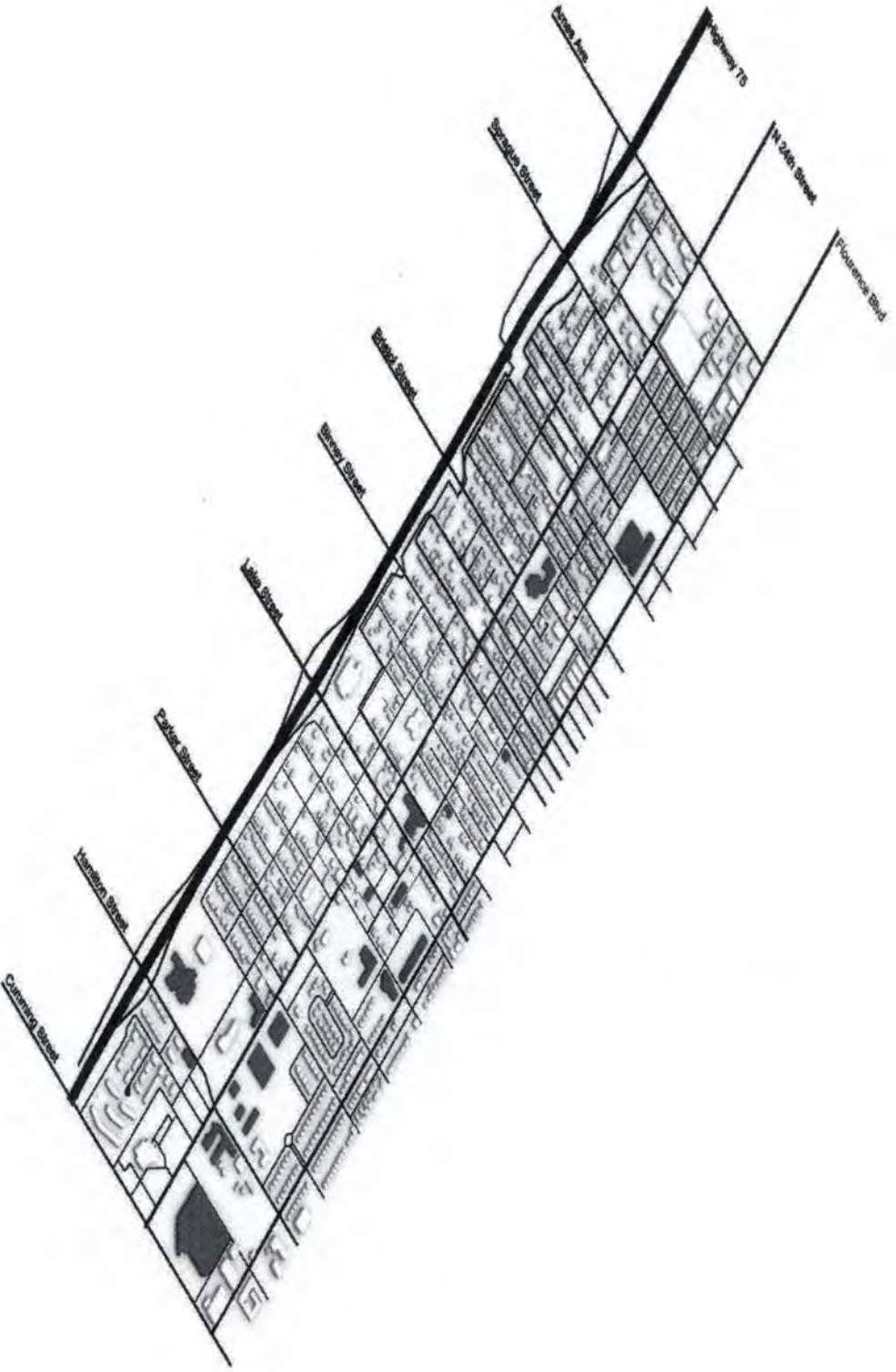




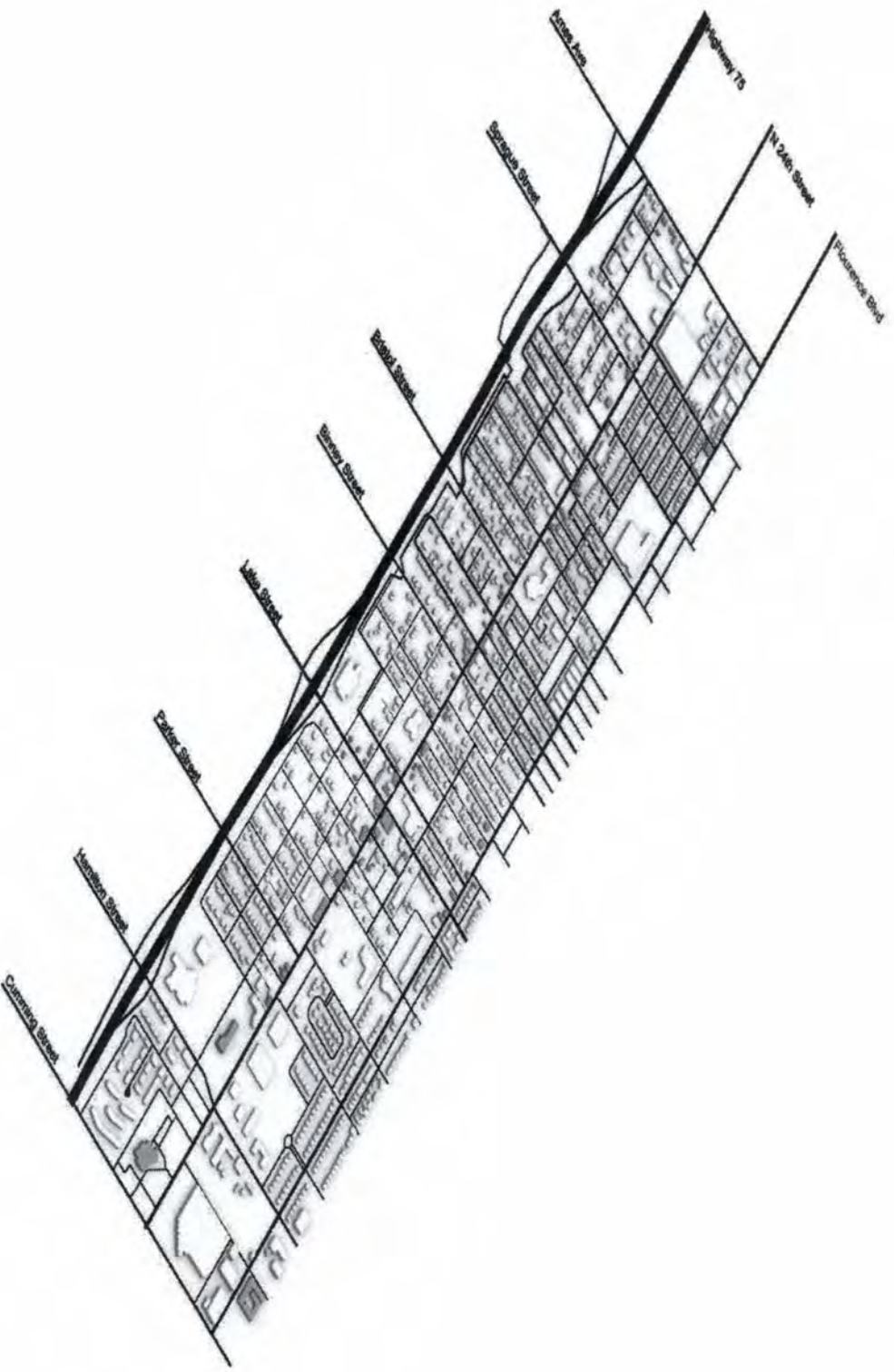
Multi - Family Housing

Holland Basham
Architects

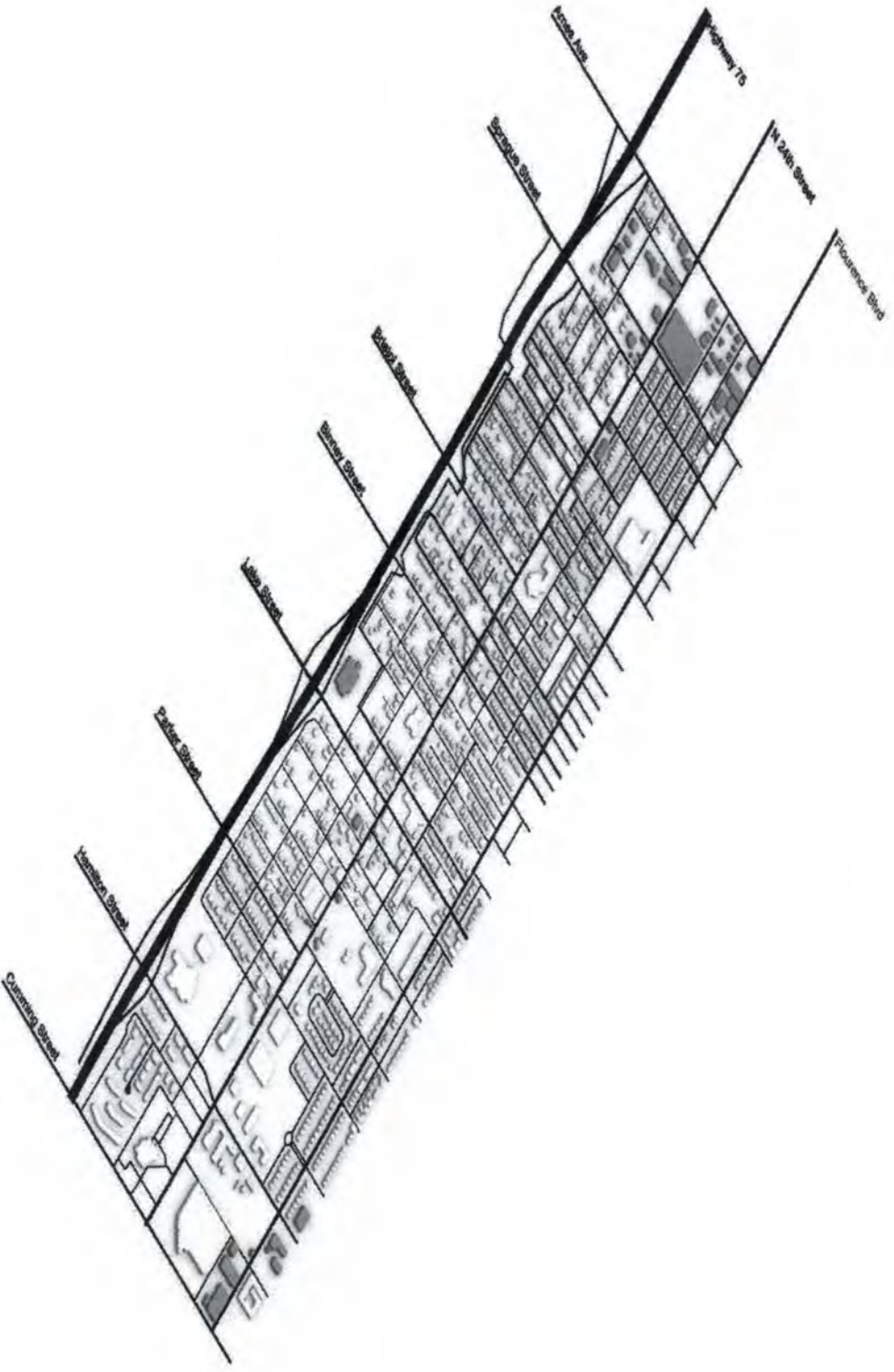
7/07/2022



Civic & Educational Buildings



Commercial/Office





PROPOSED SITE PLAN
SCALE: 1"=50'



Holland Basham
Architects

PROPOSED SITE PLAN
GREAT PLAINS BLACK HISTORY MUSEUM
10/04/2022

DEVELOPMENT STATISTICS

SITE STATISTICS	CURRENT	PROPOSED
SITE AREA	R4	NBD
ZONING		
FRONT YARD SETBACK	25'	0'
REAR YARD SETBACK	25'	0'
SIDE YARD SETBACK	15'	0'
SIDE YARD SETBACK	15'	15'
IMPERVIOUS COVERAGE	50% MAX	10%
BUILDING COVERAGE	40% MAX	90%
HEIGHT	35' MAX	35'
FAR	N/A	N/A

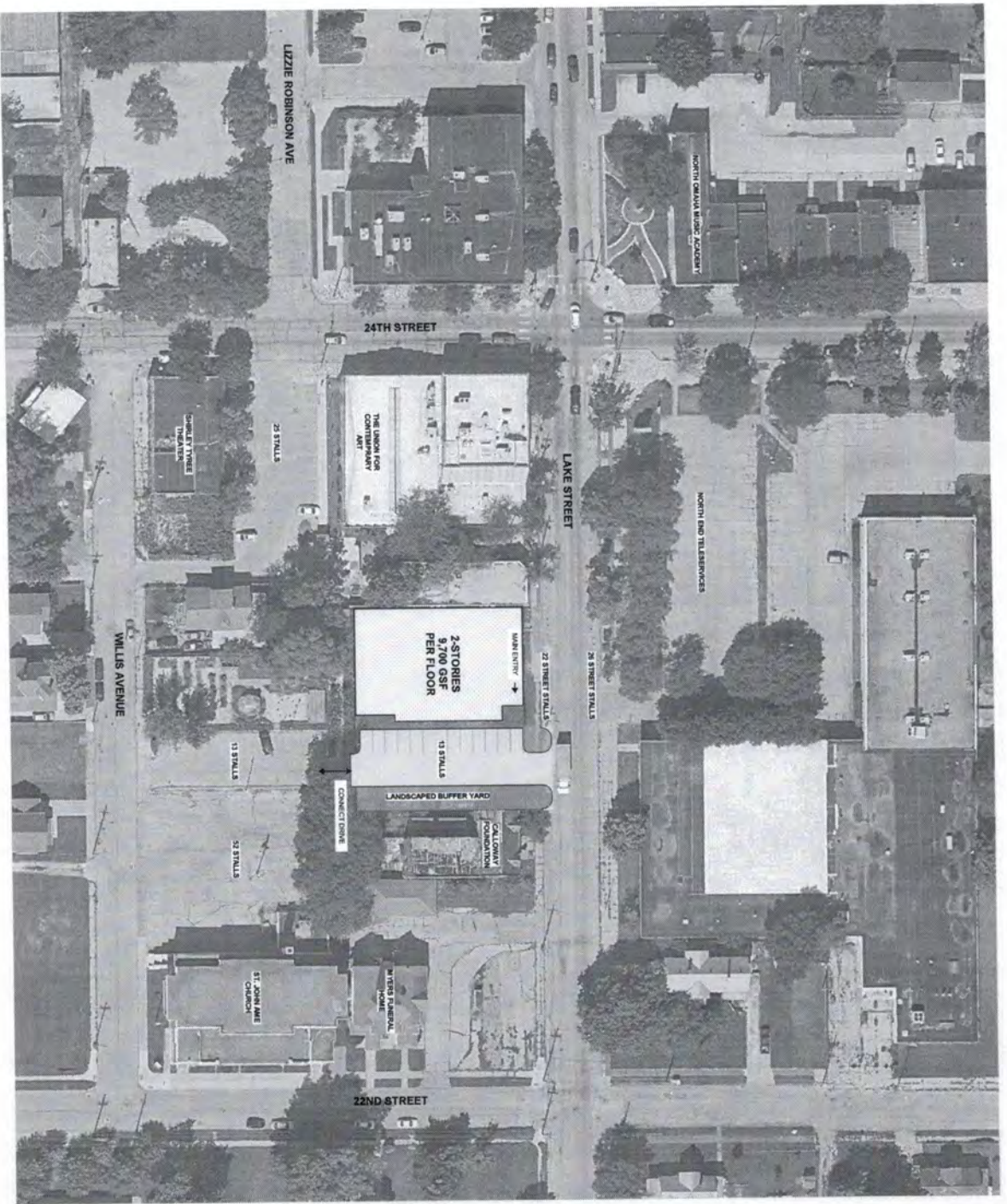
BUILDING STATISTICS
FIRST FLOOR AREA 15,850 GSF
TOTAL AREA 15,850 GSF

PARKING STATISTICS
STALLS REQUIRED*

TOTAL STALLS PROVIDED 52
OFF-STREET STALLS 0
ON STREET STALLS 52

CURRENT ZONING MAY NOT SUPPORT MUSEUM BUILDINGS; WILL NEED TO REZONE TO NBD.
NBD HAS NO OFF-STREET PARKING REQUIREMENTS

SEE 2021 CITY OF OMAHA ZONING ORDINANCE, CHAPTER 21.01, SECTION 21.01.01



PROPOSED SITE PLAN
SCALE 1" = 20'

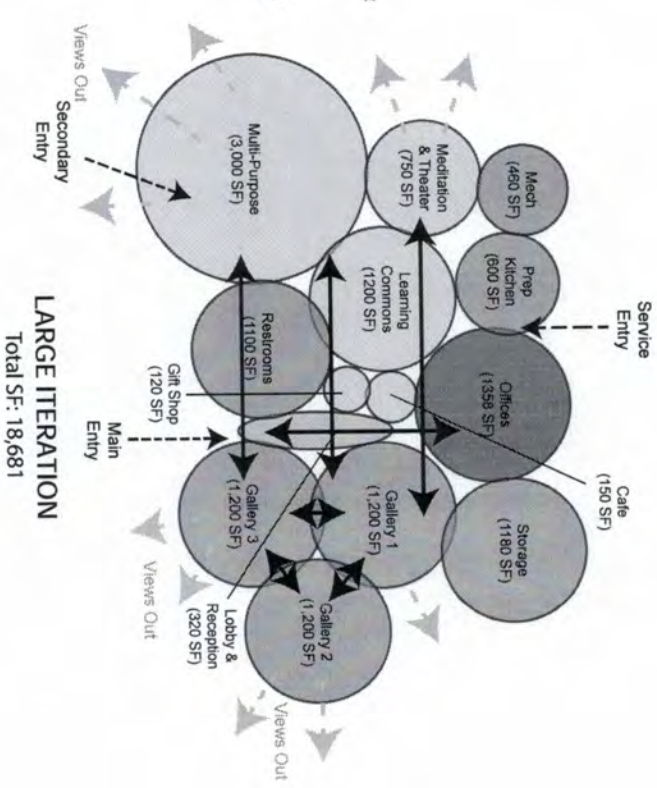
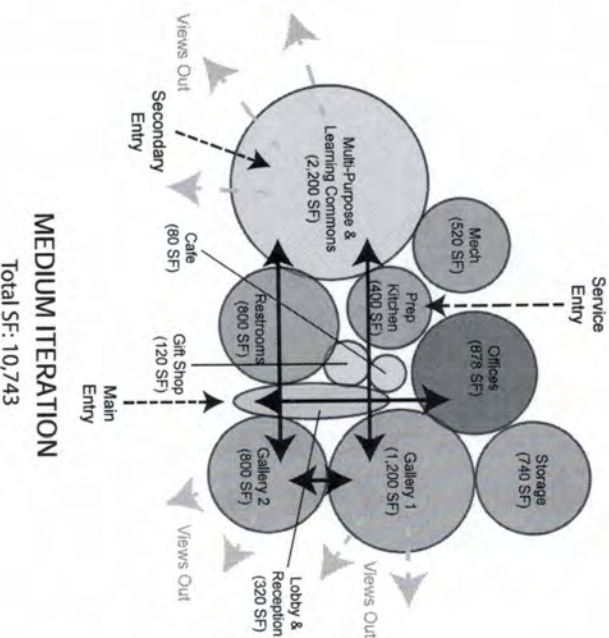
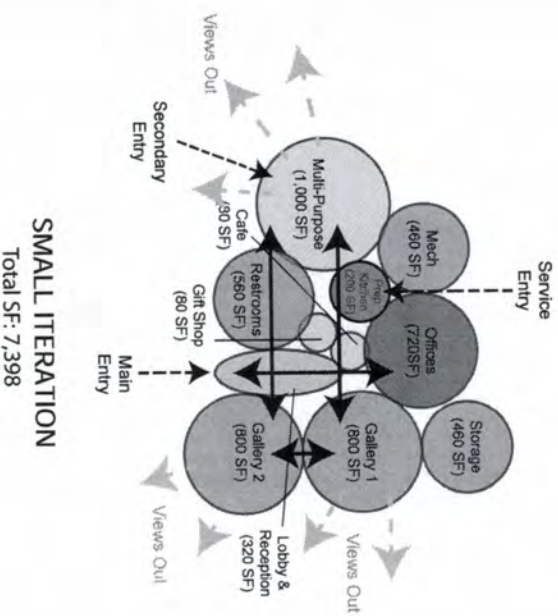


DEVELOPMENT STATISTICS

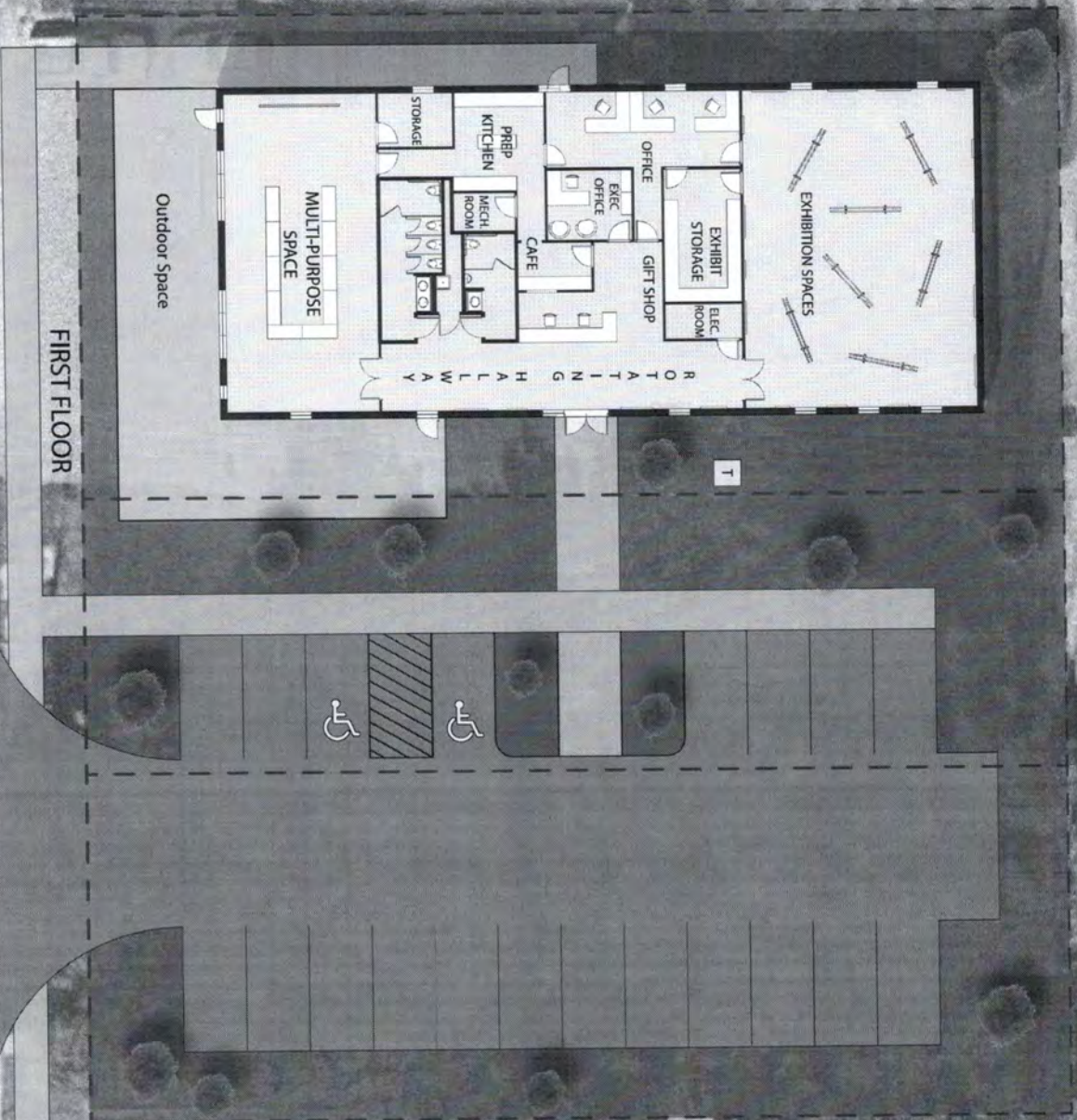
SITE STATISTICS	CURRENT	PROPOSED
SITE AREA	R4	NBD
ZONING		
FRONT YARD SETBACK	25'	0'
REAR YARD SETBACK	25'	0'
SIDE YARD SETBACK	15'	0'
SIDE YARD SETBACK	15'	66'
IMPERVIOUS COVERAGE	50% MAX	30%
BUILDING COVERAGE	40% MAX	70%
HEIGHT	35' MAX	35'
FAR	N/A	N/A
BUILDING STATISTICS		
FIRST FLOOR AREA	9,700 GSF	
SECOND FLOOR AREA	9,700 GSF	
TOTAL AREA	19,400 GSF	
PARKING STATISTICS		
STALLS REQUIRED*		
TOTAL STALLS PROVIDED	81	
OFF-STREET STALLS	13	
ON STREET STALLS	48	
CURRENT ZONING MAY NOT SUPPORT MUSEUM BUILDINGS. WILL NEED TO REZONE TO NBD.		
NBD HAS NO OFF-STREET PARKING REQUIREMENTS		

THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY OF OMAHA.

Comparison of Diagrams



SMALL ITERATION	
SCALE: 1/16" = 10'	
EXHIBITION SPACES	1522 Sq. Ft
MULTI-PURPOSE	997 Sq. Ft
ROTATING HALLWAY	523 Sq. Ft
GIFT SHOP/ LOBBY	221 Sq. Ft
OFFICE SPACE	345 Sq. Ft
EXEC OFFICE	135 Sq. Ft
PREP KITCHEN	258 Sq. Ft
CAFE	79 Sq. Ft
MECH. ROOM	52 Sq. Ft
ELEC. ROOM	65 Sq. Ft
EXHIBIT STORAGE	226 Sq. Ft
GEN. STORAGE	90 Sq. Ft
RESTROOMS	410 Sq. Ft
GROSS AREA	4922 Sq. Ft
OUTDOOR SPACE	1400 Sq. Ft
TOTAL PARKING	20 Stalls

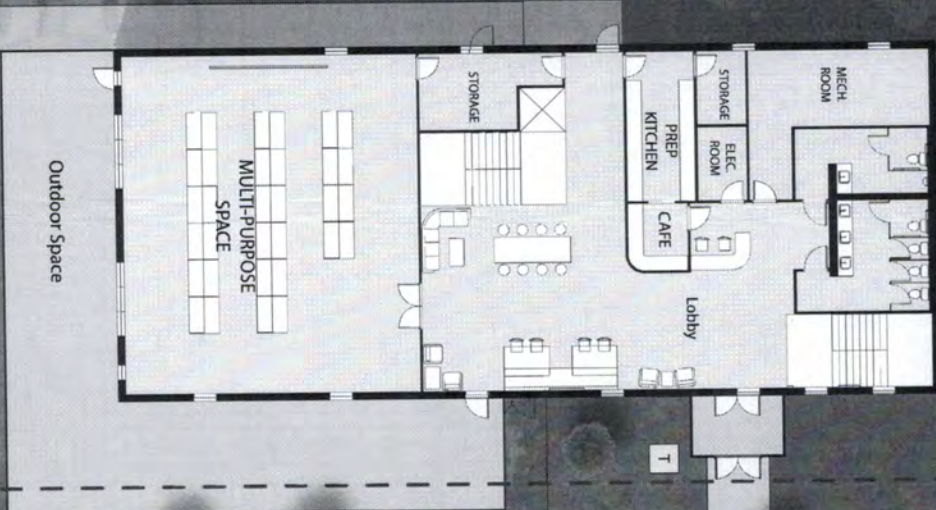
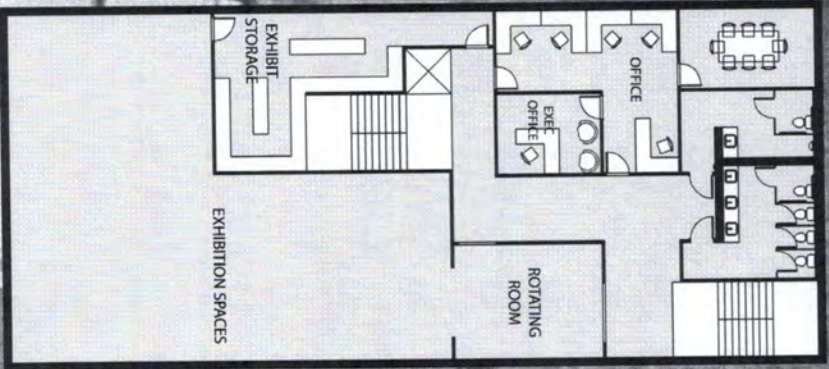


FIRST FLOOR

SMALL ITERATION

MEDIUM ITERATION 1
 SCALE: 1/16" = 1'-0"
 N

FIRST FLOOR	
LOBBY	1315 Sq. Ft.
CAFE	79 Sq. Ft.
PREP KITCHEN	201 Sq. Ft.
STORAGE	237 Sq. Ft.
MECH ROOM	310 Sq. Ft.
ELEC. ROOM	72 Sq. Ft.
MULTI-PURPOSE	1812 Sq. Ft.
BATHROOM	466 Sq. Ft.
STAIRS/ELEVATOR	431 Sq. Ft.
OUTDOOR SPACE	1711 Sq. Ft.
TOTAL PARKING	20 Stalls
SECOND FLOOR	
EXHIBITION SPACES	2038 Sq. Ft.
ROTATING ROOM	226 Sq. Ft.
EXHIBIT STORAGE	440 Sq. Ft.
OFFICE	368 Sq. Ft.
EXEC. OFFICE	156 Sq. Ft.
CONF. ROOM	198 Sq. Ft.
BATHROOM	466 Sq. Ft.
STAIRS/ELEVATOR	431 Sq. Ft.
HALLWAY	502 Sq. Ft.



SECOND FLOOR

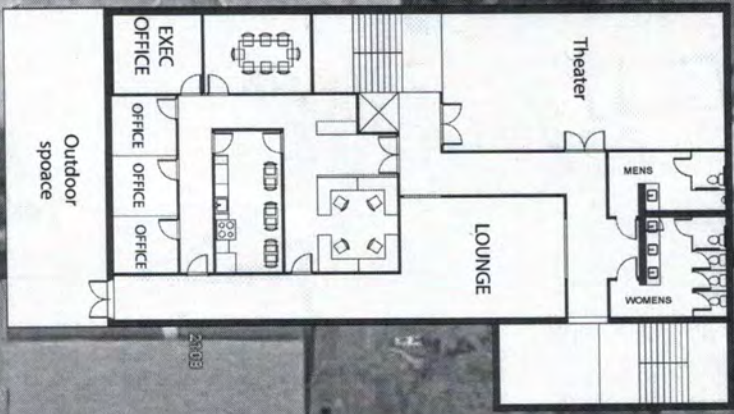
FIRST FLOOR

Holland Basham
 Architects

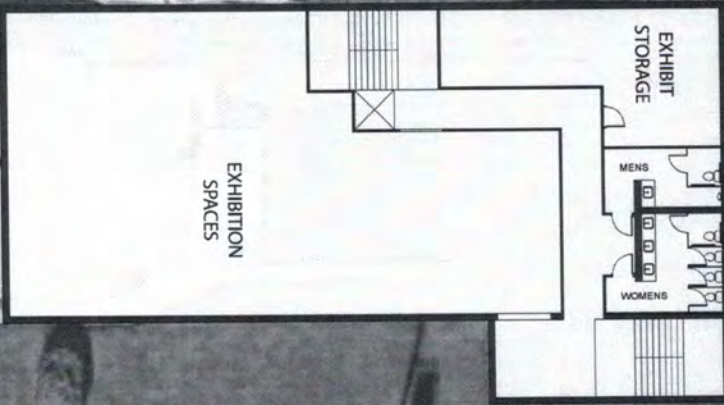
MEDIUM ITERATION

Holland Basham
Architects

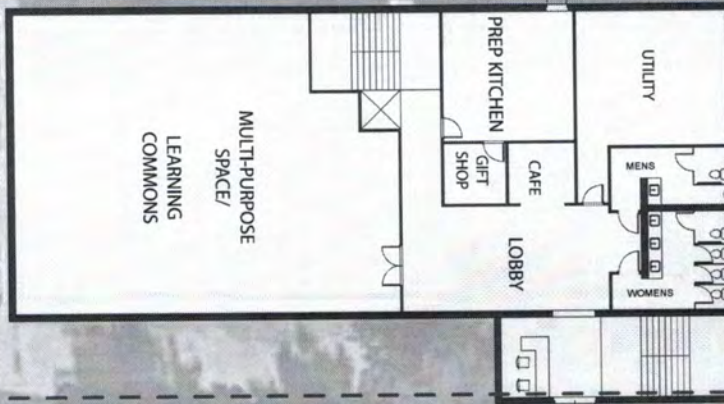
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



LARGE ITERATION

Lake St

Lake St

Lake St

Board of Directors & Staff Information

Name: Portia Cavitt, Pastor, Clair Memorial United Methodist Church GPBHM Board President, Membership Chair

Email: cavittp@gmail.com

Name: Joanne Ferguson Cavanaugh, Retired Public Librarian, GPBHM Board Secretary

Email: joannefergusoncavanaugh@gmail.com

Name: Frank Hayes, Hayes & Associates, CPA, GPBHM Board Treasurer

Email: fhayes@hayes-cpa.com

Name: Dr. Jamar Dorsey Sr. Community Advocate and Educational Consultant, GPBHM Program Chair

Email: jamar.dorseysr1@gmail.com

Name: Johnny Nesbit Relationship Manager, First National Bank of Omaha

Email: jnesbit2@gmail.com

Name: Dorothy Johnson, Founder and CEO, Tigris Talent and Consulting Firm

Email: DL.Johnson@outlook.com

Name: Davielle Phillips, Architectural Designer, Holland Basham Architects

Email: dphillips4@huskers.unl.edu

Name: Eric L. Ewing, Executive Director Great Plains Black History Museum

Email: ericewing.gpbhm@gmail.com

Name: Karen Davis, Administrative Assistant Great Plains Black History Museum

Email: karen.gpbhm@gmail.com

GREAT PLAINS BLACK HISTORY MUSEUM PRELIMINARY PROGRAM								
PROJECT:	#22074							
DATE:	May 5, 2022							
	Occupancy	Number of Rooms	Area Per Room	Total Area	Notes	# of Staff	HBA Questions	Client Responses
Gallery Spaces								
Gallery 1		1	800	800				
Gallery 2 (Temporary)		1	800	800	Rotating Exhibits (combined with lobby?)			
Subtotal				1,600				
Museum Support Spaces								
Gift Shop		1	80	80	Combined with Café			
Café		1	150	150	Combined with prep kitchen			
Multipurpose space		1	1,000	1,000	100 people with chairs - no tables (see vignette) (shared w/ building?)			
Subtotal				1,230				
Reception / Waiting Areas								
Receptionist Desk		1	120	120				
Lobby		1	200	200	Tied in with Gift Shop & Café			
Subtotal				320				
Offices / Workstations								
Work Stations		4	48	192	6x8			
Executive Office		1	168	168				
Conference Room		1	120	120				
Work / Mail Room / Workroom		1	120	120				
Break Room		1	120	120				
Subtotal				720				
Support Spaces								
Prep Kitchen		1	200	200			What are the kitchen requirements for café?	
Exhibit / Archive Storage		1	800	800				
Archival Work Room		1	120	120	Shared work room (private and public)			
Janitorial		1	60	60				
Family Restroom		1	80	80	Shared w/ building?			
Men's Restroom		1	200	200	Shared w/ building?			
Women's Restroom		1	200	200	Shared w/ building?			
Mothers / Wellness Room		1	80	80				
Mechanical Room		1	180	180				
Electrical Room		1	100	100				
Water Service Entry Room		1	100	100				
IT Room		1	80	80				
Subtotal				2,200				
				Total Net Square Feet (NSF)	6,070			
				Net to Gross Factor	1.35			
				Gross Square Feet (GSF)	8,195			
Z		Low	\$ 125	\$ 1,024,313				
		Mid	\$ 175	\$ 1,434,038				
		High	\$ 225	\$ 1,843,763				
Outdoor Spaces								
Outdoor Event Space		0	0	-	Adjacent to Multipurpose space			
Secured Parking Area		0	0	-	Is secured parking needed?			
Subtotal				0				

Grant Application

Row 208

Organization Name (if applicable)	The Omaha Association of Black Professional Fire Fighters
Physical Address	2028 Lake St, Omaha, NE 68110
Mailing Address	16044 Butler Ave 68116
Website	https://www.facebook.com/omahablkff.northregion
Social Media Accounts	https://www.facebook.com/omahablkff.northregion
Name	John Farmer
Title	President
Email Address	farmerfire@hotmail.com
Phone	+1 (402) 578-9257
Team	Yes
	Jason Genty - Vice President, Kipp Dailey - Secretary, RaShad Dacus - Treasurer, RonEric Estes - Sergeant at Arms
Organizational Chart	Organization is run by a volunteer Board of Directors.
Other Completed Projects and/or Accomplishments	<p>We have worked hard to increase test scores of black applicants to the Omaha Fire Department over the last several years. *Average test score 81.94%, it was 81.15% in 2017 and it was 75.85% in 2015 *334 made the final list *45 of the 57 African Americans we assisted passed the written test and 26 made final list *18 rankings higher than #200 There were 2 classes hired *6 African Americans were hired in the first class *10 African Americans have been offered for the second class *2 medics offered *6 black females passed the written test *Every applicant we worked with last testing cycle all improved their rankings in 2019 *In 2017 we helped 6 African Americans get hired (2 classes with 3 in each class) *In 2015 we helped 4 African Americans get hired (2 classes with 2 in each class) 2017 OFD BLACK APPLICANTS; *Average score in 2017 is 81.15% *Number 145 was the highest score we had on the last test (2015) *Next highest was #200 on the last test (2015) *Number 13 highest this time (2017) *10 scores higher in 2017 compared to our highest score in 2015 *13 rankings higher than #200 *2 medics made the list *27 out of 38 total AAs that we assisted made the final list We are also proud to volunteer at the Annual Salvation Army Thanksgiving Luncheon, 24th & Pratt location. Distribute toys and food to families in need for Christmas. We presented the wreath at the Annual Day of Service Event at the MLK Memorial Monument on 24th & Lake St. We also work with Howard Kennedy and Wakonda</p>

Elementary Schools, serving as greeters and classroom readers (With the Empowerment Network and MCC). Assist potential OFD applicants with study material, test preparation and mock oral interview sessions at our building. We also assist the Omaha Fire Department and Red Cross with Smoke Detector Installations for residents of north Omaha and participate in the spring and summer neighborhood street clean-up along 16th Street. We also conduct tours of historic Station 14, including memorabilia and pictures of African-American firefighters dating back to 1895.

Proposal Title	Fire Station 14 Redevelopment Projec
Total Budget (\$)	\$3,363,100.00
LB1024 Grant Funding Request (\$)	\$3,213,100.00
Proposal Type	Combination of capital project and service/program
Brief Proposal Summary	<p>Fire Station 14 has a long and illustrious history in the city of Omaha. It was the last firehouse to be segregated in Omaha, and it is now home to the Omaha Association of Black Professional Fire Fighters. The Fire Station 14 Redevelopment Project seeks to use the building as a talent pipeline for minority job seekers interested in firefighting, policing, emergency medical services, and nursing. We also intend to start a coffee house and food incubator for budding entrepreneurs. This project includes extending the second floor and adding rooftop permaculture to provide North Omaha with more access to nutritious year-round meals. Our city needs to become more inclusive in order to survive. This is because we are facing a worker shortage. Many first responders are reaching retirement age. We may alleviate this problem by providing minority applicants with chances through initiatives like Fire Station 14, which would help us meet the impending worker shortages in emergency services. This new hub celebrates the tradition of black firefighters in Omaha, which started over a century ago with Dr. Mathew Oliver Ricketts. In 1895, he not only requested the first African-American firefighters be hired by the city but was also later elected as the first African-American to Nebraska Legislature and graduated from what is now the University of Nebraska Medical Center - making him UNMC's first African-American graduate. Our goal is to partner with Metropolitan Community College and iEXCEL at UNMC so that we can attract people of all ages, from all backgrounds, into the building. We will use cutting-edge technologies like AR/VR simulation to provide experiences that would not only teach these youngsters more about these vital professions but also help experienced professionals update their skills according to current best practices and standards. We understand how crucial education is and want to offer educational opportunities to our community. This would begin with new applicants, all the way up to promotional chances for current members. By having this "satellite" program in North Omaha, it might encourage locals who don't have easy access to Irvington or South Omaha classes, to attend them here.</p>
Timeline	Remodel will be completed within 18 months of securing funding. We will put out an RFP to qualified companies upon approval of funding and begin preparing the site for

construction by the end of summer 2023 with the bulk of the exterior work starting in spring of 2024.

Percentage completed by July 2025

100%

Funding Goals

Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)

Community Needs

Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Other Infrastructure (i.e., develop or improve broadband, business districts, roadways, sewer, etc.) Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment

This building renovation is about so much more than just the physical structure. We're using this project as a platform to generate jobs and progress for underrepresented citizens, and to allow North Omaha locals access to healthy food options and business growth opportunities they might not otherwise have. The Fire Station 14 Redevelopment Project strives to provide a talent pipeline for minority job seekers who have an interest in firefighting, policing, emergency medical services and nursing. We also plan to open a coffee house and food incubator for entrepreneurs. This project will include extending the second floor and adding rooftop permaculture which will give North Omaha more access to nutritious year-round meals. The main floor will be turned into usable community space, including a coffee shop incubator to teach startup entrepreneurs how to run a service business, and the firehouse kitchen will be updated to a code-compliant commercial kitchen. With an adaptable area for trainings and immersive technology for career exposure, the property will be made ADA and code compliant. Our plan for the 1,840sf partial basement is to use it as a public assembly space where community members can collaborate and take advantage of the new technology being brought in. We hope to add a second floor above the main floor to replace some of the space that was removed previously, and on the roof we would like to add permaculture so that people have year-round access to healthy food. Our goal is to partner with Metropolitan Community College and iEXCEL at UNMC so that we can attract people of all ages, from all backgrounds, into the building. We will use cutting-edge technologies like AR/VR simulation to provide experiences that would not only teach these youngsters more about these vital professions but also help experienced professionals update their skills according to current best practices and standards. With this new program,

not only will kids have a chance to learn and receive an education, but current professional staff will also be given more opportunities for growth and advancement. Opening an innovative career center in North Omaha, we may assist to energize, recharge, and propel important changes in the area. We're not just changing North Omaha's presence and reputation throughout the region; we're also restoring its excitement by renovating Fire Station 14. The adaptive design of our cutting-edge reuse of a historical structure will establish a new bar for architecture in North Omaha. If we develop this project correctly, it has the potential to serve as a talent pipeline for underrepresented minorities seeking jobs in fields like firefighting, policing, emergency medical services and nursing. Not only that, but it would also provide new spaces for Entrepreneurs just starting out. These are well-paying occupations That will generate generational wealth and stimulate further North Omaha's historic core. By providing good job options to people in North Omaha, we not only help improve their financial situations, but also the city as a whole. Sustainability comes from within, and by offering these positions to individuals who would excel in them, we are giving back while securing our future. We are making North Omaha multimodel by creating a neighborhood hub where entrepreneurs can learn how to operate a business while serving an underserved community. We are improving access to broadband technologies by providing opportunities for public safety training and technology education via broadband, satellite, or 5g. This will allow for new space dedicated to community gatherings, public safety employment possibilities for minority candidates, and healthier food options--Improving local policy and resolving some of North Omaha's accessibility issues.

Visioning Workshop Findings Alignment

The Fire Station 14 Redevelopment Project aligns with the Visioning Workshop Findings by addressing the insufficient infrastructure in north Omaha by redeveloping an unused fire station and surrounding property. This will create new civic space and new educational opportunities for the community. The redevelopment of Fire Station 14 will also improve the quality of life for the people who live nearby, including space for community gatherings, job opportunities, access to healthy food options and educational resources to allow access to public safety careers. This project also fits within the cultural context of north Omaha as it is aimed at improving minority representation in firefighting, law enforcement, emergency medical services, and nursing careers. By providing cutting-edge experiences that will teach them about these vital professions, we hope to encourage more people from this community to access these careers.

Priorities Alignment

The Fire Station 14 Redevelopment Project will help address the social and economic challenges caused by the COVID-19 pandemic by boosting minority representation in firefighting, law enforcement, emergency medical services, and nursing work, the initiative will have a beneficial influence on local policy. Our goal is to attract people of all ages, from all backgrounds, who want to pursue these careers. We will employ cutting-edge technologies like AR/VR simulation to create a competent pipeline of minority individuals interested in these essential public safety jobs. This will not only help to improve the connection between the community and our local professional agencies, but it will also assist local public safety organizations comprehend the demands and interests of the communities they serve. This proposal will also be providing incubator space

for small businesses. This will provide entrepreneurs with the opportunity to learn how to operate a service business in a residential area. In addition, the project will promote street activity and make the community safer and healthier by providing a destination that is accessible via public transit, walking, or cycling. This will make the community more multi-modal as it encourages people to walk and cycle by offering a destination that is entirely accessible from a residential area. Finally, the project will improve broadband connectivity by providing simulation and emerging technology education.

Economic Impact

In addition to adding two full-time staff members and adding a number of part-time staffers through the incubator, the Fire Station 14 Redevelopment Project will have a positive economic impact on the community by providing job opportunities and training for small businesses. We anticipate increasing minority representation in these first responder careers by 10%, which will create long-term employment for members of the community. These are well-paying occupations that will generate generational wealth and stimulate further financial investment in North Omaha's historic core. This project will not only provide a financial boost to North Omaha, but it also has the potential to benefit the city as a whole. We are creating stability for neighborhood businesses by making upper-middle-class employment available to people in North Omaha who would thrive in these jobs. Good work is critical not only in terms of resurrecting our community but also in terms of making it vibrant and culturally rich; with well-paying, highly desired professions, this plan will assist make our region self-sufficient.

2 full-time

10 - 30 temporary construction jobs

\$25 - \$75 per hour

This project will create a incubator business space to serve the local business and residential community. It will also train and expose the community to careers as first responders and provide local continuing education opportunities for residents and businesses alike.

Community Benefit

The Fire Station 14 Redevelopment Project provides unheard of opportunities and we want to develop it into a talent pipeline for underrepresented minority job seekers who are interested in careers like firefighting, policing, emergency medical services, and nursing. Not only that, but this project would also provide new spaces for entrepreneurs just starting out and create a service business supporting the neighborhood. In emergency services, Omaha is experiencing a worker shortage. However, with this initiative, we may help to relieve that strain while also providing long-term employment for members of the community. These are well-paying occupations that will generate generational wealth and stimulate further financial investment in North Omaha's historic core. This project will not only provide a financial boost to North Omaha, but it also has the potential to benefit the city as a whole. We are creating stability for neighborhood businesses by making upper-middle-class employment available to people in North Omaha who would thrive in these jobs. Good work is critical not only in terms of resurrecting our community but also in terms of making it

vibrant and culturally rich; with well-paying, highly desired professions, this plan will assist make our region self-sufficient. It will also create a sustainable community by redeveloping an unused fire station and surrounding property. This creates new civic space and creates new educational opportunities for new careers and understanding the history of Omaha's fire department and the positive achievements of Omaha's African-American community.

The Fire Station 14 Redevelopment Project is helping create a Sustainable Community by redeveloping an unused fire station and surrounding property. This creates new civic space and creates new educational opportunities for new careers and understanding the history of Omaha's fire department and the positive achievements of Omaha's African-American community.

Best Practices/Innovation

By opening a technologically advanced, career hub in North Omaha, we can help energize, recharge, and propel important changes in the community. By expanding access to these professional careers, enhancing this historically beautiful building, and developing a coffee shop and food incubator for budding entrepreneurs, we may assist North Omaha in restoring its vibrancy. A second floor and rooftop permaculture are also planned as part of this project to allow North Omaha more access to healthful year-round food.

Outcome Measurement

We anticipate increasing the pipeline of prepared candidates seeking careers in public safety and increase the number of residents who visit Fire Station 14 and participate in educational opportunities we will provide.

They will be measured by new staff by tracking the number of people who enter the building and participate in programming and working with the City of Omaha to identify test scores and improvements of applicants we served.

Yes. This proposal creates a new business opportunity for new entrepreneurs and creates a new space for community programming and events.

Partnerships

Yes

We have letters of conceptual support from UNMC and MCC and we have also worked with The Empowerment Network, The Red Cross, 100 Black Men, Stand Against Violence Event (S.A.V.E.), Big Brothers/Big Sisters, Black Police Officers Association, Latino Police Officers Association

NA

Displacement

No

Displacement explanation

Physical Location

2028 Lake St, Omaha, NE 68110

Qualified Census Tract

Within one or more QCTs

Additional Location Documents	Not a brownfield site.
Property Zoning	Yes
Is the project connected to utilities?	
	Yes
	Yes
Design, Estimating, and Bidding	No
	No
	Cost estimates were based on quotes received and conversations with subject matter experts who have worked on similar projects in our community.
General Contractor	No
Request Rationale	Renovation estimate was based on site work done by HDR and based on per square foot estimates based on similar proposals.
Grant Funds Usage	These funds will be used for the capital and technology improvements necessary to have public access in this building. This access is required to allow MCC and UNMC to offer educational opportunities in the facility and obtain special use permits. This property is currently allowed for civic uses, but could be limited based on it's current condition and the need for code compliance.
Proposal Financial Sustainability	Yes
	The proposal will be self-sustaining by creating new opportunities for earned revenue through a percentage of incubator sales and rent received for use of classroom and community space.
Funding Sources	The only other funding sources are earned income and can only be realized with assistance in the renovation of the space.
	NA
	No
Scalability	This proposal is scalable.
	Restoring the second floor and making the basement into usable space doubles the cost of this proposal. The second

floor could be left off the project proposal if funding was an obstacle.

**Financial
Commitment**

The organization is committed to building the operational sustainability and project oversight. However, the organization is currently made up of volunteers with limited resources for capital. We've been able to keep the facility in good enough condition for this renovation.

**ARPA Compliance
Acknowledgment**



**ARPA Reporting and
Monitoring Process
Acknowledgme**



**LB1024 Funding
Sources
Acknowledgment**



Public Information



File Uploads

Environmental assessment of subject site. Is the property a brownfield site? Plans and detailed descriptions, including pictures and a map of the site location/surrounding area
Proposal Budget/Sources and Uses



Existing Facility Assessment
Fire Station 14

Omaha Association
Black Professional Fire Fighters
2028 Lake Street
Omaha, NE, USA



May
2018

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Appendix A
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Executive Summary



Fire Station 14 | May 2018

Purpose

HDR has donated professional services to the Omaha Association of Black Professional Fire Fighters (OABPFF) to evaluate the existing condition of Fire Station 14. Fire Station 14 is currently owned by OABPFF who use the facility for office and meeting space. OABPFF would like to expand programming at the facility to include emergency responder education and enhanced community engagement as outlined in Appendix A.

This assessment can be used by OABPFF to prioritize deferred maintenance and capital improvements as well as plan for the costs associated with such maintenance and improvements. Additionally the assessment can be used to inform decision-making for how to most efficiently adapt the existing space to serve the expanded programming goals while remaining sensitive to the history of the building.

Methodology

This assessment is based on conversations with the building users and the visual observations of professional architects and engineers with experience in renovation work and historic structures. Conditions that could be visually accessed from the ground are included in the scope. While hidden conditions could not be observed, the assessment attempts to anticipate potential complications associated such conditions. It is important that budgets for any work planned for the facility include a realistic contingency for hidden conditions.

As plans are developed and work proceeds it will also be critical to obtain input from professional trades

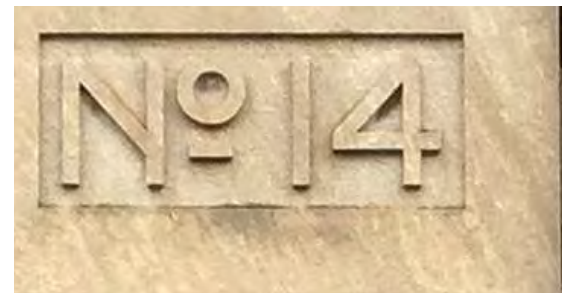
people. The hands-on experience of trades people can offer valuable insight for diagnosing issues and finding creative solutions.

For purposes of this document, the building interior is divided into four areas: The north, slab on grade portion of the main floor; the southeast bay which currently serves as historic vehicle storage and exhibit space; the southwest bay which serves as exhibit and meeting space; and the basement.

Historic Significance

Design and construction dates for Fire Station 14 are not known, but are believed to be between 1900 and 1920. The facility is not in a historic district. It is located just east of the North 24th and Lake Streets Historic District which is a National Register Historic District. The facility is not locally landmarked by the City of Omaha ("landmarked") or listed on the National Register of Historic Places ("listed"). The facility was dramatically altered from its original condition when the second floor was removed. It is not known what year this alteration occurred. If the alteration occurred early enough in the building's history, it may not impact the historic significance of the building from an architectural perspective. More historically significant than its architecture is the facility's association with African American firefighters in Omaha prior to desegregation of the Omaha Fire Department. Refer to Appendix A.

Due to the size of the facility and the non-profit status of the owner, there is likely no tax credit benefit to having the facility landmarked or listed. Landmarked or listed status



may determine eligibility for certain grants. The Nebraska State Historic Preservation Office, National Trust for Historic Preservation, or Restoration Exchange Omaha are good resources for advice about historic status and grant eligibility.

Condition Summary

The facility appears to be structurally sound, however there are water infiltration issues that need to be addressed as soon as possible. Future uses will impact fire protection and life safety features of the building. These will need to be carefully balanced against budget constraints.

Improvements to the main level interior will be driven by budget and functional needs. At a minimum, finishes are due to be refreshed, the mechanical and plumbing systems need maintenance and lighting needs to be updated. A more aggressive approach would be to remove most of the interior partitions and build out new space to fit the planned new uses. Highest cost areas will likely be restroom and kitchen spaces along with mechanical, electrical, lighting and life safety systems upgrades.

The basement will require considerable work if it will be used as an occupied space. Water infiltration, life safety, light and ventilation issues will all need to be addressed. Additionally restrooms

Executive Summary



Fire Station 14 | May 2018

may be required.

The site requires maintenance of paved surfaces, grading and landscaping. Installation of curb and gutter, as recommended in the site narrative, will reduce future maintenance. If additional off-street parking and/or a direct exit from the basement is required by the new use, it would be beneficial to explore acquisition of the adjacent property to the east. The cost of such acquisition and associated improvements should be planned accordingly.

Next Steps

STABILIZE

The most critical issue currently impacting the condition of the facility is water infiltration. Addressing this issue can be done prior to completing planning for any interior renovation work. Grants are available from the National Trust for Historic Preservation to help fund such stabilization. These grants are awarded through a competitive selection process and often require matching funds. The Nebraska State Historical Preservation Office may be able to provide guidance for additional grant opportunities.

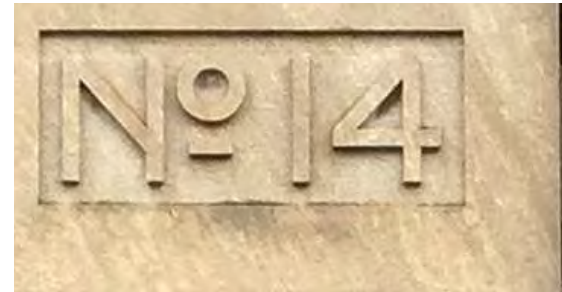
The first condition that should be addressed as soon as possible is stabilization of the exterior masonry at the north end of the building and around the roof side of the parapet. Once this condition has been stabilized, the roof should be replaced. The architectural assessment includes recommendations for roof system configuration. Please refer to Appendix B for resources associated with masonry restoration and grants. Permitting for this work may not require sealed design documents. If sealed design documents are

required, an architect will need to be engaged.

PLAN

While the exterior is undergoing stabilization, an architect should be engaged to assist the owner with planning and design for the new use. The architect can also assist the owner in developing written and visual tools to raise funds and apply for grants. Ideally, the owner will also engage the services of a professional general contractor to act as a construction manager and provide pre-construction services such as cost estimating. Together the architect and construction manager can develop a schedule for the work that meets the owner's needs and budget requirements. Assembling the owner, architect and construction manager team early is the best way to ensure the design and construction processes will proceed as smoothly as possible. Some grants are available to cover the cost of planning services, often with a requirement for matching funds.

Renovations are a combination of adjusting the new use to fit the existing space or adjusting the space to fit the new use. Adjusting the use to fit the space is typically the lower up-front cost. The risk being long-term operational issues, and the potential to negatively impact the success of the mission. Adjusting the space to fit the use will increase up-front costs, but better ensure long-term operational success. Most projects are some combination of these two extremes. If up-front cost becomes a driving factor, phasing the work can be planned to dovetail with fund-raising efforts associated with the pursuit and execution of various programming goals.



EXECUTE

Development of the schedule for design and construction should include a capital campaign period for fund-raising. Fund-raising can be targeted to cover planning and design services, capital improvements, furnishings and equipment needs, and/or programming and operational needs. Professional services are available to assist with planning and executing a capital campaign if the owner does not have the ability to staff this effort. Please refer to Appendix B.

Once the goals of the capital campaign are achieved the work can be executed as planned.

Physical Characteristics



Fire Station 14 | May 2018

Parcel Information

ADDRESS: 2028 Lake Street
PARCEL ID: 1039355100
LOT AREA: 8,276 SF (0.19 Acres)
69.87'x140'
BUILDING FOOTPRINT: 4,922 SF
46'x107'
PARTIAL BASEMENT: +/- 1,840 SF
+/- 46'x40'

use types below may be applicable. The status of the zoning use as "permitted", "conditional", "special use" or "not permitted" for Zone R7 is indicated in italic following the possible use. A zoning use waiver will be required for any "not permitted" use.

Commercial, Business or Trade
School - *Not Permitted*
Civic, Cultural Services - *Conditional*
Civic, Club - *Not Permitted*
Office, General Offices - *Special Permit Use*

Zoning

The parcel is zoned R7 - Medium Density Multiple-Family Residential District. There appears to be no overlay zoning.

Proposed Zoning Use Type:

Proposed use types are mixed and not clearly covered by existing zoning use types. The final zoning use type will need to be determined in partnership with the City of Omaha. The zoning

Building

YEAR BUILT/REMODELED

The Douglas County Assessor's report indicates a construction date of 1940 and a remodel date of 1980, for an adjusted year built of 1948. This conflicts with photos of the building from the Durham Museum Photo

ARCHITECT

Sheila J. Ireland, AIA, LEED AP

SITE VISIT DATE

Tuesday, March 20, 2018

Archive which are dated 1917 and 1938. The heavy timber roof and floor along with the load bearing exterior masonry walls are consistent with construction typical of the late 1800s and early 1900s. It is likely that the photograph dates are accurate. At some point in its history, the second level was removed from the building. It is possible that this occurred around 1940 and is the basis of the year built date shown by the Douglas County Assessor. It is also possible that the second story was removed in the 1980 remodel indicated by the Douglas County Assessor, however, this seems less likely as the fire department ceased to occupy the building in the late 1970s.

EXISTING USE

It is not known if any change in occupancy type or use was permitted for the building since its original use as a fire house. The existing occupancy/use as a non-profit administrative function is likely B-Business. The IBC does not include a specific use listing fire houses or fire stations. The previous use as a fire station may have been Civic administration or vehicle storage. In any case the existing use may not be relevant as the new use will likely be different and will require compliance to the new use/occupancy code provisions.



Durham Museum Photo Archive, Bostwick-Frohardt Collection, 1917

POTENTIAL NEW USES

Based on current plans for the facility to function as non-profit administration, museum exhibition space, fire and rescue training, and community space the new occupancy/ use type will likely be mixed. Use types will probably be some combination of the following and will need to be finalized in discussions with the City of Omaha:

- A3 - Assembly-Community Hall
- B - Business - Training and skill development not within a school or academic program
- B - Business - Educational occupancies for students above the 12th grade
- B - Business - Professional association administrative office
- U or S1 - Vehicle Storage

Note: occupancy types listed above are per IBC, 2006 and will need to be reconciled with NFPA 101, Life Safety Code. Versions of both codes are subject to updates by the Authorities Having Jurisdiction.

CONSTRUCTION TYPE: IIIB

The building exterior vertical structure and finish is solid, unreinforced, load-bearing brick masonry with stone masonry sills, parapet caps and decorative trim. This masonry was designed to support a second level that has been removed.

Interior vertical structure includes both cast iron and heavy timber components. Horizontal structure is also a combination of heavy timber and iron beams. Floor and roof deck construction is wood.



Durham Museum Photo Archive, John Savage Collection, 1938



Fire Station 14, 2018

RATINGS FOR TYPE IIIB

- Structural frame: 0 hr
- Exterior bearing walls: 2 hr min or as required by fire separation distance
- Interior bearing walls: 0 hr
- Exterior non-bearing walls: NA
- Interior non-bearing walls and partitions: 0 hr
- Floor construction including supporting beams and joists: 0 hr
- Roof construction including supporting beams and joists: 0 hr

MAXIMUM ALLOWABLE HEIGHT AND AREA

The most restrictive potential occupancy type, U (Vehicle Storage), is used to determine allowable height and areas below.

- Without sprinklers: 2 stories (55 FT), 8,500 per story
- With sprinklers*: 3 stories (75 FT)

*No height or area increases are needed to accommodate the planned new uses/occupancies.

Site Assessment

Fire Station 14 | May 2018

Existing Conditions

Fire Station 14 sits on a 0.19 acre (8,276 SF) site on the north side of Lake Street between North 20th and North 22nd Street. Site dimensions are 69.87 FT x 140 FT. The 4,922 SF building sits approximately 36 feet from the curb line of Lake Street. The building footprint is 46 FT x 107 FT. The front yard is an asphalt overlay (assumed over pavers), to the front of the building. There is a person door and a garage door along the front façade of the building. The stoop of the person door is brick, which appears to be relayed from its original condition (see Figure L1). Approximately five cars can park 90 degrees to the front façade.

Along the west side of the building, there is an alley access lane that connects to the public alley to the north of the building. The alley, approximately 12'-0" wide, appears to not be utilized and is surfaced with a mixture of asphalt overlay, pavers, and vegetation. To mitigate grade change between lots, there is an approximate 1'-0" stem wall along the west edge of the alley with a black metal fence mounted on top (see Figure L2). There is one person door along the west façade of the building which does not appear to have a structural stoop at the threshold. The building's radon ventilation is about half way down the alley along the building side (see Figure L3).

A public alley runs along the north side of the building and connects North 20th Street to North 22nd Street. The alley is unfinished and has some minor drainage/pounding problems (see Figure L4). There are three window openings in the north façade and the electrical meter is located along the exterior. Minor trash/debris has connected along the

LANDSCAPE ARCHITECT

Alison Ingunza, PLA, ASLA

SITE VISIT DATE

Tuesday, March 20, 2018



figure L1 - entrance



figure L2 - west alley looking north

base of the building (see Figure L5).

The east lot line sits a few feet off the east façade face. There is an alley access, approximately 10'-0" wide, along the east side of the building. This access is legally owned by the neighboring property to the east (see Figure L6). There are a series of window openings along the east façade, two of which have an associated window well. The building gas meter is located at the southeast corner along the building.



figure L3 - west alley looking south with radon ventilation visible

Recommendations

GENERAL SITE CLEANUP AND GRUBBING

RE-GRADE WEST ALLEY ACCESS; PROVIDE POSITIVE DRAINAGE AND OVERLAY WITH ASPHALT

- Maintain existing stem wall and fence attachment.
- Maintain existing stoops along building edge.

COORDINATE POTENTIAL FOR SURFACE PARKING LOT AND/OR MAINTENANCE OF EAST ALLEY ACCESS WITH NEIGHBORING PROPERTY OWNER

- If applicable, re-grade neighboring lot to accommodate a concrete curb and gutter surface parking lot with approximately 20 parking stalls.
- Re-grade to maintain positive drainage.
- Provide curb and gutter along west edge of access alley. Begin curb and gutter at southeast building corner and terminate into northeast building corner.
- Slope landscape at 2% from top of curb to building.



figure L4 north alley looking west

- Leave alley access unfinished.

General Design

Criteria

APPLICABLE CODES, STANDARDS AND ORDINANCES:

1. Department of Justice 2010 Americans with Disabilities Act
2. City of Omaha, Municipal Code, Zoning and Planning Regulations
3. City of Omaha, Department of Public Works, "Standard Specifications for Public Works Construction"
4. Nebraska Department of Environmental Quality – Nebraska Pollutant Discharge Elimination System Storm Water Discharge for Construction Site Permit Program
5. United States - Environmental Protection Agency (EPA), National Pollutant Discharge Elimination System (NPDES) - Storm Water Management for Construction Activities



figure L5 - north facade



figure L6 - east facade

Structural Assessment

Fire Station 14 | May 2018

Assessment Scope

HDR conducted a field observation of Fire Station 14 to look for signs of structural distress. Our observation and discussion below is limited to what was visible. No wall or ceiling finishes were removed to look for structural issues. It is likely that during renovation, as walls and ceilings are opened up that additional areas of rot, rust, or a need for repointing will be discovered.

Existing Conditions

Based on HDR's observations, the building appears to be in overall good condition, considering the age of the building. There are no visible signs of settlement, nor are there any signs of inadequate gravity load carrying capacity, for example, sagging floors or damaged framing. In the basement, the first floor joists are visible, and they are in remarkably good shape. There are very few areas with any wood rot, and the few locations with rot are not in areas that will impact the capacity of the floor. The roof joists were not visible, so it is not possible to determine if there are any deficient areas. However, it seems possible that when work commences on the building, areas will be found where roof leaks have caused the roof framing to rot. These areas will need to be addressed as they are discovered.

Recommendations

RECONSTRUCT

At the northeast and northwest corners of the building, the brick is failing. We believe that this started as a roofing failure, and over time, water has gotten into the brick wall and through freeze-thaw action has caused the brick wall to come apart. Figures S1A, S1B, S2A, and S2B show these corners. These two corners will need to be taken down and rebuilt. The roofing above will also need to be replaced, so water no longer gets into the wall.

REPOINT

Throughout the building, it can be seen that the brick needs to be repointed. This includes not only the brick on the exterior of the building, but also the brick in the basement. The existing mortar has eroded over time, and there are cases where there is an inch or more of mortar missing between bricks. In some areas, it appears that repointing was performed, but the effectiveness of these repairs is questionable. It is possible that an incompatible mortar type was used for this work. Some of this newer repointing may need to be removed and replaced. Figures S3 and S4 show some of these conditions.

EFFLORESCENCE

In the basement, the base of the walls have white lime deposits on them, which is indicative of water seeping through the walls. Although the basement was dry during our visit, the walls should be waterproofed, if there will be finished spaces in the basement. Figure S5 shows an example of the basement wall with lime deposits.

STRUCTURAL ENGINEERS

John Savage, PE, SE, LEED AP
Robert Guinn, Jr., PE, LEED AP

SITE VISIT DATE

Tuesday, March 20, 2018



figure S1A - top of northeast



figure S1B - base of northeast corner

RUST TREATMENT AND PREVENTION

In the basement, there is a line of steel framing that runs north-south on the east side of the basement. The bases of the columns on this line of framing are rusty, which also indicates that at some time there was water in the basement. To help protect these columns, the rust should be removed down to bare metal, and a zinc-rich paint applied to the column bases. Figure S6 shows an example of the rust at the base of one of these columns.

CHIMNEY CRACKS

On the west side of the building, there is a chimney. On the north and south sides, the chimney has vertical cracks running nearly full-height from the top of the parapet to the top of the chimney. The cracking is more pronounced on the north side of the chimney. These cracks are likely related to how the chimney was constructed and the removal of the second level. During renovations, when the chimney is more accessible, the chimney should be looked at more closely to determine if the cracks pose any structural issues, or if they can simply be repointed. Figure S7 shows the north side of the chimney.



figure S2A - top of northwest



figure S2AB - base of northwest corner

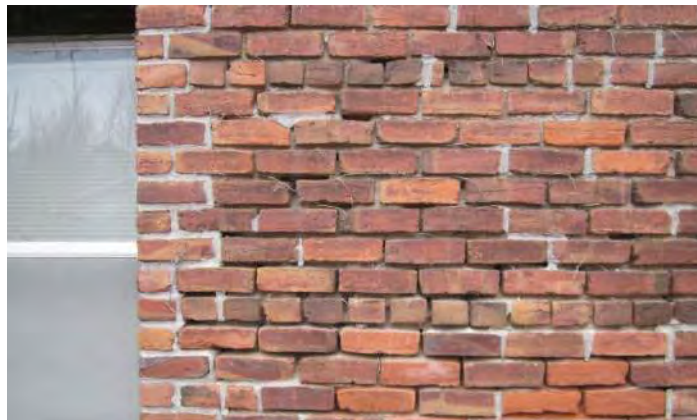


figure S3 - exterior masonry in need of repointing



figure S4 - interior masonry in need of repointing



figure S5 - efflorescence resulting from water infiltration



figure S6 - rust at steel column



figure S7 - chimney

Architectural Assessment



Fire Station 14 | May 2018

Life Safety

TRAVEL DISTANCES

The distances below are based on the most restrictive proposed occupancy type with no sprinkler system installed.

- Maximum travel distance: 200 FT
- Maximum dead-end corridor: 20 FT
- Maximum common path: 75 FT

With the exception of the basement, the building appears to meet travel distance requirements.

EXITS

There are two exits to grade at the main level.

A minimum of two exits will be required from the main floor. A third exit may be required depending on the occupant load resulting from the proposed new use.

The hardware on the two exterior doors may need to be modified to

panic type hardware depending on occupant load.

Exit corridors widths need to be verified in the field.

A minimum of two exits will be required to serve the basement for any use other than business or storage. One of the exits may be required to discharge directly to the exterior.

There is one existing exit (interior) serving the basement.

EXIT STAIR

There is one interior exit stair which serves the basement level.

The interior stair may need to be enclosed with a one hour rated shaft enclosure in order to qualify as an exit.

The interior stair must be at least 48 inches wide between handrails (44 inches wide if the building is fully sprinklered).

A landing is required for any exit stair run exceeding 12 FT in elevation change. The existing elevation change is likely less than 12 FT, but this needs to be verified.

Fire Protection

SEPARATION

A one hour separation may be required between some of the proposed occupancy types. Occupancy separation requirements may be reduced if the building is fully sprinklered.

A one hour separation may be required at the interior exit stair serving the basement.

ARCHITECT

Sheila J. Ireland, AIA, LEED AP

SITE VISIT DATE

Tuesday, March 20, 2018

DETECTION AND SUPPRESSION

There is not an existing automatic fire suppression system in the facility. The facility contains some residential style smoke detectors.

Adding a sprinkler system to the building is not required, but is recommended. It will make the building safer for occupants, protect the renovation investment and possibly reduce insurance premiums. Additionally, use/occupancy options for the basement will be increased if the building is fully sprinklered. For example it is unlikely that an assembly use will be permitted in the basement without a sprinkler system installed.

Accessibility

The renovated facility will need to meet accessibility requirements if the new occupancy classification is different from the existing occupancy classification. This change in occupancy is likely. The following items were found to be non-compliant or at risk of non-compliance.

The interior stair does not meet code requirements for an accessible exit due to the open risers, insufficient width and lack of code compliant handrail and guardrail.

The stalls, fixtures and toilet room accessories in the mens and womens toilet rooms do not meet accessibility standards (see figure A01).



figure A01 - men's toilet room

At least a 36 inch long portion of countertops in the kitchen and breakroom area must be no more than 34 inches high per accessibility requirements. Sinks and appliances must also be accessible.

The ramp in the corridor may not be accessible in terms of maximum allowable slope. The elevation change needs to be verified compared to the length. If the elevation change served by the ramp exceeds 6 inches, handrails will need to be installed.

The existing door hardware is not accessible at swinging or sliding doors.

Exterior conditions at the north exit door may not be considered accessible (figure A02).

Plumbing

Fixture Counts

If the new occupancy classification is different than the existing occupancy classification, the renovated facility will need to provide fixture quantities to meet current code.

A minimum of one mop sink/janitors sink is typically required for any occupancy classification. No existing sink was observed in the facility.

A minimum of one high-low type drinking fountain is typically required for most occupancy classifications. There is currently no drinking fountain in the facility.

Toilet, urinal and lavatory fixture quantities will need to be evaluated according to the renovated occupancy classification requirements. It is likely that additional fixtures will be required. Showers are not required for the proposed new functions. If the owner would like shower facilities separate mens and womens showers meeting accessibility standards will be required.



figure A02 - north exterior door

Architectural Components and Systems, and Interior Finishes

The existing condition of architectural components and interior finishes has been evaluated by visual inspection. Elements are organized below according to the Construction Specifications Institute (CSI) Division Number. Treatment recommendations are included within each division.

03 - CONCRETE

Interior Slab on Grade

Concrete slab on grade exists at the basement and north end of the main level. These existing slabs appear to be in serviceable condition. Patching and repair or topping may be required based on further inspection following cleaning and removal of existing finishes. The degree of work may depend on what types of new finishes are desired, especially in the basement.

There are mechanical areas of the basement having floors below the primary basement level. These areas appear to have dirt floors or concrete/masonry floors in very poor condition. The condition of these floors should



figure A03 - typical lavatory

be verified and concrete slab should be installed at the existing floor level or installed level with the rest of the basement slab.

Stoops and Exterior Slabs

With the exception of the main entrance, stoops appear to be paved over and /or not extant (figure A02).

Slabs poured against the building or

over utility openings or areaways at the north, west, and east facades are incompatible with the masonry construction and in poor condition (figure A04). Some are not sealed at the joint between the brick and the concrete and vegetation has taken root in these areas. While some of the slabs or caps are in good condition, it would be ideal to remove them, along with any vegetation growing in the joints, so that further inspected of the basement walls, along with any necessary remediation, can occur.

04 - MASONRY

Recommendations for treatment of historic masonry should be verified and coordinated with those of a professional mason with experience in the restoration of historic masonry construction.

Mortar and Grout

Mortar is in poor condition and failing throughout the facility (figures S3 and S4). At the north corners of the exterior, and in some areas of the basement interior, mortar failure is causing brick to collapse at the outer wythes. These areas must be reconstructed using existing brick. If there is not a sufficient supply of existing brick to complete the repairs, compatible new brick should be used. Mortar visible at exposed interior and exterior stone and brick masonry requires 100% repointing. This includes masonry at the basement interior that is currently concealed by failing plaster finishes. A contingency or allowance should be included in anticipation that additional repointing of mortar will be required at concealed areas, such as the roof side of the parapet, areas above finished ceilings, and interior surfaces of exterior walls. If future uses necessitate a second exit from the basement and/or if the new use makes it desirable to restore historic below-grade areaways, additional repointing may be necessary at the exterior of walls that are currently below grade (figure A05).



figure A04 - concrete areaway covers at west facade



figure A05 - open areaway or window well at east facade

Repointing should be performed using methods and materials recommended by the National Park Service's Preservation Briefs addressing maintenance and repointing of historic brick masonry. See Appendix B. Repointing with an incompatible mortar will cause permanent damage to the masonry over time.

Masonry Flashing

Masonry flashing associated with roofing, windows, doors and other penetrations should be replaced in conjunction with the repair or replacement of these components.

Brick Masonry - General

The brick masonry appears to be in good condition in most areas. Incompatible exterior coatings (cement or cement plaster) applied at the north façade should be removed. All of the exterior masonry should be cleaned per the National Park Service's Preservation Briefs addressing maintenance of historic brick masonry. This includes masonry at the roof side of the parapet. Interior masonry in the basement should be cleaned following the same standards in conjunction with repointing and repair work. Where plaster finishes

in the basement are failing (extensive) this finish should be removed to allow maintenance to be performed on the brick (figure A06).

See Division 07, Thermal and Moisture Protection for recommendations regarding below grade waterproofing. Abandoned masonry openings in the exterior walls of below grade mechanical rooms should be inspected, patched and waterproofed (figure A07). If the historic areaways are restored, and the existing brick was waterproofed prior to infilling the areaways, the waterproof coating will need to be removed or coated with a finish that can be exposed to air and light. Waterproofing at abandoned below grade windows should be inspected and remediated, whether or not the associated areaways will be restored.

Brick Masonry - Chimney and Exterior Pilasters

The east half of the chimney was originally part of the building interior. It appears to have been coated with cement plaster or cement at the time the second story was removed. This coating is likely incompatible with the brick. The coating appears to be cracked and may be allowing water penetration into the masonry and the chimney shaft. Repair of, or removal and replacement of, this coating should be planned. The interior of the chimney should be scoped to determine if additional repair work is needed. A cap should be installed at the chimney opening to keep out vermin and water.

Exterior brick pilasters do not have stone caps. From the ground, it is unclear if any existing measures are in place to shed water from the tops of these pilasters. It should be assumed that these pilasters will need to be capped with flashing, stone or sloped masonry grout.



figure A06 - plaster at south basement exterior wall

Brick Masonry - Water shedding

Most exterior masonry appears to retain its capacity to shed water. Moisture absorption testing could be performed at the exterior to verify this, however such testing would only be necessary if repointing, sealing and cleaning exterior masonry appears to be insufficient to address water penetration issues.

Brick Masonry - Water damage

Water damage is evident at both interior and exterior walls. Evidence of damage includes failing interior coatings, failing mortar and severe efflorescence. Water damage occurring above grade is likely due to failure of the roof, gutter and downspout systems. Additional above grade damage could be the result of failing seals or flashing around doors, windows or other penetrations.

Some of the below grade water damage may be due to the same failures causing the above grade damage as water works its way down to the lowest point of the walls. Additional likely causes of below grade water damage include improperly graded site surfaces, missing or failing waterproofing at the exterior side of below grade masonry, failure of flashing or seals



figure A07 - abandoned opening in mechanical room

around abandoned windows, lack of drain tile at the perimeter of below grade walls, or leaking plumbing systems. It is important to note that at least some portions of the east and west walls of the basement were not originally designed and constructed to function in a below grade condition. Abandoned window and door openings, along with historic photos,

indicate that there were areaways at these walls. Improper filling of the areaways could be causing some of the water damage currently visible in the basement. That said, the damage appears to be widespread rather than associated with specific architectural features. A lack of ventilation in the basement is likely exacerbating the moisture issues. If possible, floor drains or a perimeter drain system should be considered for the basement in the future

Stone Masonry - Ornamental Detailing

Most ornamental detailing is in good condition. There is spalled stone at the base near the infilled door opening at the south end of the west wall. There is some spall and erosion at the entry surrounds at the front façade.

Stone Masonry - Parapet Caps

Existing stone parapet caps exhibit some chips and misalignment throughout on the exterior side of the wall. The roof side and top of the caps were not observed. The top of the masonry wall is not visible behind the north gutter. Caps should be re-aligned and repointed or sealed as required to ensure they shed water away from the masonry wall.

Stone Masonry - Window sills

Window sills located closer to the front of the building generally have more intact sills than those at the back half. Numerous sills at the back half of the building are of pieced construction or are cracked. Sills are in fair to good condition except as noted in the following paragraphs.

Two sets of double windows on the north end of the west façade appear to be pieced or cracked. Joint treatments associated with these cracks are failing. The north-most of the two windows has a bowed sill with bowed brick below. Ideally the brick below the sill should be reset as part of the repointing scope. The bowed sill should then be repaired, reset and



figure A08 - typical stone masonry at exterior



figure A09 - interior glazed brick masonry and painted brick masonry

sealed. At a minimum the joints of the sill pieces should be sealed with a flexible sealant.

The following window sills are pieced or cracked with failing joint treatments. The joints/cracks should be sealed:

- Two of the sills at the north facade,
- North-most window at east façade.

There are two sills at the east wall that were damp at the time of inspection (while others were dry). This may indicate that the sills aren't shedding water and/or that failure of seals

associated with the windows is allowing water to pool at these sills.

Where sills are severely chipped along the bottom outside corner, they may not be able to effectively direct water away from the wall below. Consider patching the chips or installing flashing or sealant below these sills.

Interior Glazed Brick and Face Brick

Interior masonry on the main level at the south half of the building has been painted. In some areas the painted finish is failing and peeling

and it is evident that the masonry was intended to be an exposed finish. In these areas there is a wainscot of glazed brick, capped with a bullnose chair rail course. Above the chair rail, the brick finish appears to match the exterior brick (figure A09). If the paint can be removed without damaging the masonry, the longest term solution is to remove the paint and allow the original finish to be exposed. Some repointing may be necessary, however this cannot be assessed until the paint is removed. The repointing budget should carry a contingency to allow for this area of masonry to be repointed. A less costly, but less long term, solution is to remove the paint to sound adhesion, prime, and paint the walls.

The remaining interior masonry at the north half of the building is finished with plaster or drywall. It is assumed that any remaining plaster is historic – dating to the original construction or to a very early renovation – and that the interior brick in this half of the building was never intended to be an exposed finish.

Concrete Masonry Units (CMU)
 CMU is used as wainscot at toilet stalls and as a full height partition at the shower in the Men's toilet and shower room (figure A11). It is assumed that this material is not historically significant. It appears to be in good condition, however the stalls are not ADA compliant and will likely need to be removed and reconfigured.

05 - METALS

Structural Steel

See Structural Narrative and figure A10. Exposed structural steel (or iron) should be prepped to bare metal, primed and painted with a high-performance paint. Alternatively, paint may be removed to sound adhesion, primed and painted. See Painting Division 09 for additional recommendations regarding



figure A10 - wood stair, iron column and beam, abandoned windows

paint systems.

06 - WOOD, PLASTICS AND COMPOSITES

Wood Framing or Lath

The date of construction of the interior walls is not known, so it is not known how these walls are framed. No partition framing was visible. It is not known if any existing lath is wood, metal or plaster.

Structural Timber or Lumber

Please reference the Structural Narrative for an assessment of the condition of wood structural members. Exposed structural wood in the basement is not finished. No structural wood was observable at the main level. It is assumed that the roof joists are unfinished timber or lumber. Inspection of this construction should be planned, and possible remediation anticipated, in conjunction with renovation work.

Structural Wood Deck

Please reference the Structural Narrative for an assessment of the condition of wood deck. Exposed deck in the basement is unfinished. No deck was observable at the main level. Deck at the main level is concealed by historic wood bead board, plaster or acoustic tile finishes.

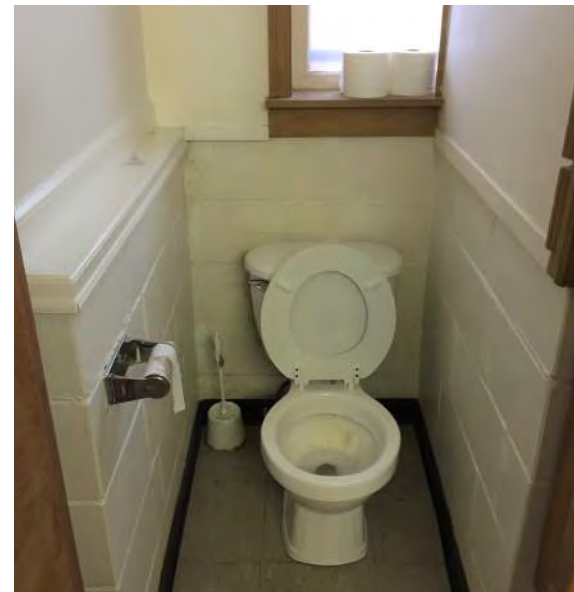


figure A11 - CMU partitions

Wood Stairs

The existing wood stairs that serve the basement appear to be in sound condition (figure A10). The stairs do not meet code for use as an accessible exit. They will need to be removed and replaced unless the basement will be used only for storage/mechanical functions.

Finish Carpentry and Miscellaneous Wood

There is wood crown molding and some wood picture rail in the garage area. There is likely wood crown molding associated with the bead

board ceiling concealed above the southwest bay adjacent to the existing garage bay.

There are some areas of wood wall base in the north half of the building. It is not known if the wall base is historic. It is in good condition.

Wood nailers have been installed, to facilitate the display of historic photography and documents, on the masonry and plaster walls in the garage bay and the southwest bay. The nailers are in good condition.

07 - THERMAL AND MOISTURE PROTECTION

Roof System

The roof waterproofing is failing and must be replaced. The condition of insulation and wood deck below the waterproofing layer is unknown. The roofing system should be removed down to the structural deck so that the deck can be inspected. Since the waterproofing is failing and there is evidence in the interior of water infiltration, a contingency should be carried in anticipation that additional damage may be uncovered in the roof structure and require repair. Once any deck repairs are complete, a new fully-adhered roof membrane system, including code compliant insulation, should be provided. Ideally the roof insulation should be installed over a vapor retarder above the structural deck.

Gutter and downspouts

Gutter and downspouts are located on the north side of the building. They are no longer functioning and must be replaced (figure A12).

Below grade wall waterproofing

The condition of below grade waterproofing cannot be inspected without excavating around the building and/or into abandoned area ways. Unless this work is required for other purposes, such as providing an additional exit or access



figure A12 - gutter and downspout at north facade



figure A13 - aluminum overhead door at southeast bay (garage)

to natural light for the basement, such excavation should only be considered if water issues persist in the basement and cannot be attributed to any other cause. Below grade windows at abandoned areaways should be inspected from the interior and remediation performed from the interior if possible.

Insulation

Roof insulation is addressed in the "Roof System" paragraph above. It is assumed that the exterior walls are not insulated. If the new use constitutes a change in occupancy, it will be required to meet current energy code. To minimize invasive

construction associated with insulating exterior walls, it may be necessary to demonstrate code compliance through use of energy modeling by the Mechanical Engineer. If the building can be designated as historic, requirements of the Energy Code will not be as stringent.

Rising Damp at Slab on Grade

At the time of the visual inspection, the basement floor slab appeared dry. If water or dampness issues occur or persist after other potential sources of damp have been addressed, and after proper ventilation has been introduced into the basement, the possibility of rising damp should be explored.

Interior and Exterior joint sealants

It is assumed that any exterior or interior joint sealants have outlived their functional life span and should be replaced.

08 - OPENINGS

Aluminum Storefront

Entrance and Overhead Door

The existing exterior storefront and overhead door appear to be in serviceable condition (figures A13 and A14). Maintenance of sealants, gaskets and operable parts should be performed to extend the period of serviceable life. The glazing at the overhead door has been coated on the interior. The coating is not in good condition. Depending on the owner's future needs, this coating should be removed or replaced. Maintenance should be performed on hardware. Hardware functions should be reviewed during design for the future use and hardware updated if required.

Exterior Doors and Hardware

There is one exterior door (flush wood, figure A15) in addition to the main entrance door (aluminum storefront entrance). The door is in a historic masonry opening that has been altered in size and partially in-filled with brick. This door is a residential grade flush wood door in a wood frame. The exterior finish of the door is delaminating. The hardware appears to be in working condition, however it does not meet accessibility requirements and may not meet exiting requirements for the proposed new use. There is no panic hardware and there is an existing deadbolt that functions separately from knob. The wood door frame is deteriorating at the bottom and likely needs to be patched or replaced. There is a storm door in the same opening. The storm door appears to be in serviceable condition, however some of the glazing needs to be replaced and the hardware is not accessible. Ideally, the residential door should be replaced with a



figure A14 - aluminum storefront entrance



figure A15 - exterior door, west facade

commercial grade hollow metal door and frame of a configuration meeting the owner's needs and with new hardware. The storm door should be removed and not replaced.

There are at least two abandoned historic door openings at the main level: one each at the south end of the east and west walls. The openings

have been filled in with brick. Several masonry openings at the north side of the building have been altered. It is not clear if any of these openings were door openings historically. Restoring these openings to their original size or function, would add value to the building, however it is not required.

There is one abandoned historic

door opening in the east wall of the basement. If future use requires a second exit out of the basement, this door opening could be restored.

Exterior wood windows

Exterior windows are typically double hung residential style wood windows in wood frames with aluminum storm windows. Condition of the windows varies, with some appearing sound and others showing some deterioration above the sills (figure A16). At a minimum, maintenance should be planned for all the windows including repairing wood, reglazing sashes, and restoring hardware function. Storm windows should be replaced or existing window glass should be replaced with insulated glass. If the cost of such maintenance approaches the cost of equivalent or better new windows, such replacement should be considered. New windows should be selected to be compatible with the historic appearance of the building. The age of the existing windows is not known. The windows are not original to the building as most are in masonry openings which have been reduced in size. However, given the quality of the masonry in-fill it is possible that these windows were installed when the second floor was removed from the building. If so they may still be considered historically significant with superior quality hardwood parts. Restoring these openings to their original size, would add value to the building and may be considered historically appropriate, however it is not required.

Exterior windows in the basement are boarded over in some instances and assumed to be in poor condition. Depending on future needs of the space, these openings should be restored or sealed up with more permanent construction.

Interior Wood Framed Storefront

There is a large wood framed



figure A16 - typical wood window with aluminum storm window



figure A17 - interior wood frame storefront

storefront window at the north wall of the southwest bay. It appears to be in good condition (figure A17).

Interior Swinging Doors and Hardware

Typical interior doors are residential grade flush, hollow core, wood doors. The hardware is not accessible. The condition of interior doors varies. The doors and frames in the basement are in poor condition or missing. These doors should be removed. New, commercial grade, hollow metal doors should be installed at equipment rooms as required for the new use.

At the main level, some doors and frames are missing, some are damaged. Most are in fair to good condition, but showing signs of wear. Some main level doors may be able to be retained, however it is likely that they will have to be replaced to accommodate accessible hardware. Replacement doors should be commercial grade flush wood or hollow metal as appropriate for new uses.

Interior Sliding Doors and Hardware

There are residential grade, flush, hollow core, wood sliding doors at closets on the main floor. The doors are in good condition. The hardware does not meet accessibility requirements.

Interior Cellar Door

The cellar-type door that access the basement does not meet current code requirements. This door will need to be removed and replaced by an upright door if the basement will be occupied.

09 - INTERIOR FINISHES

Plaster and Gypsum Wallboard Finishes and Partitions

Plaster finishes remaining in the basement are on exterior brick masonry walls. The finishes are failing and should be removed to allow for repointing of the masonry.



figure A18 - flush wood sliding doors



figure A19 - cellar door

Main level exterior walls are assumed to be plaster (as opposed to gypsum board). Interior walls may be a combination of plaster and gypsum wallboard, depending on when they were constructed. Most of the material is in good condition showing normal wear and tear. There are

some small areas of water damage. Some interior partitions appear to be wood or metal framed. Historic plaster partitions are likely either wood framed, brick masonry or clay tile construction.

Plaster and drywall finishes should

be patched/repaired and painted in conjunction with any new work

Ceiling Finishes - Plaster and Gypsum Board

Ceilings are assumed to be plaster throughout the north end of the building. In several areas there is acoustical material installed below the plaster. Insulation has been installed between the acoustical material and plaster ceiling in some areas. Where the plaster ceiling is visible, areas of water damage were observed, however the plaster was still intact.

Ceiling Finishes - Acoustical Ceiling Material

Acoustical ceilings have been installed below the plaster ceiling in several rooms in the north half of the building (figure A21). There are also acoustical ceilings in the southwest bay. Most of the acoustical ceiling material has exceeded its lifespan. Tiles exhibit discoloration and sagging throughout. Tiles are also damaged or missing in several areas.

Ceiling Finishes - Wood

There is historic wood bead board ceiling in the southeast bay (figure A20). A small area of the same wood bead board is visible above the acoustical ceiling material in the southwest bay. The bead board is finished with paint. Where the bead board is visible, it appears to be in fair to good condition. There is some buckling/displacement of boards.

Ceiling Finishes - Recommendations

It is recommended that the acoustical material panels, suspension grid and insulation be removed throughout the facility so that conditions above can be inspected and addressed. Depending on future uses, plaster should be repaired and painted or new acoustical ceiling systems installed. Historic wood bead board in the southeast bay should have maintenance performed and be painted. If the historic wood bead board in the southwest bay is in



figure A20 - historic bead board ceiling and interior painted brick



figure A21 - plaster finish above acoustical ceiling

good condition, it is recommended to perform maintenance to this finish and leave it exposed.

Flooring and Wall Base

Floor finishes in the building consist of the following:

- Basement: exposed concrete,
- Kitchen and break room, north end of southeast bay (over wood flooring), bathrooms: vinyl tile,
- Closets: exposed concrete with and without flooring glue exposed,
- Southeast bay (including closets):

historic wood floor,

- Southwest bay: historic wood floor likely exists below broadloom carpet,
- Elsewhere: broadloom carpet.

It is not known if there is historic wood or other types of flooring concealed by the newer vinyl tile and broadloom carpet finishes in the north part of the building. This should be assessed upon removal of contemporary finishes. Bringing historic finishes back into service can add value to the building if those historic finishes are of a higher quality than the contemporary finish that would be installed

over them.

Carpet and Vinyl Flooring

Carpet and vinyl is in fair to poor condition throughout the facility and is due to be replaced (figure A23).

Historic Wood Flooring

Existing historic wood flooring visible in the southeast bay appears to be in sound condition (figure A22). The current painted finish is at the end of its lifespan and needs maintenance. The condition of historic wood flooring (if it exists) elsewhere in the facility is not known.

Concrete Flooring

Concrete in the basement should be cleaned and have maintenance performed.

Historic floor finishes should be repaired and left exposed where feasible and appropriate to the new use. New commercial grade finishes, such as vinyl tile, luxury vinyl tile, ceramic tile or carpet tile, should be installed elsewhere at the main level as appropriate for the new use. Finishing of the concrete basement floor should be evaluated based on the new use and the condition of the floor.

Wall Base

The condition and type of wall base varies throughout the facility. None of the wall base appears to be historic. Wall base should be removed and replaced in conjunction with floor finish replacement.

Interior Painting - Lead

Interior paint should be assumed to contain lead. Any removal of paint should employ lead-safe measures.

Interior Painting - Interior Partitions and Ceilings

Paint at interior partitions is in good condition in terms of adhesion, but it is showing wear. There are minimal areas of water staining.



figure A22 - historic wood flooring in southeast bay (garage)

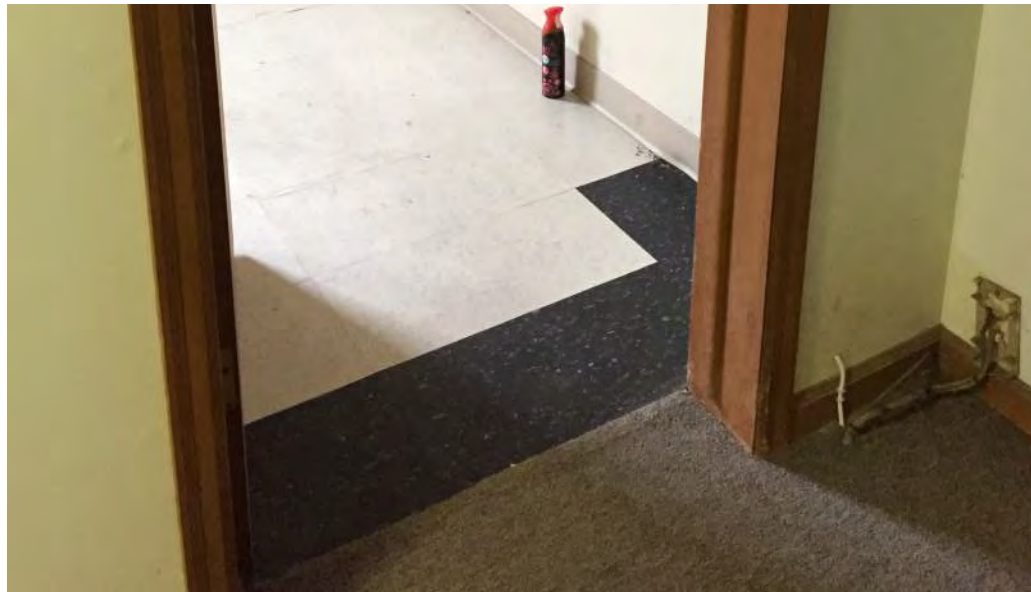


figure A23 - typical carpet and vinyl tile

Interior Painting - Exterior Walls

Where exterior walls are covered with plaster or gypsum board at the north end of the building, the paint is in good condition in terms of adhesion, but is showing wear. There are some areas of water staining or water damage.

Historic masonry finishes, mostly located at the south end of the building, have been painted. The paint adhesion is failing in many areas, likely due to moisture in the masonry and/or the wrong type of primer or paint being used (figure A20).

Interior Painting - Recommendations

Paint throughout the facility should be removed to sound adhesion. Where masonry is painted, the need for repointing should be evaluated prior to repainting. Surfaces should be primed and painted with a high-quality commercial paint system. Consider removing paint entirely from historic brick or glazed brick finishes at exterior walls.

Exterior Painting - Lead

Exterior paint should be assumed to contain lead. Any removal of paint should employ lead-safe measures.

Exterior paint exists at the following locations: wood windows and wood-framed masonry openings, surface-mounted gutter, downspout, conduit and other systems, exposed steel lintels, entry canopy, overhead door (figure A16 and A24).

Exterior Painting - Recommendations

All new exterior paint should be a high-quality commercial primer and paint system designed for use with the substrate condition. Substrates should be prepared according to requirements of the primer and paint system. Any wood materials remaining in place, including the bottom of the canopy, should be stripped to sound adhesion, and repainted. It is assumed that most surface-mounted equipment, including gutter and downspout, will be replaced. New surface mounted equipment should be factory finished or field painted. All steel lintels should be repainted. The factory finished metal at the overhead door appears to be in good condition. The top of the metal canopy appears to have an area of failing paint. The canopy should be painted.

10 - SPECIALTIES

Signs

Where code-required interior signs were observed (restrooms) they appeared to be in good condition. Additional code-required signs may be needed for systems equipment closets or janitors closets associated with the new use.

Toilet partitions

Existing toilet partitions in the mens restroom are partial-height concrete masonry unit (CMU) partitions with plaster to the ceiling. Partition doors are wood. The stall dimensions are not accessible. The partitions will likely need to be demolished and reconfigured to accommodate new fixture counts and/or accessibility requirements.



figure A24 - bottom of entrance canopy



figure A25 - typical interior code required sign

Shower stalls

The shower stall is of CMU construction. The new use will likely not require a shower. If the owner desires a shower a new prefabricated, accessible unit is recommended.

Toilet and shower accessories

Residential style dispensers should be replaced with commercial grade stainless steel fixtures of a type needed to accommodate operational requirements. Some paper suppliers will provide fixtures at no charge with a purchasing contract. Mirrors were in fair to good condition, but

may not be tall enough to meet accessibility requirements. With some maintenance, some mirrors could be reused at non-accessible fixtures.

Wardrobe Specialties

Some closets contain wood nailers installed to support shelving or utility hooks. The nailers appear to be in good condition. Much of the shelving and utility hooks are no longer present. Most closets did not include closet rods. Wardrobe Specialties/ closet interiors should be reconfigured as required to serve the new uses of the facility.

Awnings / Canopies

The existing entry canopy appears to be in good condition. It needs to be painted (figure A14 and A24).

11- EQUIPMENT

Residential Appliances

Current City of Omaha code does not permit the use of an oven or cooktop in a commercial facility without a commercial hood. To reduce project costs, it is recommended that the existing range be replaced with a microwave oven and/or toaster oven (figure A26). The kitchen can be configured so that events requiring hot food can be catered. Reference Mechanical narrative also.

12- FURNISHINGS

Casework and Countertops

The exterior only of the existing casework was evaluated. The wood casework in the kitchen and breakroom appeared to be in good condition (figure A27). If it is functionally serviceable, works with the new use, and meets accessibility requirements, it likely can be retained. If doors and drawers are having functionality issues, they can be replaced while the cases remain. Refreshed finishes and new hardware will update the appearance and increase the serviceable lifespan of the casework. The casework in the garage is showing wear and tear. At minimum a new countertop is recommended and the wood finishes should be refreshed or painted. If the basement will be an occupied area, the casework in this area will need to be removed and reconfigured to allow the basement stair to be enclosed.

Countertops and backsplashes in the kitchen and breakroom are laminate. The material is in good condition, however, in some areas the adhesion has failed. The laminate should be replaced with new laminate or, for better long-term performance, with solid surface material.



figure A26 - existing residential appliances



figure A27 - existing casework in kitchen

OTHER ITEMS

The condition of the following items was not evaluated as part of this assessment. If the items exist and are required for the future use, the owner should work with the architect and appropriate equipment or service providers to evaluate their condition against budget constraints and determine if items should be removed, retained and reused, or removed and replaced with new.

The items include: markerboards,

tackboards, shower curtains, AV equipment, communications equipment, furniture, residential appliances, window coverings, entrance mat systems, security system equipment.

There is a box in the north corridor with an OSB cover. The function of this box is not known. Since it appears to be non-compliant to accessibility requirements (trip hazard) it cannot remain in place in its current condition. It should be investigated

during construction and removed or reconfigured (figure A28).

The mailbox at the building entrance needs to be removed and rehung or, ideally, replaced with a new, more secure mail delivery receptacle (figure A14).

General

Design Criteria

APPLICABLE CODES AND STANDARDS

- 2006 International Building Code
- 2009 International Energy Conservation Code
- NFPA 101 – 2000: Life Safety Code
- ICC/ANSI A117.1-2003 ANS accessible and Usable Buildings and Facilities
- 2010 ADA Standards for Accessible Design



figure A28 - wall box in north corridor

Mechanical Assessment



Fire Station 14 | May 2018

Fire Protection

EXISTING CONDITIONS

The building currently has no fire suppression system installed.

RECOMMENDATIONS

Because the building is intended to be used for the public the local inspection authorities may require a fire suppression system. Please refer to the Architectural narrative for further information on potential requirements for fire suppression systems. Installation of sprinklers would require a separate connection to the water main in the street brought into the building with a double check backflow preventer installed. Because the building will be heated one wet-type sprinkler zone can be installed, with the exception of the attic space. If the attic space has wood construction, code may require it to be protected. If so, a dry-type zone may need to be installed to protect from freezing.

Plumbing

STORM DRAINAGE

The building currently sheds all the roof drainage to a gutter and

downspout at the back of the building. There is no internal roof drain piping. The gutter and downspout are beyond repair and will require replacement.

SANITARY DRAINAGE

Existing Conditions

The building's sanitary piping is cast iron. Visible vent piping appeared to be galvanized. Piping is in working order. The piping serves two restrooms and the kitchen on main level, as well as, floor drains throughout the building. The shower is currently not in use.

The kitchen is used for cooking, but there are no dishwashers or three compartment sinks installed for cleaning.

Recommendations

Pipe sizes should be evaluated against current code and up-sized as required. The system should be evaluated for any leaks or aging and replaced as required.

Fixture types and quantities and associated sanitary should be as required for the new use and verified

MECHANICAL ENGINEER

Nick Decker, PE

SITE VISIT DATE

Tuesday, March 20, 2018

with the local code authority. If food will be prepared in the kitchen, beyond warming, a three compartment dishwashing sink will be required along with a dedicated hand-washing sink. If dishwashing will generate grease waste, there may be a need for a grease interceptor to be installed.

DOMESTIC WATER

Existing Conditions

The building's domestic water appears to be in working order. Cold water enters the building in the basement as shown in Figure M3. Cold water serves water closets, lavatories, kitchen sink, hose bibbs, shower, and the water heater.

Hot water is supplied to lavatories, kitchen sink, and shower from a 40 gallon natural gas water heater. Piping and water heater appear to be in working order.

Evaluation of the water heater is recommended to determine if the size is adequate for the desired use of the building. A hot water recirculation system is not installed and based on the distance hot water has to travel may not be required.

Existing visible insulation was not in good condition and some piping was not insulated.

The vent piping from the water heater appeared to be slightly disconnected.



figure M1 - sanitary and vent piping in basement

Recommendations

All domestic water piping sizing and quality should be evaluated per the new use and replaced as required. All piping will require insulation to prevent cold water pipe from condensing and hot water pipe from losing energy. Vent piping should be further evaluated and secured to its termination at the roof.

PLUMBING FIXTURES

Plumbing fixtures were average in condition and appeared to be in working order. Faucets, shower, and inner working parts of the tank type water closets should be replaced as required if not in proper working condition or if not compliant to accessibility requirements. See the Architectural narrative for additional information on plumbing fixture requirements. See "Sanitary Drainage" above for discussion regarding kitchen fixtures.

NATURAL GAS PIPING

Natural gas serves the building's three heating systems and the water heater. Piping enters the building at the southeast corner. Piping within the building appeared to be in working order. Based on desired future use of the building the incoming natural gas load will require evaluating along with pipe sizes throughout the building.

HVAC

(Heating, Ventilation, and Air-Conditioning)

The building is served by three separate HVAC systems. The systems respectively serve the garage (southeast bay), the back North portion of the building, and the southwest bay of the building. There is currently no ventilation air brought into the spaces. This will need to be added to meet the current code requirements.



figure M2 - women's restroom plumbing fixtures



figure M3 - domestic cold water entrance

SOUTHWEST SYSTEM

The system serving the Southwest portion of the building appeared to be in working order. This includes the ductwork, thermostat and equipment. The system is currently serving the North area of the building, although it is not sized to do so. The system is a split system with a natural gas furnace and DX condensing unit. The furnace is located in the basement and the condensing unit is located on the roof. The PVC natural gas intake and vent pipes are routed through the basement wall and up to grade

terminating approximately three feet above grade on the west side of the building. The room in which the furnace is located has a partial dirt floor. It is recommended that a poured concrete floor be installed throughout along with floor drains to remove condensate. The supply ductwork is not insulated and because it is located within the humid basement insulation is recommended to avoid condensation. Ductwork sizes will require evaluation based on airflow needed for future intended use. Damaged registers and grilles should

be replaced as required.

NORTH SYSTEM

The system serving the North portion of the building is not in working order. This is causing the other unit (southwest) to work harder to help ensure piping within this area does not freeze. The North system is a split system with a natural gas furnace and DX condensing unit. The furnace is located in the back of the garage and the condensing unit is located on the roof. The natural gas vent pipe is routed to the roof and terminates above the roof line. This unit will require replacement. The majority of the ductwork is located above the ceiling. If the envelope insulation is at the ceiling level the ductwork, supply and return will require insulation to avoid condensation and energy loss. Ductwork sizes will require evaluation based on airflow needed for future intended use. Damaged registers and grilles should be replaced as required.

GARAGE (SOUTHEAST) SYSTEM

The heating system serving the garage is in working order. The unit is located in the Southeast corner of the garage. The natural gas vent pipe is routed to the roof and terminates above the roof line. The system is a natural gas direct fired unit, which means that the burner is fired directly into the process air stream to heat it. This will cause the odors from natural gas to be prevalent in the space. Replacing this system with an indirect fired unit to remove the odor of natural gas within the space is recommended. If the new use requires the garage area to be cooled, a cooling system will need to be provided.

BASEMENT

Based on the intended future use of the building it is recommended to add an additional unit for the basement which is only partially conditioned, causing it to be extremely humid and stagnate. Adding this system will help increase the life of the equipment,



figure M4 - existing water heater



figure M5 - HVAC system serving southwest portion of building

and piping, and ductwork within this space by greatly reducing the humidity level.

replacement to accommodate this change.

Exhaust Systems

The building utilizes two small residential style ceiling mounted exhaust fans which appear to exhaust into the space above the ceiling. Rerouting the ductwork to terminate at the sidewall of the exterior is recommended. The fan may require

The kitchen is used and is intended to continue to be used to cook food, including the use of the stove top. Because of the use of the stove top the local code authorities will require the installation of a commercial kitchen hood to remove odor and heat and grease. The hood will require an integral fire suppression system

because of the potential for grease laden vapors to be entrained into the hood. Hoods typically exhaust at high rates and this will also require the need for make-up air unit. The make-up air unit will offset all the exhaust by bringing in 100% outdoor air. The unit will only require heating to be available and the existing natural gas can be utilized to heat the air. The unit can be located on the roof directly above the kitchen to keep ductwork to a minimum. See the Architectural narrative for alternate food service options.



figure M6 - HVAC system serving North portion of building



figure M7 - heating system serving garage area

Electrical Assessment



Fire Station 14 | May 2018

Normal Power

Distribution

EXISTING CONDITIONS

The building is currently served from an OPPD utility pole-mounted transformer on the north side of the building, which feeds overhead and down the exterior of the north façade to a meter and 240V, single phase, 100A fused disconnect (see Figure E1). This disconnect feeds through the masonry wall and into the main panel for the building. The disconnect is in poor condition, with numerous signs of rust, and is not weather-tight.

The main panel for the building is mounted flush in the north exterior

wall of the building and is a 240V, 100A panel with a 100/2 MCB. The panel currently has no cover and all wiring is exposed (see Figure E2). It is also showing signs of rust both on the enclosure and at terminal locations. The wiring condition is questionable and some wiring is over-stripped. It also appears that wiring is double-upped on some breaker terminals where it is unclear if the breaker is rated for it or not. There are no signs of an equipment ground bus or equipment grounding conductors.

ELECTRICAL ENGINEER
Andrew Wilson, PE, LEED AP BD+C

SITE VISIT DATE
Tuesday, March 20, 2018

Since the vast majority of the building's wiring is concealed behind walls and ceilings, it was difficult to assess the condition of the wiring and whether the current condition is acceptable or warrants replacement.

RECOMMENDATIONS

Given these findings, it is recommended that the existing service disconnect and panel be demolished and that a new service be provided for the building. This would include a new pad-mounted utility transformer and new service entrance-rated panelboard. Preliminary estimates show that the utility transformer would need to be a 75 kVA with a 208/120V, 3 phase, 4 wire secondary. The panelboard would be 208/120V, 3 phase, 4 wire, 400A, with a 250/3 MCB. It is recommended that the panel be surface-mounted in lieu of the current flush mounting, and be mounted in a more secure location away from high traffic areas. The panel shall also be provided with appropriate arc flash labeling.

For the building system wiring, it is recommended that further inspection/testing be done on all of the installed devices such as lights and receptacles to determine if they are properly grounded or not, as well as if the proper gauge wire is being utilized. Most of the receptacles and switches are in usable condition; however, some are missing face plates and need replacements.

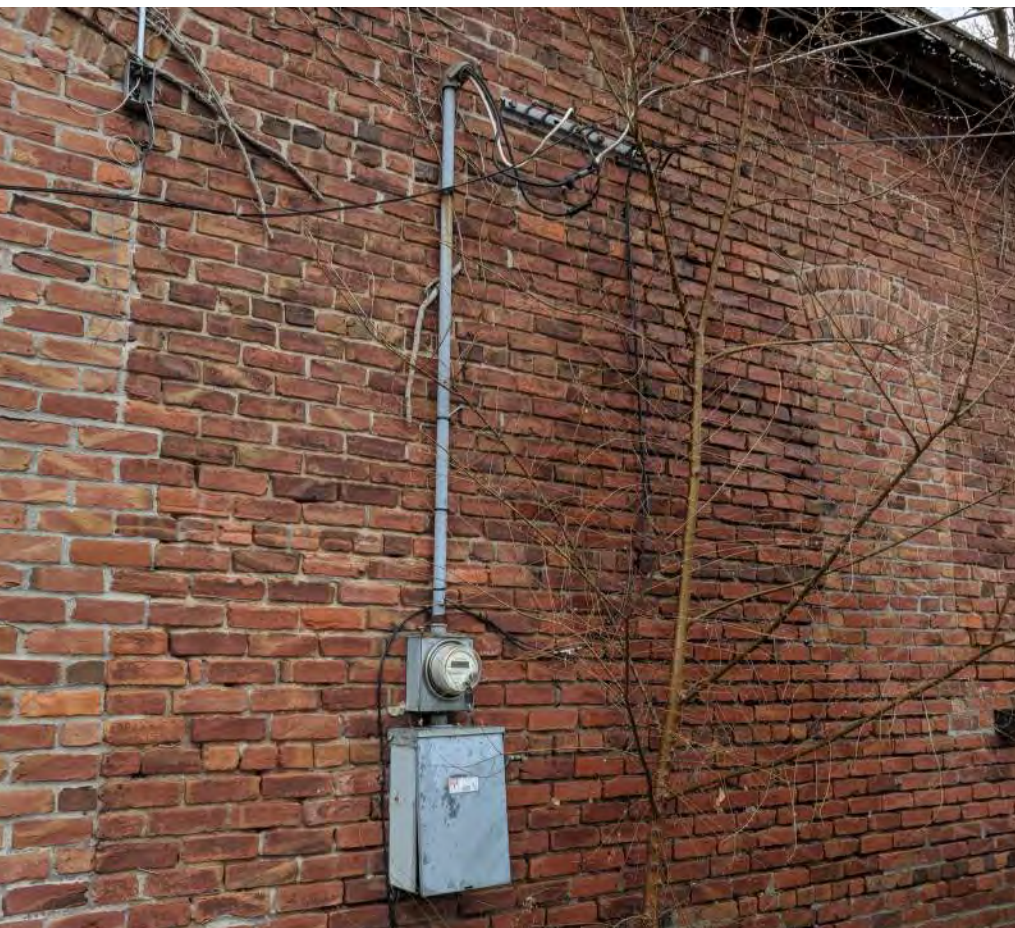


figure E1 - exterior service disconnect

Emergency Power

Distribution

EXISTING CONDITIONS

There is currently no means for emergency standby power in the building. The existing exit signs have internal batteries and there is no sign of code-compliant emergency egress lighting.

RECOMMENDATIONS

An emergency/standby generator would not be required for the intended future use of the building; however, new code-compliant exit signs and egress lighting will be required for the entire building. Both the exit signs and the egress lighting could be internally battery powered units.

Lighting

EXISTING CONDITIONS

The existing lighting consists primarily of 2'x4' lay-in lensed troffers and surface-mounted lensed wraparound luminaires. Existing lamps being utilized are T12's. The existing garage has a single suspended HID luminaire along with some wall-mounted incandescent bulbs. Existing lighting has not been maintained and many luminaires are in poor condition.

The only existing lighting controls are standard toggle switches at room entries. No occupancy sensors or any other automatic control devices are currently installed in the building.

There are a few existing exterior wall-mounted lights located around the perimeter of the building. It is unknown if these lights are currently operating or not.

RECOMMENDATIONS

Due to the fact that the Department of Energy (DOE) has banned T12 lamps and they are no longer being produced, combined with the fact that they do not meet current energy codes, it is recommended to replace



figure E2 - main electrical panel

the existing lighting and upgrade to new LED luminaires. This will help to meet current energy codes, as well as provide a better quality of light for the building and reduce electricity consumption.

To meet current energy codes, more advanced lighting controls will need to be installed in place of the existing toggle switches. Some of the highlights of the IECC 2009 energy code requirements are as follows:

- Automatic Lighting Shutoff of some type in all spaces (except in areas where automatic shutoff might endanger occupants).
- Every space must have at least one

control device to switch the lighting on/off.

- Each area that is required to have a manual control device shall also allow occupants to reduce lighting load by at least 50%.
- Daylight zones shall be designed such that lights in the daylight zone are controlled independently of general area lighting (except where the zone consists of two or fewer luminaires).

It is recommended that lighting controls utilizing occupancy sensors be installed throughout the facility at a minimum, along with dimming control capability in each occupied room.

If the existing exterior building mounted lights do not currently work, it is recommended that they be replaced with new lights.

Fire Alarm System

EXISTING CONDITIONS

There is currently no fire alarm system in the building. There are a few residential type smoke detectors on the main level, but no other fire alarm system.

RECOMMENDATIONS

It is understood that there is a desire to utilize the basement level for activities in the future. If the occupancy of the basement level would be subject to 100 or more occupants, a fire alarm system would need to be provided for the building per code. Otherwise, a fire alarm system is not code required, but is recommended for safety.

Telecommunications

Infrastructure

EXISTING CONDITIONS

There is currently no working phone or internet in the building. There is an old voice wall field in the basement that is in poor condition and needs to be replaced, as well as some coiled cable in the corner of the break room that is not being used and should be removed.

There is an existing coax cable service entrance in the basement that goes through a splitter and has three lines that route to various rooms on the main level of the building. The cable is in acceptable condition and could be reused as needed in a future renovation. It is unknown whether the cable service is currently active.

RECOMMENDATIONS

It is understood that there is a desire to have phone, internet, and Wi-Fi in the renovated building, for both staff

and public use. There is currently no reusable infrastructure to accomplish this, so it is recommended that a new service, equipment, and infrastructure be added.

While the coax cable is in acceptable condition, some of it is routed on the exterior of the building and then penetrates into the inside of the building through window sills. This is not recommended. Ideally all routing should occur inside of the building.

Security Systems

EXISTING CONDITIONS

There is an existing security control panel on the north wall of the garage space. The panel is not currently working.

RECOMMENDATIONS

While it is recommended to have some form of a security system, it is not required. Whether to reactivate and bring the existing system up to working conditions or continue to operate the building without one is at the sole discretion of the Owner.

General Design

Criteria

APPLICABLE CODES AND STANDARDS

- 2006 International Building Code
- 2009 International Energy Conservation Code
- 2012 International Fire Code
- NFPA 70 – 2014: National Electric Code
- NFPA 101 – 2000: Life Safety Code



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Omaha, NE 68114-4098
402.399.1000

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Appendix A



Fire Station 14 | May 2018

Omaha Association of Black Professional Firefighters (OABPFF) “Operation Station 14”



OMAHA ASSOCIATION OF BLACK PROFESSIONAL FIREFIGHTERS (OABPFF)

"OPERATION STATION 14"

July 12, 2017

Greetings,

The enclosed information within this proposal packet is with regard to the renovation and preservation of the office of the Omaha Association of Black Professional Firefighters (OABPFF), located at 2028 Lake St., in the Historic Heart of North Omaha. It is our belief that this facility, if renovated, could be utilized to facilitate a number of programs which would improve the relationship between the Omaha Fire Department, the Omaha Police Department and the African-American Community. Furthermore, we believe this facility could serve as a hub for the Recruitment and Pre-Entrance Exam Prep for minority candidates through educational, recreational and charitable activities.

History:

The OABPFF was founded in 1971 to assist African Americans from the north Omaha community to attain access to information for gainful employment on the Omaha Fire Department (OFD), as well as assisting current black firefighters with issues relating to working conditions and advancement on the job. The organization is also deeply concerned with conditions within the African American community with regards to Public Safety, and the education of the youth as well as various political issues. As role models for the community, they/we feel it is incumbent for us to stand at the forefront of the issues and address the disparities. As the times have changed since 1971, our mission has also evolved and expanded. The OABPFF has been actively involved with partnering with other community based organizations, i.e. the BPOA, Empowerment Network, Urban League Young Professionals, OPS and Metro Community College to enhance our efforts to serve the youth and families of our community.

How is the OABPFF & Station 14 helping the community..?

The OABPFF, through the use of **Station 14**, located at 2028 Lake St., is serving the community through a number of ways:

- Feeding the needy at the annual Salvation Army Thanksgiving Luncheon, 24th & Pratt location.
- Christmas food and toy distribution to needy families at our building (With the **BPOA**).
- Annual MLK Wreath Laying and Day of Service Event at the MLK Memorial Monument on 24th & Lake St. (In attendance: Mayor Stothert, FC Daniel Olsen, City Council President Ben Gray, and others).
- Work with Howard Kennedy and Wakonda Elementary Schools, serving as greeters and classroom readers (With the **Empowerment Network and Metro Comm. College**).
- Assisted potential OFD applicants with study material, test preparation and mock oral interview sessions at our building.
- Assisted the Fire Dept./City and Red Cross with Smoke Detector Installations for residents of north Omaha.
- Spring and summer neighborhood street clean-up along 16th St., Lake to Ames.
- Building tour of historic **Station 14**, memorabilia and pictures of A.A. firefighters dating back to 1895.
- Participated in the **100 Black Men** Career Fair at Monroe Middle School in April 2015.

- Stand Against Violence Event (S.A.V.E.) at Fontnelle Park, May 2015.
- Participated in and raised over \$500 for **Big Brothers/Big Sisters** through their “Bowling for Kids’ Sake” event, May 2015.
- Participated in the **BPOA & LPOA** “Student Celebration” event, Sept. 20th 2017 at Elmwood Park.

Station 14 Future Plans:

Our building is located in the historic heart of the North Omaha Redevelopment Zone on 20th & Lake St. The building, ***Station 14***, is very significant to us as African American firefighters because this was one of two stations that black firefighters were allowed to work prior to the desegregation of the fire department in 1957. If it were not for the brave men’s efforts through adversity, we might not be where we are today. This building is over 100 yrs. old and had remained vacant for a number of years prior to being purchased by the OABPFF from the city in 1999. At that time the building had fallen into grave dis-repair and we developed a partnership with the Home Depot to address and correct the immediate needs of the building (new doors, paint, flooring, fixtures, etc..) to make it habitable and useable for the public. Our plan is to continue moving forward and to invite the public and young people of all back grounds to the building in an effort to increase the awareness of the Fire Service as a viable career option and to also provide First Aid/CPR and fire safety classes to the public.

As professional firefighters we know and value the importance of education and realize that ***education is a key element*** in anyone’s success, regardless of the career field. We would like to be able to provide educational opportunities through our facility starting with the fire applicant, to enhancing the promotional opportunities of fire department members and ultimately have our location serve as a ***“Satellite” classroom for Metro Community College’s Firefighter- I or EMT Program.*** This satellite program being located right in the heart of North Omaha may provide the stimulus for local residents who may not otherwise have the means to travel to the Irvington or South Omaha campuses for classes.

With the renovation of this facility could also create the start of ***after school and summer leadership development programs with an emphasis On EMS or Fire Service*** related curriculum and grow into a Jr. Firefighter Academy in which a high schooler could participate in classes from MCC and receive college credits upon graduation from High School.

I have also included a ***Cost Estimate from Alley-Poyner Macchietto Architecture*** as to what a project of this magnitude would include and cost. I can be reached at 402.960.3092 or ***pasystem1@msn.com*** for any questions.

Thank you,

Pete S. Andrews

President, OABPFF





MLK Wreath Lying Ceremony, January 2015



Neighborhood Cleanup, spring 2015





Christmas Toy Giveaway W/Black Police Officers Association and "Zip-A-Clause"



Serving Thanksgiving Dinner @ Pratt St. Salvation Army



Our kids help out too...



Men Matter Reading Program @ Wakonda Elementary



Fire Safety with Kids @ Wakonda Elementary



Station 14 Lobby during Fish Fry Fundraiser



Station 14



Rear of Station 14 Repairs Needed



Parade Time with Special Guests!!



Story Time @ Wakonda Kids...!!



Working together to keep the Community Safe

Appendix B



Fire Station 14 | May 2018

Resources

HISTORIC ASSOCIATIONS/ SOCIETIES

These organizations may be able to identify grant or other funding sources and/or provide technical resources.

National Trust for Historic Preservation

www.savingplaces.org

National Park Service Preservation Briefs

<https://www.nps.gov/tps/how-to-preserve/briefs.htm>

Restoration Exchange Omaha

<http://www.restorationexchange.org/>

The following may have articles, photos or other historical documentation related to the building or the Omaha Fire Department:

Nebraska State Historic Preservation Office

<https://history.nebraska.gov/historic-preservation>

Douglas County Historical Society

<http://www.douglascohistory.org/>

Omaha Public Library, local history

https://omahalibrary.org/browse_program/local-history/

402-444-4800

NATIONAL TRUST PRESERVATION FUNDS

Contact them to get information on the best grant opportunities for planning, masonry repair work and other project requirements.

Grants office Contact:

202-558-6277

Grants@savingplaces.org

General Grants:

www.savingplaces.org/grants

National Trust Grants:

<http://forum.savingplaces.org/build/funding/grant-seekers>

National Trust Special Grants

(Including African American Cultural Heritage Action Fund):

<http://forum.savingplaces.org/build/funding/grant-seekers/specialprograms>

Organizational membership requirements may apply for some grants. Some grants are location-specific. Most grants are offered once per calendar year.

CAPITAL CAMPAIGN MANAGEMENT AND CONSULTING SERVICES

Steier Group

<https://www.steiergroup.com/capital-campaign-management/>

402-391-3244

Lukas Partners

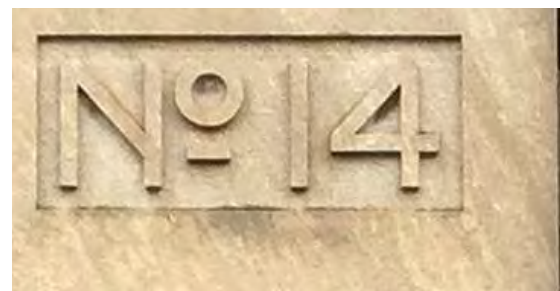
<http://www.lukaspartners.com/>

402-895-2552

Vic Gutman and Associates

<https://vgagroup.com/nonprofit-services/>

402-345-5401



HISTORIC MASONRY REPAIR AND RESTORATION SERVICES

It is important to work with a mason who understands the characteristics of historic masonry and mortar. Use of incompatible mortar types can cause extensive damage to the masonry. These are local contractors who are known to have experience with historic masonry:

Kehm Contractors, Inc.

<http://kehmcontractors.com/>

402-341-6177

McGill Restoration

<http://mcgillrestoration.com/>

402-558-7989



October 7, 2022

Attn: Senator Mike McDonnell – District 5
Room 10th Floor
PO Box 94604
Lincoln NE 68509

Dear Senator McDonnell,

Metropolitan Community College (MCC) is in support of the renovation and use of “Operation Station 14” located at 22nd and Lake Street. MCC is willing to provide educational training and programming associated with the site. MCC’s fire science, EMT, and other community programming would be a great fit. The goal would be to explore and discover the various educational pathways needed for employment. MCC would be proud to be a partner and looks forward to discussing how we may fit into the project.

Sincerely,

A handwritten signature in blue ink that reads "Randy Schmailzl".

Randy Schmailzl
College President

Station 14 Budget

Item	Cost	Percentage of Total Cost
General Requirements	\$116,256	3.98%
Site Assessment	\$78,283	2.68%
Second Floor Materials	\$623,926	21.36%
Code Compliance	\$546,227	18.70%
Interior Materials	\$19,279	0.66%
Energy Efficiency	\$354,609	12.14%
Doors and Windows	\$178,765	6.12%
Finishes	\$68,644	2.35%
Fire Suppression	\$57,836	1.98%
Masonry	\$254,127	8.70%
HVAC	\$106,032	3.63%
Plumbing and Electric	\$370,675	12.69%
Contractor Fee	\$146,050	5%
Total	\$2,921,000	100%
Contingency 10%	\$292,100	110%
Total	\$3,213,100	



October 9, 2022

Attn: Senator Mike McDonnell – District 5 Room 10th Floor
PO Box 94604
Lincoln NE 68509
Dear Senator McDonnell,

Re: “Operation Station 14”

It is my pleasure to write a letter of support for The Black Fire Fighters in Omaha in support of their application for funding to attract and support young individuals who desire pursuing a career in firefighting. Due to our close and extensive work with the SIM-NE (Simulation in Motion - Nebraska) mobile units, we have become only too aware of the shortage of trained individuals needed to pursue careers in emergency services, especially front – line medical services. The COVID-19 pandemic showed us the stark need for an expansion of emergency response services, especially for initial and on-going training for first responders. In partnership with SIM-NE, iEXCEL (Interprofessional, Experiential Center for Enduring Learning) at UNMC, responded to the desperate need for “just-in-time” training by providing specialized (on-site, as well as remote), training to these responders across the State of Nebraska – many of whom were volunteers.

iEXCEL in the Davis Global Center at UNMC is in the fortunate position of having the availability of, and experience with, “cutting – edge” educational technologies, such as experiential and interactive tools, including 3D and Virtual Reality capabilities. We also have a strong and close working partnership with the SIM-NE staff and the mobile units. Realizing this collective experience, we would be glad to partner with Metropolitan Community College to focus on the needs of the Black Firefighters of Omaha as articulated in their application. Our support would stem from the perspective of required skills training for first responders. Taught by experienced medical professionals, this would include initial training as well as continuous refreshment of skills with a focus on emergency response and transport.

Sincerely Yours,

A handwritten signature in black ink that reads "Pamela J. Boyers".

Pamela J. Boyers, Ph.D.

Associate Vice Chancellor for Clinical Simulation, iEXCEL
Academic Affairs

University of Nebraska Medical Center

986160 Nebraska Medical Center | Omaha, NE 68198-6160
402-559-2444 | fax 402-559-2272

cc. Bob Bartee (Govt. Relations UNMC); Doug Dekker (SIM-NE), Benjamin Stobbe (iEXCEL)

Grant Application

Row 209

Organization Name (if applicable)	ForeSight LLC
Physical Address	3217 Ohio St Omaha, NE 68111
Mailing Address	3217 Ohio St Omaha, NE 68111
Website	
Social Media Accounts	
Name	James Overton
Title	President
Email Address	jroverton3@gmail.com
Phone	+1 (402) 612-7910
Team	No
Organizational Chart	N/A
Other Completed Projects and/or Accomplishments	We have been in business for over 50 years we are fourth generation business owners
Proposal Title	ForeSight Property Development
Total Budget (\$)	\$5,000,000.00
LB1024 Grant Funding Request (\$)	\$5,000,000.00
Proposal Type	Capital project
Brief Proposal Summary	We currently own real estate at 3701 N 30th we would like to acquire the surrounding parcels and develop a rent controlled multi use business and residential facility for 55 and up residents and or MCC Students
Timeline	This project can and will be completed within the next 24 months
Percentage completed by July 2025	100%

Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Other Infrastructure (i.e., develop or improve broadband, business districts, roadways, sewer, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	We would make a huge impact in North Omahas Housing shortage
Visioning Workshop Findings Alignment	Lack of housing and business space for fledgling businesses
Priorities Alignment	We would like to create housing and business space
Economic Impact	Unlimited amount of Jobs based upon the new business development opportunities
	100
	50
	\$15 - \$25per hour
	All of our construction needs can and will be filled by contractors from North and South Omaha
Community Benefit	N 30th St is a busy corridor that does not have many businesses and or housing . We are looking to expand upon that
	It will be a facility that everyone can see and be proud of
Best Practices/Innovation	This will allow the state and local government to see what can be accomplished when funding is placed with the right originations
Outcome Measurement	We will supply On the Job training and develop a program to spur new and young business owners
	By the number of regularly employed staff of the new businesses and our the occupied housing
	Yes we have been supplying single family homes for 20 plus

years in North Omaha

Partnerships

Yes

OHA for tenants and Douglas County Housing

None

Displacement

No

Displacement explanation

Physical Location

3701 N 30th St Omaha, NE 68111

Qualified Census Tract

Within one or more QCTs

Additional Location Documents

N/A

Property Zoning

Yes

Is the project connected to utilities?

Yes

Yes

Design, Estimating, and Bidding

No

No

Estimate

General Contractor

No

Request Rationale

These cost estimates were from an architect

Grant Funds Usage

These funds will pay for construction and labor cost

Proposal Financial Sustainability

Yes

The rents of the facility will keep the operation going

Funding Sources

None, all prior funds have been supplied by us

N/A

NO

Scalability

Yes

It can be implemented over time

**Financial
Commitment**

We are Totally committed to the growth of North Omaha

**ARPA Compliance
Acknowledgment**



**ARPA Reporting and
Monitoring Process
Acknowledgme**



**LB1024 Funding
Sources
Acknowledgment**



Public Information



File Uploads

Grant Application

Row 210

Organization Name (if applicable)	Fremont Builders Supply
Physical Address	380 East 30th St. Fremont, Nebraska
Mailing Address	
Website	Fremontbuilderssupply.org
Social Media Accounts	https://www.facebook.com/FremontBuildersSupply
Name	Tony Burkhalter
Title	Partner
Email Address	kyle@fremontbuilderssupply.org
Phone	+1 (402) 210-3436
Team	Yes
	Kyle Williamson
Organizational Chart	Kyle Williamson is the owner of the company, partner is Tony Burkhalter. Office is managed by Jacob Schieffer, Deliveries are managed by route supervisor Jacon Schieffer, Yard manager Joel Cortez. Paint Distribution manager is Brandon Miller. Garage door installation team is overseen by Kyle Williamson. Tony Burkhalter is in charge of outside contractor sales.
Other Completed Projects and/or Accomplishments	Currently Kyle Williamson is a board member of national lumber association, active member of the contractor's association. With the partnership of our founders Fremont Builders Supply we establish a community-based retail business that provides material for builders and opportunities for young people who want to enter the trades.
Proposal Title	Struan's LBM North and Struan's LBM South
Total Budget (\$)	\$32,738,000.00
LB1024 Grant Funding Request (\$)	\$32,738,000.00
Proposal Type	I do not know
Brief Proposal Summary	Please see attachment

Timeline	The goal is to acquire the property by the end December. Demolition shall begin by March 15. Construction begins June 1 2023. Property projected opening at or around October 30 2023.
Percentage completed by July 2025	100%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Other Infrastructure (i.e., develop or improve broadband, business districts, roadways, sewer, etc.) Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	With the creation of this organization partnering in both North and South Omaha will create skilled jobs in multiple building trades. The goal in our proposal is to create wealth by supplying careers that will range from fifty thousand to eighty thousand a year starting. Plus, individuals will have the opportunity to learn how to invest in real-estate and have the opportunity to give back to the community by volunteering with non-profit organizations. We plan to invest in the community by creating multiple opportunities to further education and actively pursue a partnership with Metro Community College. The addition of Struan's in North and South Omaha broadens the opportunities for individuals to acquire skills and resources to create their own successful business in the future.
Visioning Workshop Findings Alignment	The proposal fills the gap between training and an actual career that sustains a family.
Priorities Alignment	Economic development of geographical area of north and south Omaha. Hiring of local residents and increasing their marketable skillset and creating sustainable generational wealth.
Economic Impact	In order to function in both North and South Omaha each location will need an average of twenty full-time employees averaging seventy thousand a year. Each location will need an additional ten part-time employees.

Drivers 30hr, Sales reps 25hr, yard laborer 25 hr, garage door installers 30hr, painters 30hr, skilled carpenters 45hr,

The immediate need of supplies to contractors and businesses. Ability to network with non-profit groups and developers to include minority contractors on projects.

Community Benefit Local home improvement supplier that has the capability to supply all jobs big or small. With the investment in the community this has the opportunity to keep money circulating in the community it is serving. Partnering with non-profit groups such as habitat for humanity we can build and grow our employees into successful business owners. This will allow for our partners to pass down and build up each family that surrounds us.

With the creation of jobs in the local community that has historically been underserved. This proposal overwhelmingly offers the community a partner that will invest and attempt to clean up the area by not only building homes but by building a skilled workforce.

Best Practices/Innovation The best way to build a community is with education. We plan to do just this by implementing a strong partnership with metro community college. We are firm believers in showing our customers that we are a family business and that we aim to please.

Outcome Measurement Our goal is to offer higher educational opportunities and also create a skilled workforce.

We hope to work with State Senators to tour in the future along with local community leaders.

yes, every opportunity to build a home in the local area will have the opportunity to grow with Struan's. Every contractor that builds will have the capability to have expert guidance .

Partnerships No

Displacement No

Displacement explanation

Physical Location Attachment explains

Qualified Census Tract Within one or more QCTs

Additional Location Documents

Property Zoning	Yes
Is the project connected to utilities?	
	Yes
	No
Design, Estimating, and Bidding	No
	No
	Sturan's LBM supply has the capability to estimate cost in construction.
General Contractor	No
Request Rationale	see attached
Grant Funds Usage	LB 1024 grant will be used to help build each location.
Proposal Financial Sustainability	Yes
	January 1 to December 31
Funding Sources	none
	none
	none
Scalability	No
Financial Commitment	Material and labor will initially be provided.
ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
ARPA Reporting and Monitoring Process Acknowledgme	<input checked="" type="checkbox"/>
LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
Public Information	<input checked="" type="checkbox"/>

File Uploads

Additional Location Documents (see application for list) Data table of uses (breakdown of how the requested funds will be used for your proposal) Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Plans and detailed descriptions, including pictures and a map of the site location/surrounding area

Struan's LBM North, Inc.

Proposal

Fremont Builders Supply is a lumber yard started in 1976, which has been a favored business in Fremont for many years. Our business has always been distinguishable from others due to our family orientation, community service and growing and promoting from within. We now seek to create a new lumber yard in North Omaha, operated separately but drawing on the years of experience and contacts.

This new lumber yard would have diverse ownership, draw on the local employee base, serving the local community. It essentially would be operated as subsidiary of Fremont Builders Supply.

A. Target property

We have initially targeted 2815 Taylor Street, Omaha. It is near the corner of 28th and Ames. One of the principals of this new business is a lifelong resident, born and raised in North Omaha. We identified this property due to the future of that area, the fact that the property is an eye sore and a hazard desperately in need of demolition. Studying the neighboring properties and discovering they have been purchased by major corporations (Caseys) but remain undeveloped we believe this property is also suppressing development of other properties.

We are targeting this property due to its location, it's anticipated acquisition cost, its access to major roads and highways, and the many side benefits. It is owned by TW Properties of Boyne City, MI. At this time there has been no response from the current owners.

B. Target Employees

This business would be located near the community college that has a truly outstanding construction trades program. We would seek to offer students part time jobs then hire them full time or give them contact with other employers through the work environment that will assist their careers. Employees from Fremont Builders Supply will share time at this location to help train / develop the company culture.

C. Target Customers

We have always had success targeting custom home builders. They seem to value quality materials , are knowledgeable about the products they sell and they appreciate the extra service we provide. We really do become partners in their projects.

We also have had success with DIY'ers who need guidance and advice, rent tools, "can you stop buy and help me measure/ figure how much I need."

Local homeowners/ business owners that are too busy to do it themselves, can you find someone that will do this for me has become our largest customer base right now.

D. Budget Estimate

These budget numbers are based on conversations with contractors and designers, and my experience with the cost of running this yard.

Site acquisition	\$775,000	
Site Demolition/clean up	\$1,238,000	
Design/engineering fees	\$465,000	
Site prep (plbg/electrical)	\$835,000	
Building rough in (framing)	\$1,780,000	
Interior build out (finish)	\$1,745,000	
Warehouse equipment	\$1,680,000	
Delivery equipment	\$3,200,000	
Consulting	\$880,000	
Legal fees	\$450,000	
Beginning inventory	\$1,780,000	
Unforeseeables	\$250,000	
Advertising / promotions	\$100,000	
Salary assistance	\$600,000	(to reach sustainability)
Owner/ representative fees	\$200,000	
Total request	\$15,978,000	

2837 Taylor St

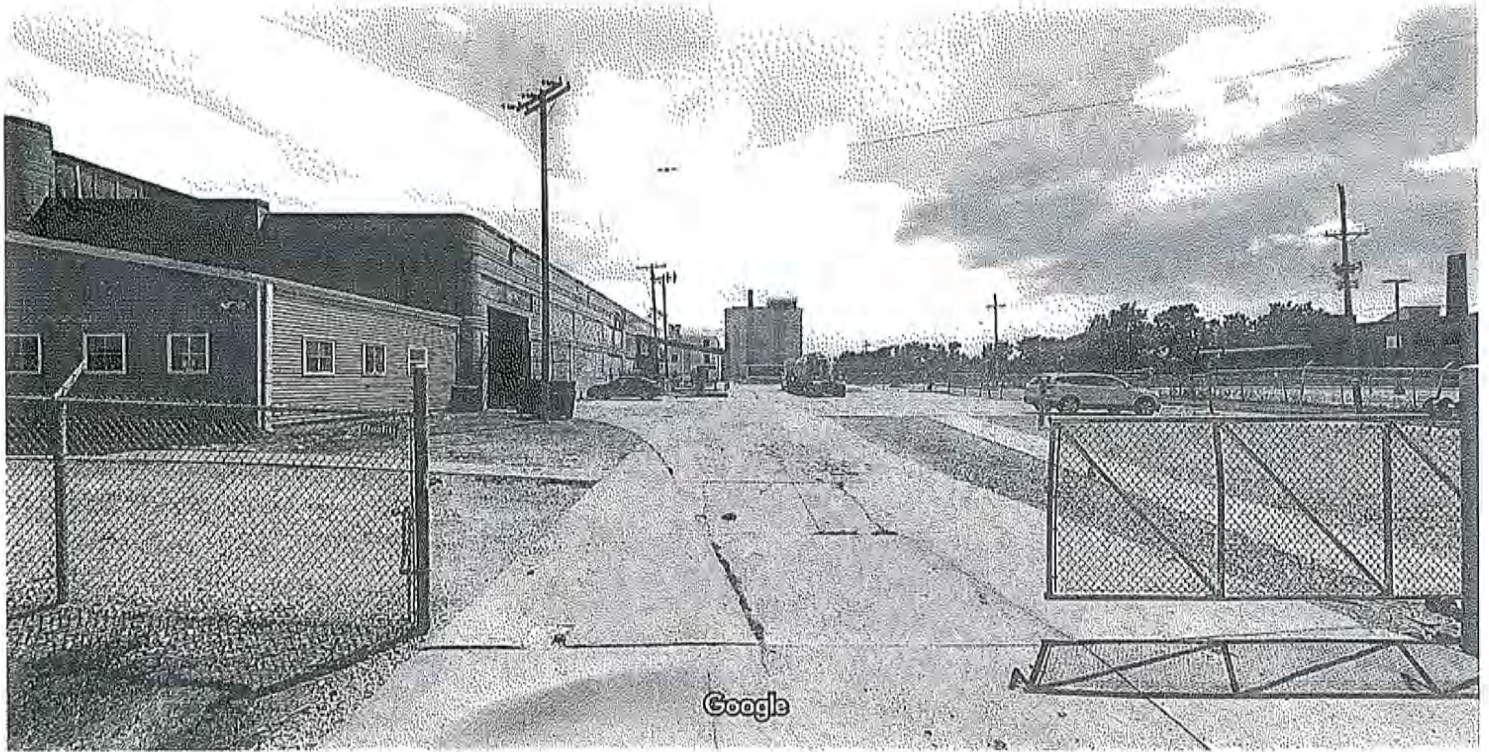


Image capture: Jul 2022 © 2022 Google

Omaha, Nebraska

Google

Street View - Jul 2022



Mission Statement

- ❖ Our Goal is to Provide Both superior customer experience and tremendous value for our customers. We don't just sell you building supplies, but we become a partner in your project!



Address:

380 E 20th St. Fremont, NE 68025

Email:

jacob@fremontbuilderssupply.org

Phone:

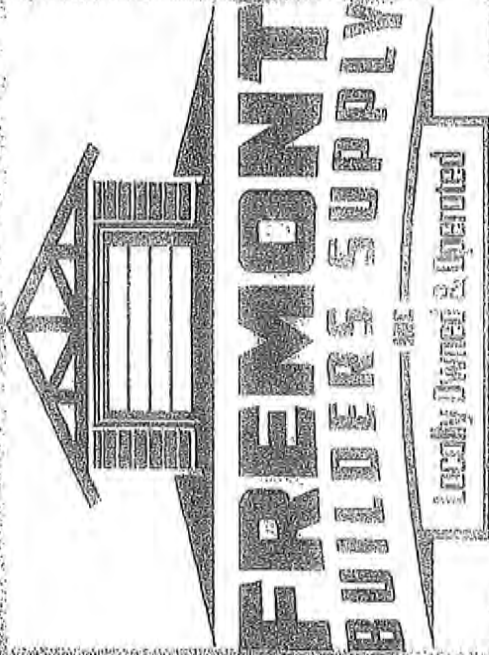
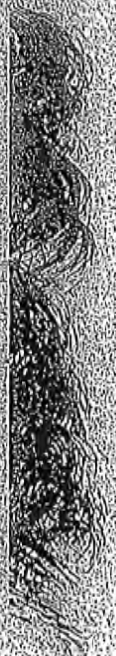
(402) 727-6882

Website:

www.fremontbuilderssupply.org

Facebook:

Fremont Builders Supply



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❖ Garage Door Sales

❖ Windows & Doors

❖ Multiple Siding Options

❖ FREE and Easy Delivery

Struan's LBM South, Inc.

Proposal

Fremont Builders Supply is a lumber yard started in 1976, which has been a favored business in Fremont for many years. Our business has always been distinguishable from others due to our family orientation, community service and growing and promoting from within. We now seek to create a new lumber yard in South Omaha, operated separately but drawing on the years of experience and contacts.

This new lumber yard would have diverse ownership, draw on the local employee base, serving the local community. It essentially would be operated as subsidiary of Fremont Builders Supply.

A Target property

We have initially targeted 2902 K Street, Omaha. It is near the warehouse area of the L Street viaduct with ample rail service.

We are targeting this property due to its location, it's anticipated acquisition cost, its access to major roads and highways, rail service and the many side benefits. It is owned by Gunderson Rail Service of Lake Oswego, OR. At this time there has been no response from the current owners. There are other similar properties in the area, we have targeted this one in our desire to have a yard that will primarily focus on commodities, therefore rail service becomes valuable.

A. Target Employees

This business would be slightly different from the North Omaha location. The focus will be much more on bulk sales and distribution, so the employees will be CDL drivers and mechanics. Employees from Fremont Builders Supply will share time at this location to help train / develop the company culture.

We would anticipate beginning with 15 fulltime employees and seasonally changing from 10 to 15 part time employees.

B. Target Customers

Our main customers will be other lumber yards and really large project managers that will buy in bulk for their large projects.

We have always had success targeting custom home builders. They seem to value quality materials , are knowledgeable about the products they sell and they appreciate the extra service we provide. We really do become partners in their projects. We would continue to target these customers no matter what kind of lumber yard I ever have – they are the secret to our success.

C. Budget Estimate

These budget numbers are based on conversations with contractors and designers, and my experience with the cost of running this yard.

Site acquisition	\$775,000	
Site prep/ earth moving	\$2,700,000	
Design/engineering fees	\$225,000	
Site prep (plbg/electrical)	\$835,000	
Building rough in (framing)	\$2,500,000	
Interior build out (finish)	\$1,945,000	
Warehouse equipment	\$1,680,000	
Delivery equipment	\$3,200,000	
Consulting	\$580,000	
Legal fees	\$150,000	
Beginning inventory	\$1,220,000	
Unforeseeables	\$250,000	
Advertising / promotions	\$100,000	
Salary assistance	\$400,000	(to reach sustainability)
Owner/ representative fees	\$200,000	
		<hr/>
Total request	\$16,760,000	

Mission Statement

- ❖ Our Goal is to Provide Both superior customer experience and tremendous value for our customers. We don't just sell you building supplies, but we become a partner in your project!



Address:

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Phone:

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Website:

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Facebook:

Fremont Builders Supply



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- ❖ Multiple Siding Options
- ❖ FREE and Easy Delivery

Douglas County, Nebraska Property Record - R0144800017	
Information is valid as of 2022-09-26	Print Report View Interactive GIS Map Treasurer's Tax Report Subdivision Sales Search
Great Feature → → →	

Taxpayer
GUNDERSON RAIL SERVICES LLC
ONE CENTERPOINTE DR #200 LAKE OSWEGO OR 97035-0000

Property Information	
<i>Key Number:</i>	4480 0017 01
<i>Account Type:</i>	Industrial
<i>Parcel Number:</i>	0144800017
<i>Parcel Address:</i>	2902 K ST UTIL OMAHA NE 68107-0000
<i>Abbreviated Legal Description:</i>	LANDS SEC-TWN-RGE 04-14-13 IRREG 8.849 AC PARCEL LOCATED SE 1/4 NW 1/4 & SW 1/4 NE 1/4 & NW 1/4 SE 1/4 AS DESC WD 1996-193 8.849 AC (PARCEL CONTAINS LEASED LAND #3000-1825-27)

Value Information			
	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$347,000	\$0	\$347,000
2021	\$347,000	\$0	\$347,000
2020	\$168,700	\$0	\$168,700
2019	\$168,700	\$0	\$168,700
2018	\$168,700	\$0	\$168,700
2017	\$168,700	\$0	\$168,700

Sales Information			
<i>Sales Date:</i>	1995-01-13		
<i>Deed Type:</i>	D	<i>Book:</i> 1996	<i>Page:</i> 194
<i>Price:</i>	\$115,640		
<i>Grantor:</i>			
<i>Grantee:</i>			
<i>Valid/Invalid:</i>	Valid		
<i>Exclusion Reason:</i>			

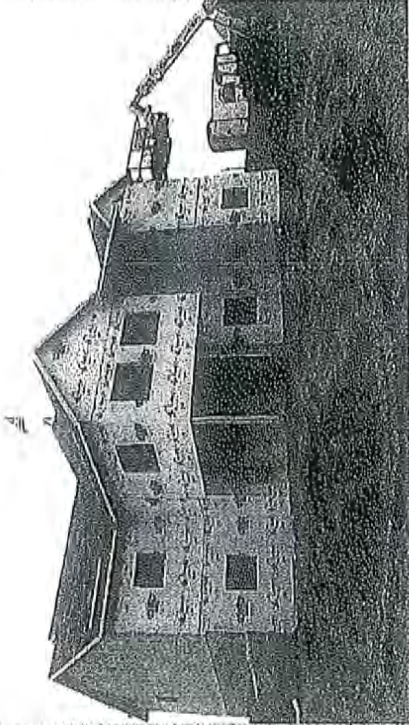
Show All Transactions

About Us:

Fremont Builder Supply is a family-owned lumberyard started in 1976. Located in Fremont, NE, our company has been providing unparalleled customer service for more than 40 years.

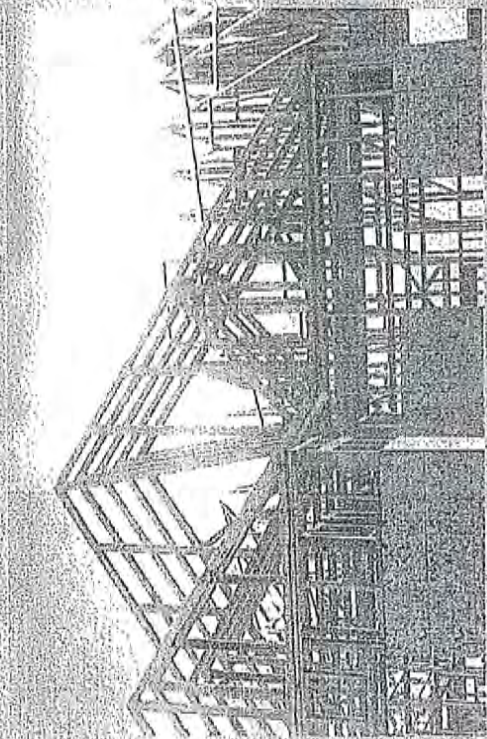
You can rely on us not only in supplying durable materials but also in supporting your projects, from conceptualization until construction. With our custom service focus, we work to provide quality outcomes that will satisfy your needs.

“Continuing Our 40 Years of Outstanding Customer Service!”



Products

- ❖ Exterior and Interior Doors
 - Thermo-Tru Exterior Doors
- ❖ Siding
 - Prefinished LP Smart Siding
 - James Hardie cement board, most primed
 - Variety of Vinyl Siding Options
- ❖ Windows
 - Andersen Windows authorized dealer
 - Gerkin Vinyl windows
 - Integrity windows
- ❖ Smart Vents
 - Authorized dealer for all Smart Vents
- ❖ Shingles
 - Tamko Titan & Heritage
 - IKO, Decra, Certainteed
- ❖ Garage Doors
 - Featuring Midland Garage Doors



Grant Application

Row 211

Organization Name (if applicable)	Trauma House of Healing
Physical Address	2711 North 24th Street (Future Address) Omaha, NE 68110
Mailing Address	1941 South 42nd Street Suite 229 Omaha, NE 68105
Website	None
Social Media Accounts	None
Name	Frank L Bailey
Title	Program Director
Email Address	frank@traumahouseofhealing.org
Phone	+1 (402) 216-1953
Team	Yes
	<p>Lavelle Wells: President of Board. His experience as a community activist for the Native American Community and the African American Community in North Omaha. He has experience in providing peer support to individuals that want to change their life. He is also a board member of Benson Theater. Shawn Ashton: Treasure of Board. He has experience in starting various businesses. He was involved with the Reader here in Omaha by writing stories and marketing. The last weekly entertainment paper he had started was Focus Omaha. Frank Bailey: Board Member and Program Director. Has 20 years of experience in providing therapy to at-risk populations. Mr. Bailey was the program director of the Siena/Francis House "Miracles" treatment program for 4-years (the largest substance abuse program in the state of Nebraska). Mr. Bailey is also the owner and clinical director of Bailey Counseling Services, which has seven employees. He has 6-years of experience providing trauma therapy to at-risk populations (homeless, violent offenders, sex traffic victims, at-risk youth, and children). He has applied scientific interventions to develop emotional regulation in dysregulated individuals. He is also a board member of Heartland Family Services. Julian Young Business Advisors: Consultant.</p>
Organizational Chart	None
Other Completed Projects and/or Accomplishments	Other Completed and/or Major Accomplishments: Frank Bailey has started a successful private practice called Bailey Counseling Services which has been in existence since 2010. Bailey Counseling Services currently has seven employees. Lavelle Wells started the nonprofit Big Elk Native American

Center where he facilitates Talking Circles for the Native American Community. The new organization we have developed is Trauma House of Healing. Is an organization that will provide trauma therapy/interventions to at-risk families. These families that are healed from the trauma will begin to create a safer North Omaha Community.

Proposal Title	Trauma House of Healing
Total Budget (\$)	\$473,000.00
LB1024 Grant Funding Request (\$)	\$473,000.00
Proposal Type	Service/program
Brief Proposal Summary	<p>Because of the lack of trauma programming in the North Omaha community our youth are becoming more at risk. Our program will provide innovative trauma therapy and innovations to develop resiliency and a better mindset in our youth and families. This program will create a safer community by providing needed trauma therapy to adolescent and their families. The features that are offered in our program are the following: Feature Benefit . Sound Therapy Emotional Balance in the person Peer Support Coaching through lived experience Trauma Therapy Healing from trauma Family education and therapy Reconnection of the family The funding request will be used to purchase (therapeutic equipment/office equipment), operating expenses, and purchase transportation. Our business will create seven jobs at the median income level on North 24th street. This is an innovative program that was created out of the experiences and applications of therapeutic interventions. This will be the only trauma program that exists in our North Omaha community.</p>
Timeline	<p>1. Morgan Stanley innovation grant application completed (May 2022). 2. Letter of intent signed with PJ Morgan real estate for 2711 North 24th Street (May 2022). 3. Meeting with Mary Ann Borgeson about Trauma House of Healing (June 2022). 4. Meeting with Julian Young Business Advisors weekly (September 2022) for the next year. 5. Standard Operating Procedure for Trauma House of Healing completed (September 2022). 6. Pilot program started (in September 2022). 7. Applied for office space at the Community Engagement Center on the UNO campus (September 2022). 8. Moving into 2711 North 24th Street (February 2023). 9. Program start in the new facility (April 2023). 10. Sustainable business (April 2024). 11. Replications of Trauma House of Healing in Macy, NE on the Omaha Indian Reservation (April 2026). This business will be fully completed before July 2025. The creation of our business will create four entry-level jobs (\$30,000 to \$35,000 a year) which are in the economic range of the middle class. A secretary at (\$25,000 to \$30,000 a year) in the economic range of the lower middle class. We will contract with two therapists that will not be employed by our business. There will be two jobs in the upper-middle-class range (\$50,000 a year). The total number of jobs that will be created will be nine.</p>
Percentage completed by July 2025	100%

Funding Goals Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha)

Community Needs Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment Our program will create a sustainable community and improve the quality of life through our services. Currently, there is not a trauma program in the North Omaha Community that provides trauma therapy or interventions for youth and families. The current solution is the involvement of the Juvenile Justice System. This is not a solution for a community or a family. The involvement of the Juvenile Justice System to solve the problem of trauma (childhood trauma, intergenerational/transgenerational trauma) creates an unsafe and unsustainable community. The involvement of the Juvenile Justice System to solve this problem is one of the factors that create the prison pipeline for youth of color. These are the following factors that create unsustainability and poor quality of life in the North Omaha Community: At-risk youth are more at risk today creating an unsafe community in North Omaha. Currently, there is an increase in gun violence among gangs and youth. That create an image that our community is not safe. Families that have intergenerational trauma are also stuck in a lower socioeconomic class and some of these families have been on welfare for generations. Because of intergenerational trauma, youth and families cannot break the welfare cycle. This stops the creation of generational wealth in families of the North Omaha Community. 80% of the youth in Douglas County Corrections are youth of color. Because of the rates of the youth of color in Douglas County Youth Center, this affects the quality of life and stops the growth of generational wealth in the family. The quality of life for youth and families is poor and one of the factors is trauma. Because of trauma, the youth's decision-making is poor which affects the quality of life in our community. Families that have intergenerational trauma are stuck in poverty (welfare or lower-paying jobs) and it is difficult for them to break the cycle of poor quality of life. We see this through violence, not taking care of our community (throwing out trash from moving vehicles, vandalism, property crimes, violence, despair, and the lack of human connection throughout the North Omaha Community). This affects our community by turning away investors and stopping job creation.

Visioning Workshop Findings Alignment The Visionary Workshop provided the SWOT (strength, weakness, opportunity, and threat) analysis. Our company will address the following findings from the SWOT analysis: Weakness Lack of community cohesiveness and cohesion By treating the trauma families and youth will have more trust in others and begin to connect with the community. Lack of Black-owned companies We are a Black Owned Company Lack of jobs. Our company will create 7 jobs at the median income level. Lack of profit jobs. We are a for-profit company. Threats

Media, in particular, focuses on violence, and negative human interactions, in North Omaha Our program will begin to provide programming to address trauma in youth and families that will create better outcomes for the family and community. Lack of integrity Providing programming for intergenerational trauma will increase the integrity in the family and the community. Overall lack of hopelessness Our company will be a place will families on the Northside can get help for their young people. Access to health care North Omaha families will not have to go out west of 72nd seeking emotional/mental health for the adolescents. We will be located on the North Side and are a black-owned business. A specific gap that will be addressed is the lack of trauma programming in our community. A second gap is the lack of specific therapy for youth that is in the early stages of a crisis. Our parents on the Northside are seeking help with youth that are acting out, they cannot locate help. The result of not having help is eventually the Juvenile Justice System becomes involved and this is not a solution. Our company will address this specific gap.

Priorities Alignment The goal of the funding is that it must be transformational, fundamental change, and long-lasting economic growth. The creation of our program and working with the families in our communities will begin to change and transform the behavioral actions of the youth and families. The fundamental change will be the perception of North Omaha. Our business will be located on 24th and Miami, where youth and families can find us. Long-lasting economic growth will begin to happen in families that have been affected by intergenerational trauma through therapy and intervention. The creation of trauma will begin to change families that have been trapped in the welfare cycle for generations. Our business will create seven jobs that will be in the middle-class economic range. These seven jobs are entry-level jobs and the beginning of economic growth and economic wealth.

Economic Impact This business will create nine permanent jobs in North Omaha. Five of the jobs will only require a high school diploma. The wage level of four of the jobs will be \$30,000 - \$35,000 range. One job will be (secretary) \$25,000 - \$30,000 range. There will be two jobs that are created in the \$ 50,000-a-year range. Our business will contract with two therapists and one yoga instructor. Seven of the jobs will be filled with individuals from the qualified Census Tract (16th street, East/52nd street, West/Forest Lawn Ave, North/Cummings, South). The people will live in this area.

Nine

None

One job will be \$25,000-\$30,000 a year, four jobs will be \$30,000 to \$35,000 a year, and two will be at \$50,000 a year, and two will be part-time at \$15,000.

The goal of the funding is that it must be transformational, fundamental change, and long-lasting economic growth. The creation of our program and working with the families in our communities will begin to change and transform the behavioral actions of the youth and families. The fundamental change will be the perception of North Omaha. Our business will be located on 24th and Miami, where youth and families can find us. Long-

lasting economic growth will begin to happen in families that have been affected by intergenerational trauma through therapy and intervention. The creation of a trauma program will begin to change families that have been trapped in the welfare cycle for generations. Our business will create seven jobs that will be in the middle-class economic range. These seven jobs are entry-level jobs and the beginning of economic growth and economic wealth.

Community Benefit The benefits to the community will be jobs that are not connected to general labor (construction, waste management, fast food, restaurant, gas station, or retail stores). The income will not be a minimum wage of \$9.00 or entry-level at \$12.00 an hour. The benefit to the community is that these jobs will be viewed as more professional, the business will make positive impacts on the people in the community, and could be a path for employees continuing their education, There will be a fundamental change in our community, creating safety and improved health care, and long-lasting economic growth. The quality of life in the community will be improved by the business being a trauma program, there is not a program like this in the North Omaha community. This business will create improved economic stability for 9 people and because this is an innovative business there might be future training in our facility.

This proposal will contribute to nine families improving their quality of life and they will be employed on 24th street which will bring economic life back into the North Omaha Community.

Best Practices/Innovation This business is one of a kind. There is no trauma program that will provide interventions to the youth and families on the Northside. Most of the programs or therapy that is sought is further out in West Omaha. Our business is innovative, will create jobs in our community, and improve the quality of life of families in our community. We will work with the UNO Omaha Spatial Justice Project to develop a statistical analysis to verify the effectiveness of our business.

Outcome Measurement Safer communities and will begin to reduce the number of youth from the census tract entering the youth center.

We will work with the UNO Omaha Spatial Justice Project to develop a statistical analysis to verify the effectiveness of our business.

Not sure.

Partnerships Yes

Our new business will be in the heart of 24th street (North 24th and Miami). The business that we have reached and discussed partnerships with are the following YouTurn, Encompass Omaha (UNMC), Metro Area Youth Services (MAYS), Nebraska Writers Guild, and North Omaha Community Partnership. There has not been a Memorandum of Understanding signed with these organizations.

Not yet.

Displacement No

Displacement explanation

Physical Location The location of the business will be 2711 North 24th Street (24th and Miami). The building was the Carnation Ballroom. The Carnation Ballroom is where Mildred Brown opened a safe and alcohol-free entertainment and social venue. Our goal is to open a business where African American families have a safe place to heal from trauma.

Qualified Census Tract Within one or more QCTs

Additional Location Documents

Property Zoning Yes

Is the project connected to utilities?

Yes

No

Design, Estimating, and Bidding Yes

No

Completed by the owner of the building.

General Contractor No

Request Rationale This business will create seven jobs in our community at the median income range. The employees will live in the qualified census tract area, their quality of life will be improved economically, and the employees might continue with secondary education, this will begin the process of generational wealth. The business will also create a safer community by providing trauma therapy and interventions to at-risk youth and families. The problem the business will solve is that despite the current services and programs in our community youth are becoming more and more at risk. The unique product we offer addresses the issues of complex trauma in urban families in order to affect sustainable outcomes of change. The vision for our community is to foster generations of power, influence, and change.

Grant Funds Usage The funding will be used to operate the business for the first year. In the second year, the business will be able fiscally stable.

Proposal Financial Sustainability Yes

This business will not be dependent on future funding after the first year. This business will be for-profit and a non-profit business. The for-profit business will be able to bill Medicaid, insurance companies, and the state of Nebraska voucher system. The non-profit will be through Big Elk Native-American Center to write grants.

Funding Sources	There are no other funding sources identified.
	None
	None
Scalability	This proposal cannot be completed in smaller components.
	None
Financial Commitment	Our commitment financially is to use the proposed funds correctly and to create the needed jobs in our community.
ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
ARPA Reporting and Monitoring Process Acknowledgment	<input checked="" type="checkbox"/>
LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
Public Information	<input checked="" type="checkbox"/>
File Uploads	Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Proposal Budget/Sources and Uses



PJ MORGAN REAL ESTATE

Tenant: Frank Bailey & Levelle Wells
Owner: Carnation Ballroom LLC

Lease Terms: 42 Months with option to renew, see schedule below

Mr Bailey and Mr Wells would consider pursuing a lease agreement based upon the following terms:

- 2,520 RSF, South half of the building
- 3-year lease term at \$15/rsf plus NNN, 1st 6 months at \$7.50/rsf plus NNN
- Lease renewal option at market rate, upon lease expiration
- Lease commencement to be 6 months from mutual execution of lease, giving Owner 4 months to prepare the space for buildout and the Tenant 2 months to finish build-out (Design, CD's, Permitting, Build Out, FF&E)
- Triple Net (approximately \$5.00/ RSF)
- Security Deposit - Equal to 2 month's gross rent at \$15/rsf
- Right to place signage on the building
- Most competitive lease rate with the above terms factored in
- Please factor in a commission of 6% of the total base rent for the 3 year term paid by the owner to PJ Morgan Real Estate. This commission shall be paid in full at lease signing.

The following are additional factors for your consideration:

- Mr Bailey and Mr Wells are two professionals currently working in social services. They are starting a nonprofit to facilitate programming for young men who have been affected by the justice system.
- Mr Bailey has an established, thriving practice. Mr Wells is an active nonprofit leader focusing on opportunities for Native Americans in our community and Nation. This new venture would be a collaboration between these two professionals.
- All Financials are for their personal and professional entities.

Please call me with any questions.

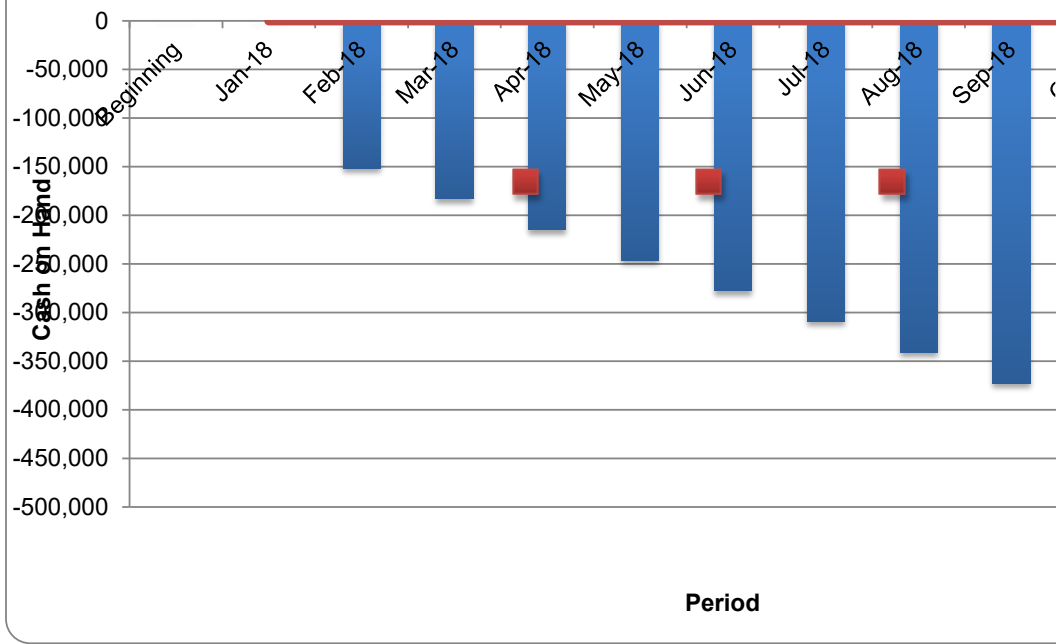
Mary Wells
402-350-0808

NON-BINDING DISCLOSURE: This document is non-binding and is solely for discussion purposes only. It does not create any legally binding rights or obligations on any party, and no such rights or obligations shall be created unless and until the parties enter into and execute a definitive agreement memorializing the specific terms of a transaction. This document has not been approved by any state's real estate commission or governing entity.

Timeline

February 2023	Moving into the 2711 Miami Street building
March 2023	Staff hired and training taking place for youth and families.
April 2023	Begin operations of the business
April 2024	Business is sustainable

Cash Flow Project Company Name

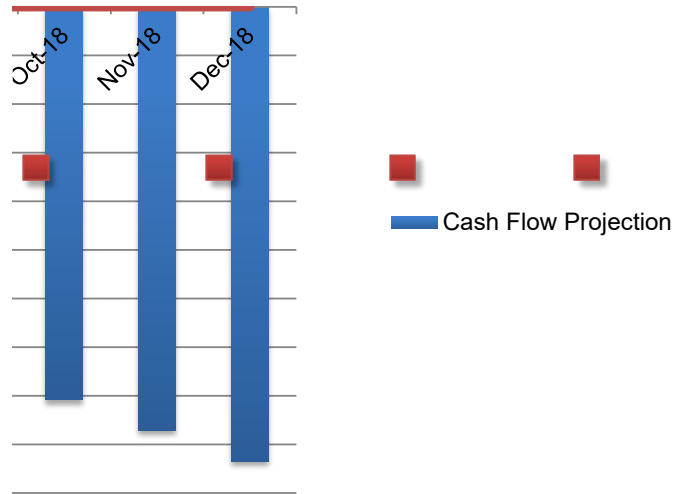


Combination chart showing Cash on Hand Minimum Alert and C

Cash balance alert minimum

\$0

ion



ash Flow Projection is in this cell.

Grant Application

Row 212

Organization Name (if applicable)	NMotion Inc. in collaboration with gener8tor Management, LLC (DBA "gener8tor")
Physical Address	151 N 8th Street, Suite 518, Lincoln, NE 68508
Mailing Address	
Website	https://www.nmotion.co/
Social Media Accounts	https://twitter.com/nmotionstartups , https://www.instagram.com/nmotionstartups/ , https://www.facebook.com/NMotionStartup/
Name	Brad Roth
Title	NMotion Board Chair
Email Address	broth5@unl.edu
Phone	+1 (402) 202-9650
Team	Yes
	Please see the attached proposal for a full list of team members.
Organizational Chart	NMotion powered by gener8tor is Nebraska's premier startup accelerator working with founders and technology talent across the entire state. We help founders launch new companies and accelerate the growth of existing companies through connections to mentors, customers, and investors in a compressed time schedule. Since its local founding in 2013, NMotion powered by gener8tor has helped 77 early stage companies. Portfolio companies include QuantifiedAg, Nobl Health, RealmFive, Liveby, LeverageRX, Bumper, WellCapped, Snappy Workflow and more. In 2019, NMotion partnered with gener8tor, a nationally ranked, GOLD-tier accelerator in the US, to leverage its proven programming and national network of mentors, companies and investors. Since then, NMotion Inc. has provided strategic guidance and marshaled local resources while gener8tor manages daily operations. As an organization, gener8tor has a staff of 146 full-time employees dedicated to supporting gener8tor's full breadth of programming and venture capital funds nationwide. We are proud that of the gener8tor Partners, 60% are women and of the senior leadership team, 55% are women and 18% are people of color. gener8tor's leadership is inclusive of the following individuals: Troy Vosseller, Partner and Managing Member Joe Kirgues, Partner and Managing Member Maggie Brickerman, Partner Abby Kursel, Partner Chelsea Linder, Partner Prentice Keller, Senior VP of Growth Stephen Parker, VP of Public Affairs and Communication Cole Shearer, VP of Skills Accelerators Erika White, VP of Corporate Innovation Lauren Usher, VP of gBETA

Jeremy Neren, VP of Investment Accelerator Dorothy Johnson, VP of Diversity, Equity and Inclusion As a whole, gener8tor's diverse staff is inclusive of 52% women and 32% people of color. gener8tor staff are assigned to several key departments to include pre-accelerators (gALPHA and gBETA), Investment Accelerators, Creative Accelerators (Art and Music), Skills Accelerator, OnRamp Conferences and Events, Business Development and Operations. The benefit of this organizational structure is it allows for the sustainability and growth of our programming nationwide while ensuring the best customer service possible. gener8tor leadership are acutely attuned to the various inner workings of each department and work closely with department managers to ensure the effectiveness and quality of our work. NMotion powered by gener8tor's organizational chart is provided as an attachment at the end of this application.

Other Completed Projects and/or Accomplishments

Please see the attached proposal for a full answer to this question.

Proposal Title

NMotion Workforce Development and Entrepreneurship Programs

Total Budget (\$)

\$950,000.00

LB1024 Grant Funding Request (\$)

\$950,000.00

Proposal Type

Service/program

Brief Proposal Summary

This project team will operate from Omaha, be open to the underutilized population and traditionally marginalized communities living in all the Qualified Census Tracts, and will establish three economic development programs - NMotion Skills Accelerator, NMotion Founders Academy, and NMotion Pre-Accelerator. The programs will be focused on traditionally marginalized communities who are often disadvantaged when it comes to starting their own businesses or finding employment. This talent development will create lasting change to the community and economic ecosystem in Omaha. We believe that workforce development has a multiplier effect on a community and our workforce development programs, whether for individuals or businesses, ensure that marginalized communities receive the same support and training as other communities. NMotion Skills (known nationally as gener8tor Skills) is a virtual rapid skilling program for people looking for jobs in high-demand roles in their communities or working remotely for companies across the country. This program is designed to serve those who are unemployed and underemployed. Program length varies between 5 and 12 weeks. NMotion Founders Academy (known nationally as gALPHA) is a four-week venture creation workshop to help entrepreneurially minded students and technologists create high-growth startups. Graduates gain a deeper understanding of how to spark market opportunities, develop solutions for them, generate revenues, and grow a high-growth startup. As entrepreneurship is a growing industry, workforce development for early-stage entrepreneurs is a vital addition to any workforce development program. NMotion Pre-Accelerator (known nationally as gBETA) is a seven-week accelerator for early-stage companies with local roots that requires no fees or equity

for participants. Each program is capped at five teams, and requires no fees and no equity. This program accelerates the growth of early-stage companies through its network-driven program. NMotion Pre-Accelerator supports five teams per cohort. This training and support ensures that marginalized business owners receive the workforce development needed to create jobs in their communities. This initiative will begin in January 2023 and operate through North Omaha Recovery funding through July 2025. Based on results, we will cultivate ongoing funding partnerships with Nebraska corporations, foundations, and economic development organizations aligned with the programming to continue the programming.

Timeline	<p>Announcement of NMotion Workforce Development and Entrepreneurship Programs January 2023 Training, Hiring, Recruitment, and Base Building February - March 2023 Founders Academy Cohort 1- Spring 2023 Program Dates: April - May Skills Accelerator Cohort 1 - Summer 2023 Programming: June - July Pre-Accelerator Cohort 1 - Fall 2023 Program Dates: September - October Skills Accelerator Cohort 2 - Winter 2023 Program Dates: November - December Skills Accelerator Cohort 3: Spring 2024 February - March Founders Academy Cohort 2 - Spring 2024 Program Dates: April - May Skills Accelerator Cohort 4: Summer 2024 Program Dates: June - July Pre-Accelerator Cohort 2 - Fall 2024 Program Dates: September - October Skills Accelerator Cohort 5: Fall 2024 Program Dates: September - October Skills Accelerator Cohort 6: Winter 2024 Program Dates: December - January Skills Accelerator Cohort 7: Spring 2025 Program Dates: March - April Founders Academy Cohort 3 - Spring 2025 Program Dates: April - May</p>
Percentage completed by July 2025	100%
Funding Goals	<p>Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha)</p>
Community Needs	<p>Other Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)</p>
"other" explanation	Unemployment and support for small businesses
Proposal Description and Needs Alignment	<p>The COVID-19 pandemic has significantly impacted socially and economically disadvantaged populations, with communities of color among the most severely affected. Some would further contribute to this observation by crediting COVID-19 to amplifying and bringing to light pre-existing social and economic loop inequities. Taking this into account, diverse, equitable, and inclusive focuses around workforce development, expansion, and acceleration are essential and long overdue. NMotion powered by gener8tor's programming works to help close racial, gender, and residential equity gaps. We seek to provide opportunity, access, and exposure to talent development and company creation for those people traditionally underrepresented and overlooked by the common and traditional systems. With millions of jobs lost due to the pandemic, entrepreneurship, by a variety of measures, proved to be a successful path towards income earnings for historically</p>

disenfranchised populations. Research from Gusto found that entrepreneurs in the pandemic were more likely to be women and more likely to be Black or Hispanic. Additionally, startup activity in the pandemic was particularly pronounced in Black neighborhoods. It appears that self-employment continues to be a favorable pathway out of poverty for many. The argument can also be made that traditional workforce programs do not provide an adequate pathway towards wealth for underserved communities. Employers continue to compete for candidates for knowledge-based skill positions and while this drives up wages for a select few, it does little to address equitable growth and wealth creation across the economy and perpetuates the cycle of disparity prevalent across the U.S and in Omaha. Alternatively, supporting an entrepreneur in their startup has the potential to create generational wealth for a low-income family and can lead to hundreds of jobs created. NMotion powered by gener8tor will work on multiple fronts to address the issues of unemployment and poverty in the community. In order to help the community build wealth, this proposal will simultaneously develop community skills, while incubating small businesses, thus both increasing the number of jobs created and ensuring people in the community are qualified for those positions. We believe that addressing multiple aspects of this problem will increase community resilience, giving the residents a chance to create long-lasting economic growth. The attached proposal full details the three programs of our strategy in further detail.

Visioning Workshop Findings Alignment The visioning workshop highlighted the need to create high-paying jobs, support local businesses, and increase access and tools to leverage community resources. These programs use community resources (NMotion’s community tools, gener8tor’s network) to both support local businesses through NMotion Founders Academy and NMotion Pre-Accelerator, which will create high-paying jobs. Furthermore, the NMotion Skills Accelerator trains the workforce so that they are able to access these jobs.

Priorities Alignment This proposal aligns with LB1024’s strategic priorities by creating transformation, fundamental change, and long-lasting economic growth. This economic growth includes job creation from businesses in NMotion Founders Academy and NMotion Pre-Accelerator, as well as economic impact which stems from the increased wages of graduates from the NMotion Skills Accelerator program. We have found that when these programs have run in conjunction, they have a multiplier effect on economic growth.

Economic Impact 4 direct full-time employees Plus 4.74 per new startup served (per Kauffman Foundation Indicators of Entrepreneurship)

N/A

N/A

We will hire two Program Managers for NMotion Skills at \$84,500 annually and one Career Coach at \$78,000 annually. In addition, for NMotion Founders Academy and NMotion Pre-Accelerator, we will hire two Program Managers at \$97,500 and one Program Associate at \$20,280.

NMotion will market our programs specifically to the businesses in the Qualified Census Tracts through direct targeting of our

advertisement and recruitment. However, in addition to concierge programming for startups via the NMotion Pre-Accelerator and NMotion Founders Academy, these programs offer opportunities for the general public to improve their businesses and economic standing. These opportunities include routine in-person and virtual office hours, workshops, and webinars intended to provide immediate and ongoing opportunity for local business. We would also like to find a space in the Qualified Census Tracts to host our programming, however, that depends on what spaces are available. For events and in person gatherings, we will seek out businesses and contractors in the QCTs to serve as product and service vendors.

Community Benefit The community will benefit from the increase in economic activity and security created by the new jobs. In addition, the economy will be diversified by the influx of new businesses and entrepreneurs created by these programs. By introducing evidence-based programs that uplift the workforce, increase investment in high growth businesses and targeting both BIPOC and low-income individuals, the residents of Omaha will experience a higher quality of life and further economic mobility.

This proposal will create economic stability in the community. NMotion Skills Accelerator graduates will have increased salaries and benefits such as health care, creating both increased purchasing power and a decrease in poverty and health disparities. These increases in income will be passed on to local businesses in the community. In addition, the small businesses created by NMotion Founders Academy and supported by the NMotion Pre-Accelerator will leverage community resourcefulness and innovation to create both additional jobs and additional high-growth businesses, which will support Omaha's entrepreneurial ecosystem and economic diversification.

Best Practices/Innovation Please see the attached proposal for a full response to this question.

Outcome Measurement Please see the attached proposal for a full response to this question.

These outcomes will be tracked by our program manager, who will collect demographic and financial data from program participants. The program impacts will be tracked and reported on using HubSpot, a data and client management system, and Airtable. These tools allow us to track company insights, deal tracking, pipeline management, and more.

Yes. Over the past two years, graduates of NMotion powered by gener8tor have secured over \$4 million in follow-on investments and non-dilutive grants. We expect this to continue and increase.

Partnerships Yes

NMotion powered by gener8tor has direct ties with Nebraska Angels, Invest Nebraska and Nelnet, which serve as the state of Nebraska's most active early stage, industry agnostic investor. These three organizations are the most common follow-on investors in NMotion program participants. We are willing and open to partner with existing and new community

organizations which can leverage our unique expertise to perform their missions. We enjoy cordial relationships with Omaha 100, Alpha Mission: Omaha, and Code Black. Our intention is to help increase community understanding and capacity to support skilled technology workers and high-growth startup entrepreneurs.

Nebraska Angels, Invest Nebraska and Nelnet are limited partners in gener8tor Fund VIII, Inc., which serves as the investment vehicle for NMotion powered by gener8tor investment programs. As part of their involvement they are required to complete a formal, legally binding agreement.

Displacement No

Displacement explanation

Physical Location These programs are location agnostic and would be open to any willing person living in any of the Qualified Census tracts. NMotion Skills works best in a virtual environment to allow participants to work at their schedule and location. NMotion Founders Academy and NMotion Pre-Accelerator will be conducted somewhere in North and South Omaha to best serve the community. We could conduct them anywhere that has a classroom or workshop environment, such as Highlander Accelerator, public libraries, or any other community space. We want to house these programs in consultation with the application review committee and key community stakeholders to determine where we can have the most impact and create the greatest outcomes.

Qualified Census Tract Within one or more QCTs

Additional Location Documents N/A

Property Zoning No

Is the project connected to utilities?

No

No

Design, Estimating, and Bidding No

No

N/A

General Contractor No

Request Rationale Our annual budget for the NMotion Skills Accelerator is \$500,000. This includes the following categories: Staffing - \$247,000 is allocated to staffing. Staffing is the largest portion of our expenses, as the concierge support we offer each participant is essential. This expense covers two Program Managers and one Career Coach. All of these positions are full time and include fringe benefits such as healthcare. Program Expenses - \$83,500 in program expenses goes to travel, software subscriptions for participants, and fractional staff time from support and operational staff such as sr. managing directors, operations managers, our graphic designers, Vice Presidents, legal, finance, etc. who have oversight and involvement in the programs. Training Expenses - Our program expenses are \$80,750, which includes LinkedIn licenses for all participants. Other Expenses - At \$42,296, our other expenses cover costs like recruiting, including posters and advertising, and promotional items. They also include brand licensing and contracts with other service providers necessary to deliver the best possible experience for our participants. Indirect Costs - gener8tor has \$45,254 in indirect costs at the 10% de minimus rate. Our annual budget for the NMotion Founders Academy and the NMotion Pre-Accelerator is \$450,000. This includes: Staffing Costs - \$215,280 is our staffing costs. Staffing is always the bulk of our cost, as we believe individualized attention is essential for the success of the startups in our programs. This costs covers two Program Managers and one Associate, as well as fringe benefits. Director Expenses - \$27,875 is our expenses for travel, software subscriptions, and promotional items which are essential in our recruitment. Other - These costs of \$100,851 include our subscription to the Global Accelerator network subscription, contracts with service providers, rent and utilities, and fractional costs for support and operational staff such as sr. managing directors, operations managers, our graphic designers, Vice Presidents, legal, finance, etc. who have oversight and involvement in the programs. Program Expenses - The \$36,500 expenses for our program include recruiting expenses for advertisements and expenses for program events such as our Mentor Swarm and Lunch and Learns. Live Events - \$28,585 is our cost for live events such as our Showcase, which ensures that the startups in the program can present their innovations to the community and funders. These costs includes facility rental, refreshments, supplies such a A/V equipment, and printing. Indirect Costs - gener8tor has \$40,909 in indirect costs at the 10% de minimus rate.

Grant Funds Usage Grant funds will be used to cover the operational costs of implementing the three proposed programs (NMotions Skills, NMotion Academy and NMotion Pre-Accelerator) which includes costs incurred such as support staff time, venues and event expenses, program supplies, etc. as outlined in the attached budget.

Proposal Financial Sustainability Yes

Please see the attached proposal for a full response to this question.

Funding Sources NMotion does not currently have funding secured to support the proposed programming in Omaha. However, NMotion has recently successfully leveraged \$3.7M to support business acceleration in new investment to expand to serve communities

statewide, demonstrating strong commitment from community partners and stakeholders.

No other funding sources at this time.

All funds are necessary to execute programming effectively.

Scalability

The proposal is scalable - our accelerator programs can add more cohorts in more locations if needed. Conversely, we can run fewer programs, or run only NMotion Skills, NMotion Founders Academy, or NMotion Pre-Accelerator.

Each accelerator program can be run separately, though we believe they work best in conjunction. NMotion Skills, NMotion Founders Academy, and NMotion Pre-Accelerator are separate programs and any of them can be chosen as a single component or in combination.

Financial Commitment

NMotion has an organizational commitment to this proposal. The board represents a broad spectrum of the community, including our partners such as University of Nebraska-Lincoln, Nelnet, Lincoln Partnership of Economic Development, Union Bank & Trust, Nobl Health and Invest Nebraska. Their time and advice have steered this proposal. We are committed to our expansion to Omaha which came from \$3.7M in direct investment from Nebraska corporations, organizations, and individuals. We will continue to look for additional funding for this proposal. Additionally, we believe that our proven ability to support a robust variety of programs in Lincoln has prepared us to be able to fully fund and support programming elsewhere in the state.

ARPA Compliance Acknowledgment



ARPA Reporting and Monitoring Process Acknowledgment



LB1024 Funding Sources Acknowledgment



Public Information



File Uploads

Data table of uses (breakdown of how the requested funds will be used for your proposal) Organizational Chart Pro Forma Proposal Budget/Sources and Uses Request Rationale Documentation Schedule

BETA Case Study & Data

gBETA's goal is that one-third of graduates will go on to participate in a full-time, equity-based accelerator, or raise a seed round of at least \$50K within one year of their participation in our program.

Markets of Focus

MADISON

INDIANAPOLIS

CLEVELAND

Program Outcomes

- ✓ Across all gBETA markets, 47% of alumni who have graduated a year or more ago have achieved this goal.
- ✓ Across all alumni regardless of how long they have had to hit our stated metric, 38.97% have achieved this goal.
- ✓ To date, gBETA alumni have gone on to raise over \$482M in follow-on funding.



Our Growth

Year 1	Year 3	Year 5	Year 10 (Present)
10 Companies	30 Companies	50 Companies	720 Companies
\$85K Average Follow-on Investment	10 Seed Rounds 1 Series A Round	18 Seed Rounds 3 Series A Rounds	\$482M+ in Cumulative Follow on Funding
20 Jobs Created	90 Jobs Created	200 Jobs Created	3341 Jobs Created

BETA Madison Market

The Madison program is our most established program, and has run 18 cohorts to date. This case study demonstrates the long-term results to be expected from the program. Below is the data for the gBETA Madison market in comparison to the gBETA program stats a whole.

Program Outcomes

- ✓ **90 companies** have completed the gBETA Madison program to date. **42 (53%)** of these companies who have graduated more than a year has hit the metric.
- ✓ Throughout the duration of the program, gBETA Madison has **created 346.5 jobs accounting for 11.87% of the jobs created by the gBETA program as a whole.**

Conclusions

The Madison market is an excellent example of the longterm impact that the gBETA program is able to have on a community. Not only has nearly 47% of our alumni hit our target metric, but they have also created hundreds of jobs that have brought economic prosperity to the region.

Cohort	gBETA Madison	All Markets
% Metric Hit	43%	41%
% Metric Hit One Year Out	53%	48%
#Companies	90	721
# Shut Down	26	82
# Jobs Created	346.5	3341.5
# Accelerators	18	142
# Exited	3	18
\$ Dilutive Funding Raised	\$96,544,000	\$437,022,602
\$ Non-Dilutive Funding Raised	\$9,269,271	\$45,317,044
Total Funding Raised	\$105,813,271	\$482,339,646

**One part-time job = .5 jobs created*

NOTABLE CUSTOMERS



BETA Indianapolis Market

To date, gBETA Indianapolis has launched seven cohorts, making it a veteran in the accelerator space. The Indy program has been running long enough to see the traction that our programs have in the accelerator space. gBETA Indianapolis statistics are included below.

Program Outcomes

- ✓ **35 companies** have completed the gBETA Indianapolis program to date. **23 (66%)** have hit the metric.
- ✓ Throughout the duration of the program, gBETA Indianapolis has **created 221 jobs accounting for 7.6% of the jobs created by the gBETA program as a whole.**

Conclusions

With seven successful cohorts, the Indianapolis market shows the immediate impact that our accelerators have on a community. gBETA Indianapolis alumni alone have raised over \$54M in follow on funding, directly fueling the local economy all while bolstering the Indianapolis startup space. gBETA Indianapolis provides a stunning example of the impact our accelerators make even in its growing stages. There is no doubt that gBETA Indianapolis will continue to make a positive impact on the local community to the longer it runs.

Cohort	gBETA Indianapolis	All Markets
% Metric Hit	23%	41%
% Metric Hit One Year Out	35.7%	48%
#Companies	35	721
# Shut Down	0	82
# Jobs Created	221	3341.5
# Accelerators	3	142
# Exited	1	18
\$ Dilutive Funding Raised	\$85,264,000	\$437,022,602
\$ Non-Dilutive Funding Raised	\$247,790	\$45,317,044
Total Funding Raised	\$23,047,790	\$482,339,646

*One part-time job = .5 jobs created

NOTABLE CUSTOMERS



To date, the Cleveland program has run three cohorts. This demonstrates the early results to be expected from the program. gBETA Cleveland statistics are included below.

Program Outcomes

- ✓ **14 companies** have completed the gBETA Cleveland program to date. 8 (**56%**) have hit the metric.
- ✓ **6 of those 14 gBETA Cleveland companies** have raised more than \$250k all time since the start of the program. There have been more than 93 jobs created.

Conclusions

While the gBETA Cleveland Program is relatively new to the accelerator space, the longterm effects of this program should not be overlooked.

Cleveland is a perfect example of the impact that gBETA accelerators have on a community in a short amount of time. With only three cohorts under its belt, gBETA Cleveland's alumni have created just over 3% of the overall jobs introduced by gBETA and have raised over \$23M in follow on funding.

Cohort	gBETA Cleveland	All Markets
% Metric Hit	9%	41%
% Metric Hit One Year Out	35.7%	48%
#Companies	14	721
# Shut Down	0	82
# Jobs Created	93.5	3341.5
# Accelerators	3	142
# Exited	0	18
\$ Dilutive Funding Raised	\$24,025,500	\$437,022,602
\$ Non-Dilutive Funding Raised	\$247,790	\$45,317,044
Total Funding Raised	\$24,273,290	\$482,339,646

*One part-time job = .5 jobs created

NOTABLE CUSTOMERS








Non-Profit Corporation

Board of Directors serves as the fiduciary party and provides oversight of management team.

Management Services Partner

National corporation that staffs and manages daily operations for its local partners. Dorothy Johnson, VP of Diversity, Equity, and Inclusion, serves on leadership team.

Management Team

Full-time and part-time gener8tor staff dedicated fully to the NMotion programs. Scott Henderson, Managing Principal, oversees all gener8tor programs in Nebraska.



Managing Principal

Skills

Founders Academy &
Pre-Accelerator

Operations

Growth
Accelerator

Venture Studio

Director

Director

Sr. Program
Manager

Managing
Director

Managing
Director

Asst Director

Asst Director

Senior Associate

Career Coach

2 PT Associates

NMotion and gener8tor Management, LLC

Omaha Economic Recovery Act Proposal

PERSONAL / ORGANIZATION INFORMATION

• **Organization Name (if applicable)**

NMotion Inc. in collaboration with gener8tor Management, LLC (DBA “gener8tor”)

• **Physical Address**

151 N 8th Street, Suite 518, Lincoln, NE 68508

• **Mailing Address (if different)**

151 N 8th Street, Suite 518, Lincoln, NE 68508

• **Website**

<https://www.nmotion.co/>

• **Social Media Accounts**

<https://twitter.com/nmotionstartups>, <https://www.instagram.com/nmotionstartups/>,
<https://www.facebook.com/NMotionStartup/>

Proposal Leadership

• **Primary Contact for Application* – Name, Title, Email, Phone**

Brad Roth, NMotion Board Chair, broth5@unl.edu, 402.202.9650

Scott Henderson, NMotion Managing Principal, scott@gener8tor.com, 404.725.4441

• **Team – Do you have a team? If yes, please provide the team members, including leadership, structure, roles, experience, and expertise. Include all members who will have a significant role. In this case, “team” refers to your ownership/management individuals or group and any consultants.**

NMotion Inc. Board of Directors serves as the fiduciary party and provides oversight of the management team.

- Brad Roth, University of Nebraska-Lincoln
- Dan Duncan, University of Nebraska-Lincoln
- Brian Ardinger, Nelnet
- Kathy Andersen, Lincoln Partnership of Economic Development
- Stephanie Dinger, Union Bank & Trust
- Katie Haifley, Nobl Health
- Dan Hoffman, Invest Nebraska

NMotion/gener8tor Staff serves as the management team and executes the operational plan.

- Scott Henderson, NMotion Managing Principal - manages local staff and daily operations while serving as the main conduit between NMotion Inc., gener8tor and the broader community.
- Dororthy Johnson, gener8tor VP of Diversity, Equity, and Inclusion - ensures all product and operational teams align with the company's culture and commitment to race, place and gender.
- Tyler Jacobson, NMotion Senior Program Manager - directs the recruiting and support services for all programming in the state of Nebraska.
- Mason Cook, NMotion Managing Director - leads the NMotion Growth Accelerator program and provides ongoing expertise to entrepreneurs.
- Erica Courtney, NMotion Senior Associate - supports the Senior Program Manager with recruiting and support services.
- Two new FTE and one part-time career coach for NMotion Skills to be hired from local community
- Two new FTE and one part-time associate for NMotion Founders Academy and NMotion Pre-Accelerator to be hired from local community

• Organizational Chart – Please explain your organizational chart. If applicable, please upload your organizational chart at the end of the application.

NMotion powered by gener8tor is Nebraska's premier startup accelerator working with founders and technology talent across the entire state. We help founders launch new companies and accelerate the growth of existing companies through connections to mentors, customers, and investors in a compressed time schedule.

Since its local founding in 2013, NMotion powered by gener8tor has helped 77 early stage companies. Portfolio companies include QuantifiedAg, Nobl Health, RealmFive, Liveby, LeverageRX, Bumper, WellCapped, Snappy Workflow and more.

In 2019, NMotion partnered with gener8tor, a nationally ranked, GOLD-tier accelerator in the US, to leverage its proven programming and national network of mentors, companies and investors. Since then, NMotion Inc. has provided strategic guidance and marshaled local resources while gener8tor manages daily operations.

As an organization, gener8tor has a staff of 146 full-time employees dedicated to supporting gener8tor's full breadth of programming and venture capital funds nationwide. We are proud that of the gener8tor Partners, 60% are women and of the senior leadership team, 55% are women and 18% are people of color. gener8tor's leadership is inclusive of the following individuals:

- Troy Vosseller, Partner and Managing Member
- Joe Kirgues, Partner and Managing Member
- Maggie Brickerman, Partner

- Abby Kursel, Partner
- Chelsea Linder, Partner
- Prentice Keller, Senior VP of Growth
- Stephen Parker, VP of Public Affairs and Communication
- Cole Shearer, VP of Skills Accelerators
- Erika White, VP of Corporate Innovation
- Lauren Usher, VP of gBETA
- Jeremy Neren, VP of Investment Accelerator
- Dorothy Johnson, VP of Diversity, Equity and Inclusion

As a whole, gener8tor's diverse staff is inclusive of 52% women and 32% people of color. gener8tor staff are assigned to several key departments to include pre-accelerators (gALPHA and gBETA), Investment Accelerators, Creative Accelerators (Art and Music), Skills Accelerator, OnRamp Conferences and Events, Business Development and Operations. The benefit of this organizational structure is it allows for the sustainability and growth of our programming nationwide while ensuring the best customer service possible. gener8tor leadership are acutely attuned to the various inner workings of each department and work closely with department managers to ensure the effectiveness and quality of our work.

NMotion powered by gener8tor's organizational chart is provided as an attachment at the end of this application.

• Other Completed Projects and/or Major Accomplishments – Please describe your or your organization's other completed projects and/or major accomplishments, particularly those that relate to the proposal. If you are a new organization, please describe how this proposal supports your organizational goals.

Since 2019, the NMotion Pre-Accelerator has hosted five cohorts to date that supported 25 locally-based startups in Nebraska. 52% of the participating startups had a woman founder, 24% had a founder of color and 20% had a founder who was an immigrant or child of an immigrant. In total, 60% of founders identified as part of an underrepresented population. To date, these companies have raised over \$1.6M in follow-on financing and have created 76 jobs. In the past two years, through its investment accelerator, gener8tor and its partners have invested \$1 million into Nebraska startups with 50% being women founder-led and 30% black founder-led.

To ensure the overall success of the program, gener8tor meticulously tracks these metrics until the startup has an exit event: demographic data of startup founders and CEOs, dilutive and non-dilutive funding raised, number of startups participating in a full-time equity-based accelerator, number of startups acquired and the number of full-time and part-time jobs created. As part of their participation in the program, startups are asked to provide this data on a monthly basis. Additionally, gener8tor surveys participants post-program and includes Net Promoter Score (NPS) survey questions to assess metrics about if they would recommend the program. To date, the NMotion Pre-Accelerator has received an average score of 77.

One example of success can be found in Lincoln-based startup, Tiiga. The baobab electrolyte drink mix successfully completed a \$10,000 kick-starter campaign following the pre-accelerator and has expanded commercial and wholesale partnerships. Founder, Jeff Tezak, shared “We were pretty early on in our concept development but [NMotion Pre-Accelerator] forced us to get clarity on what our marketing and go-to-market strategy would look like in the future.”

Since its inception in 2012, gener8tor has expanded its successful startup and small business funds and accelerators across 31 cities, 19 states and four countries. gener8tor is a member of the [Global Accelerator Network \(GAN\)](#) and nationally ranked amongst the [“Top 15” accelerators in the United States by the Seed Accelerator Rankings Project](#). Of note, gener8tor is the only “Top 15” ranked accelerator without an equity-based program or fund in a top-10 metro market, thus proving its ability to produce national-caliber outcomes for startups in secondary and tertiary markets. In the last nine years, gener8tor has worked diligently to build our international network of thousands of mentors, financiers, corporate partners and companies to benefit program participants during as well as far beyond each program. To date, this global network includes:

- 3,711 Investors
- 2,749 Mentors
- 3,391 Corporate Connections
- 1028 Alumni Companies

gener8tor has exhibited great success in our ability to recruit and support diverse, underestimated founders in accessing investment opportunities across different cities and states in a variety of secondary and tertiary markets worldwide. gener8tor’s accelerator programs and funds have supported over 1000 companies to raise over \$1.3B in follow-on financing and create nearly 9,400 jobs. We credit this, in part, to our nationally recognized curriculum and concierge approach.

Additionally, we have exhibited great success in our workforce training program, the Skills Accelerator. The Skills Accelerator program has seen tremendous growth since launching in the summer of 2020 with expansion across 14 markets including Alaska, Alabama, California, Georgia, Florida, Indiana, New York, Ohio, Texas, Virginia, Wisconsin and Wyoming. Many of the Skills Accelerator programs are sponsored by local governments to support the struggling workforce as communities continue to recover from the COVID-19 pandemic.

When gener8tor began the Skills Accelerator program in 2020, the intended goal was to help people quickly access learning pathways to expand their digital skills. What we are seeing in addition to just skills, is the tremendous impact on the lives of the participants. Skills Accelerator participants have been highlighted in [Good Morning America](#), in the [New York Times](#) and highlighted by Microsoft in one of their [“Features”](#) articles. To date, the Skills Accelerator has supported 1,312 individuals of which 78% have graduated and 60% have been placed into high quality employment. 64% of participants are people of color, 68% women and the average salary 3 months post graduation across all markets is \$53,907.

PROPOSAL OVERVIEW

- **Proposal Title***

NMotion Workforce Development and Entrepreneurship Programs

- **Total Budget* (\$) \$950,000**

- **LB1024 Grant Funding Request* (\$) 950,000**

- **Proposal Type –**

- Service/program

- **Brief Proposal Summary* (350/350 words or less) – Overview, location, timeline**

This project team will operate from Omaha, be open to the underutilized population and traditionally marginalized communities living in all the Qualified Census Tracts, and will establish three economic development programs - NMotion Skills Accelerator, NMotion Founders Academy, and NMotion Pre-Accelerator. The programs will be focused on traditionally marginalized communities who are often disadvantaged when it comes to starting their own businesses or finding employment. This talent development will create lasting change to the community and economic ecosystem in Omaha. We believe that workforce development has a multiplier effect on a community and our workforce development programs, whether for individuals or businesses, ensure that marginalized communities receive the same support and training as other communities.

- NMotion Skills (known nationally as gener8tor Skills) is a virtual rapid skilling program for people looking for jobs in high-demand roles in their communities or working remotely for companies across the country. This program is designed to serve those who are unemployed and underemployed. Program length varies between 5 and 12 weeks.
- NMotion Founders Academy (known nationally as gALPHA) is a four-week venture creation workshop to help entrepreneurially minded students and technologists create high-growth startups. Graduates gain a deeper understanding of how to spark market opportunities, develop solutions for them, generate revenues, and grow a high-growth startup. As entrepreneurship is a growing industry, workforce development for early-stage entrepreneurs is a vital addition to any workforce development program.
- NMotion Pre-Accelerator (known nationally as gBETA) is a seven-week accelerator for early-stage companies with local roots that requires no fees or equity for participants. Each program is capped at five teams, and requires no fees and no equity. This program accelerates the growth of early-stage companies through its network-driven program. NMotion Pre-Accelerator supports five teams per cohort. This training and support ensures that marginalized business owners receive the workforce development needed to create jobs in their communities.

This initiative will begin in January 2023 and operate through North Omaha Recovery funding through July 2025. Based on results, we will cultivate ongoing funding partnerships with Nebraska corporations, foundations, and economic development organizations aligned with the programming to continue the programming.

• **Timeline*** –

- **What is the timeline for this proposal? Please list significant milestones and dates, including the anticipated completion date. If applicable, please upload your schedule at the end of the application.**

Proposed Calendar

- Announcement of NMotion Workforce Development and Entrepreneurship Programs
 - January 2023
- Training, Hiring, Recruitment, and Base Building
 - February - March 2023
- Founders Academy Cohort 1- Spring 2023
 - Program Dates: April - May
- Skills Accelerator Cohort 1 - Summer 2023
 - Programming: June - July
- Pre-Accelerator Cohort 1 - Fall 2023
 - Program Dates: September - October
- Skills Accelerator Cohort 2 - Winter 2023
 - Program Dates: November - December
- Skills Accelerator Cohort 3: Spring 2024
 - February - March
- Founders Academy Cohort 2 - Spring 2024
 - Program Dates: April - May
- Skills Accelerator Cohort 4: Summer 2024
 - Program Dates: June - July
- Pre-Accelerator Cohort 2 - Fall 2024
 - Program Dates: September - October
- Skills Accelerator Cohort 5: Fall 2024
 - Program Dates: September - October
- Skills Accelerator Cohort 6: Winter 2024
 - Program Dates: December - January
- Skills Accelerator Cohort 7: Spring 2025
 - Program Dates: March - April
- Founders Academy Cohort 3 - Spring 2025
 - Program Dates: April - May

- **What percentage of your proposal can be completed by July 2025?**

By the end of this timeline, we will have completed seven NMotion Skills Accelerator Cohorts, three NMotion Founders Academy cohorts, and two NMotion Pre-Accelerator cohorts.

• Funding Goals – What overarching goals does your proposal help fulfill? Select all that apply:

- Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha)

• Community Needs – What community needs does your proposal help meet? Select all that apply:

- Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

PROPOSAL NARRATIVE

• Proposal Description and Needs Alignment – Describe the proposal and how it specifically addresses the identified community needs above (i.e., sustainable community, multimodal transportation, other infrastructure, quality of life, policy, or other).

The COVID-19 pandemic has significantly impacted socially and economically disadvantaged populations, with communities of color among the most severely affected. Some would further contribute to this observation by crediting COVID-19 to amplifying and bringing to light pre-existing social and economic loop inequities. Taking this into account, diverse, equitable, and inclusive focuses around workforce development, expansion, and acceleration are essential and long overdue. NMotion powered by gener8tor's programming works to help close racial, gender, and residential equity gaps.

We seek to provide opportunity, access, and exposure to talent development and company creation for those people traditionally underrepresented and overlooked by the common and traditional systems. With millions of jobs lost due to the pandemic, entrepreneurship, by a variety of measures, proved to be a successful path towards income earnings for historically disenfranchised populations. Research from Gusto found that entrepreneurs in the pandemic were more likely to be women and more likely to be Black or Hispanic. Additionally, startup activity in the pandemic was particularly pronounced in Black neighborhoods. It appears that self-employment continues to be a favorable pathway out of poverty for many. The argument can also be made that traditional workforce programs do not provide an adequate pathway towards wealth for underserved communities. Employers continue to compete for candidates for knowledge-based skill positions and while this drives up wages for a select few, it does little to address equitable growth and wealth creation across the economy and perpetuates the cycle of disparity prevalent across the U.S and in Omaha. Alternatively, supporting an entrepreneur in their startup has the potential to create generational wealth for a low-income family and can lead to hundreds of jobs created.

NMotion powered by gener8tor will work on multiple fronts to address the issues of unemployment and poverty in the community. In order to help the community build wealth, this proposal will simultaneously develop community skills, while incubating small businesses, thus both increasing the number of jobs created and ensuring people in the community are qualified

for those positions. We believe that addressing multiple aspects of this problem will increase community resilience, giving the residents a chance to create long-lasting economic growth.

Below, we have outlined the three prongs of our strategy in greater detail:

NMotion Skills Accelerator

The main goal of the NMotion Skills Accelerator is to support graduates in obtaining high-quality jobs in diverse, professional workplaces where the skills they gain from the accelerator can be applied. It is intended to help under and unemployed people (primarily people of color and women) secure meaningful employment across a variety of sectors (including but not limited to technology, insurance, finance and professional services) in professional, technical and administrative services roles.

The Skills Accelerator graduates build their confidence alongside their technical knowledge in small cohort-based groups where they receive one-on-one coaching to help achieve their goals while completing the learning curriculum. All learning is self-paced to fit any schedule and all engagement with the program takes approximately 15 hours per week. The Skills Accelerator typically lasts between 5-12 weeks.

Historically, the curriculum is drawn from Microsoft's [Global Skilling Initiative](#)'s ten [most in-demand careers](#) and each community's curriculum is selected/customized to meet local workforce needs through an evidence-based online training platform developed in partnership with Microsoft and LinkedIn. The technical learning paths will be rounded out with critical employability, communication and interpersonal skills learning. Recognizing technical skills will not fully prepare the participants for new roles, we also include skills necessary for all workplaces. Curriculum on diversity, inclusion and belonging; professional soft skills and how to look for a job are also included.

Another unique component of the Skills Accelerator is how community is built into the program. Participants learn alongside each other and keep each other accountable. All participants are assigned a "Coach" and a "Buddy or Pod". The "Coach" is a NMotion powered by gener8tor employee who assists with answering any questions, helping with needs that may arise and emotionally supporting the participants in ways they may not be able to find with friends or family. We consider them Skills Accelerator concierges, meeting the specific and unique needs of each participant. Coaches are also hired to reflect the diversity of our participants and receive training on working with diverse populations to include trauma-informed care and best practices for working with neurodivergent populations or returning citizens. Program "Buddies" are fellow cohort members. They exchange contact information for the purposes of holding each other accountable for success and providing peer support as needed.

Concurrently with skills learning, participants engage with their coach on critical items and skills for their job search – crafting or refreshing their resume, LinkedIn profile and cover letters. In addition, they participate in video mock interviews (there may be the ability to move some of these in person when safe and geographically feasible) and use an AI interview tool. They do most of this in a weekly 30-minute meeting. Coaches also monitor the participant's completion of learning modules in a shared accountability document. If the coach notices the participant is falling behind, they reach out to create a recovery plan. Our coaches are equipped with tools to support the participants with traditional and nontraditional wraparound services to support them through the program.

Additionally, weekly “Lunch & Learns” allow participants to log into a live Microsoft Teams meeting to learn from and engage with workforce and technical experts. Topics include things participants may need for their job search like Optimized Job Search Strategies, How to Find a Job on LinkedIn, Interview Best Practices or how to enhance their technical learning to complement their technical curriculum. This is where we can include local experts such as instructors from higher education, employers or workforce board employees.

As the #1 shared goal is the graduate securing a new or better job, that is the primary focus from day one. Resume work begins the first week so participants can start applying for jobs right away. As soon as their resume is ready, we will share opportunities the employer partners have for them and will encourage them to apply. When they apply, we will then use the appropriate channels to let the employer partner know they have a Skills Accelerator graduate applying. We will work with the employer to support their process however they wish.

For this program, we will host Information Sessions and Hiring Events for Omaha employers aligning with the cohort timing. Information Sessions are an opportunity for hiring partners to “pitch” their company to the graduates. These are live video events but are also recorded and shared. Specific job openings are then shared with the participants/graduates as soon as available. Graduates may then sign up for Hiring Events which are facilitated via video meeting between the hiring partner representative and the graduate. At this time, they can discuss the role, the company and the graduate’s background to see if it is a good fit for both parties. From there, the hiring partner representative shares the best next steps with the graduate to get into their pipeline. Some companies hire on the spot while others share how people can officially apply for a role.

We will also share a weekly jobs list of all roles from our hiring partners. Coaches and participants talk about this weekly so hiring partners can be alerted of their application. Over the last eighteen months we have learned that a segment of our graduates are not interested in returning to in-person employment, and we support them in their search for remote roles as needed.

This program will ensure that the community is ready and able to access the positions created by the newly-founded, grown, or hiring small businesses created by the below programs.

NMotion Founders Academy

NMotion Founders Academy is a free, four-week venture-creation workshop designed to help entrepreneurially-minded participants create high-growth startups from scratch. NMotion Founders Academy provides product ideas, mentorship and coaching to teams of participants, and then works with them one-on-one for one month to help them develop an innovative and marketable product or solution. The goal of NMotion Founders Academy is to help participants create at least one-high growth startup to take through additional programming such as acceptance into an early-stage accelerator.

NMotion Founders Academy is ideal for communities hungry for entrepreneurship and innovation but in need of guidance. During the program, participants build the foundations of their business with individualized coaching. We introduce founders to mentors, thought-leaders, and strategic partners to take them from idea to reality in a few short weeks.

Benefits and expected outcomes of the NMotion Founders Academy program include

- **Community** - Opportunity to build relationships with talented engineers and technologists within each cohort of 10 to 15 teams, as well as our network of more than 400+ gALPHA alumni
- **Ideas** - Community partners reverse-pitch problems for participants to innovate around.
- **Coaching** - Individualized coaching and mentorship for the NMotion Founders Academy teams during weekly one-on-one meetings and calls.
- **Mentorship** - Curated introductions to experienced startup founders, subject matter experts and business professionals willing to guide technologists through product development and business formation.
- **Network** - Introductions to our network of corporate partners, potential customers, and startup founders from around the country.
- **Perks** - Teams may qualify for access to AWS credits.

Specifically, the NMotion Founders Academy program consists of the following primary phases: Ideation; MVP; Mentor Swarm; One-on-One Meetings; Lunch & Learns and, a Final Showcase described in detail below. Upon completion of the program participants will have successfully created a new product or service, developed a business plan and created a pitch deck.

- **Ideation**: During the first week of the program, participants research and pitch a new idea and business model each day. The goal is to stress test the participants ideas and ensure they are selecting a business that they are passionate about. At the end of each week, participants pitch to a panel of partners who provide feedback and ask questions. At the conclusion of this ideation stage, participants select the idea they are going to build from scratch via the NMotion Founders Academy program.
- **Minimum Viable Product (MVP)**: After ideation, participants are motivated to assemble teams to get building the most basic form of their idea so they can test. This will take up most of weeks 2-3 of the program. After the MVP is developed, teams are asked to receive market feedback to identify if there is a need for their product. Teams will experience first-hand the challenges, but also tremendous benefit, of iterating quickly with minimal resources in solving business problems.
- **Lunch & Learns**: During the “Lunch & Learn” events, participants will enjoy a free locally-sourced, catered lunch while learning about topics relevant to startups, such as creating a business plan, developing a pitch deck, understanding market size and choosing a revenue model. These Lunch & Learn events are required for all NMotion Founders Academy participants, but are also open and free to any participant that wishes to attend.
- **Mentor Connections**: For the second half of the program, each team connects with 3-5 mentors who agree to work with them throughout the NMotion Founders Academy program. The goal is to connect each team with well-connected people to help refine their businesses. Mentors are sourced both locally and from gener8tor’s national network. Mentors include subject matter experts, serial entrepreneurs, investors, program alumni and community stakeholders.

- **One-on-One Meetings:** During the entirety of the four-week program, each team meets with the NMotion Founders Academy Program Director at least twice per week on a scheduled, structured basis. The goal is to issue-spot, advise, provide resources/introductions, set milestones and hold the participants accountable for those milestones.
- **Final Showcase:** In the final week of the program, NMotion Founders Academy participants prepare for a “Final Showcase”, the formal “graduation” for the cohort. The Final Showcase is an exclusive reception during which program participants pitch to an audience of their peers, mentors and community members on their startup idea. This also serves as a community-building event, recruitment tool, and a showcase of the startups developed through NMotion Founders Academy.

In addition to the five main phases of the NMotion Founders Academy model, cohort participants receive ongoing support after the four-week program concludes. NMotion powered by gener8tor curates a program that focuses on innovative, high-growth startups for participants. Through participation in this program, participants will have access to NMotion powered by gener8tor staff members who possess expertise in development, design, marketing, social media, journalism, business development, legal, sales, and more. The support from the NMotion powered by gener8tor mentor-network creates a highly personalized, concierge experience for all participants. This program will help early-stage entrepreneurs refine their ideas and increase local interest in entrepreneurship.

NMotion Pre-Accelerator

NMotion Pre-Accelerator is a free, seven-week accelerator focused exclusively on startups. By keeping its cohort numbers small and only working with five startups per cohort, NMotion Pre-Accelerator can tailor its programming to meet the individual needs of NMotion Pre-Accelerator participants, regardless of stage, business model, or market. During the seven-week NMotion Pre-Accelerator accelerator, local startup founders work to refine their value propositions and business models, connect with mentors, customers and investors, and acquire the fundraising skills to achieve business milestones. Specifically, the NMotion Pre-Accelerator program will achieve the objective of educating and mentoring early-stage companies through the following main components expressed in detail below:

Program Activity	Description
Recruitment	<ul style="list-style-type: none"> ● Free Virtual Office hours with 50+ startups ● Email reach outs to 500+ startups per cycle. ● Online Application ● 2 to 3 rounds of Interviews with the program director and sponsors/partners. ● 5 selected startups per cohort.
Kickoff	To begin the program, the cohort gathers for two days of building camaraderie, establishing goals and expectations, and attending baseline-setting presentations to kick off the program on a high note. NMotion Pre-Accelerator participants

	<p>learn at kickoff how to access resources across the gener8tor network, including \$1,000,000+ in deals and perks from vendors like IBM Cloud, Rackspace, Amazon, PayPal, Zendesk, and Microsoft, made accessible to participants via gener8tor’s membership with the Global Accelerator Network (GAN). Participants also have the opportunity to meet each other and the program sponsors and partners.</p>
Biweekly Meetings	<p>Scheduled, structured and individualized one-on-one meetings between each startup and the program director and other team members to receive coaching, establish and achieve goals, refine their value proposition, grow their customer traction, and develop an executive summary and pitch deck.</p>
Lunch & Learns	<p>Weekly webinar sessions where NMotion Pre-Accelerator participants learn about topics relevant to startups, including understanding market size, choosing a revenue model, becoming familiar with FDA regulatory pathways, reviewing reimbursement guidelines, and setting financing goals. These Lunch & Learn events are required for all NMotion Pre-Accelerator participants, but are also open and free to the public to attend.</p>
Mentor Swarm	<p>25+ speed networking meetings between each of the startups and subject matter experts, serial entrepreneurs, investors, program alumni, physicians and community stakeholders. Ad-hoc intros to relevant mentors in our network where appropriate.</p>
Investor Swarm	<p>In the final week of the program, each company pitches 25 to 30 unique investors and accelerators across partner networks. These investors include individual angels, angel networks, seed funds, VC, corporate VCs and family offices nationally and globally. By disintermediating the traditional “demo day” format, alumni experience a higher percentage of follow-on funding.</p>
Showcase	<p>Annual community celebration event whereby the program graduates pitch in front of a crowd of investors, entrepreneurs and community members. This is an additional chance for those startups to merchandise the progress and traction that they’ve achieved in the preceding seven weeks.</p>
Ongoing Alumni Support	<p>Additional support for alumni via gener8tor’s network and additional free program offerings, which includes: optional monthly check-ins with their program director, introductions to 3,000+ each of mentors, investors and corporate partners, OnRamp conference programming, investor pitch opportunities via Lightning Rounds, monthly dealflow report inclusion, alumni “reboot” programs to revisit topics such as fundraising when necessary for each company, automatic interviews for NMotion’s flagship (investment-based) programs, inclusion in the gener8tor Community Slack channel, and webinars and events hosted by NMotion.</p>

• Visioning Workshop Findings Alignment – Describe how the proposal aligns with the findings in the Visioning Workshop Summary and identify the specific gaps or other community needs that your proposal addresses.

The visioning workshop highlighted the need to create high-paying jobs, support local businesses, and increase access and tools to leverage community resources. These programs use community resources (NMotion’s community tools, gener8tor’s network) to both support local businesses through NMotion Founders Academy and NMotion Pre-Accelerator, which will create high-paying jobs. Furthermore, the NMotion Skills Accelerator trains the workforce so that they are able to access these jobs.

• Priorities Alignment – Describe how the proposal aligns with LB1024’s strategic priorities.

This proposal aligns with LB1024’s strategic priorities by creating transformation, fundamental change, and long-lasting economic growth. This economic growth includes job creation from businesses in NMotion Founders Academy and NMotion Pre-Accelerator, as well as economic impact which stems from the increased wages of graduates from the NMotion Skills Accelerator program. We have found that when these programs have run in conjunction, they have a multiplier effect on economic growth.

• Economic Impact –

• What is the anticipated job creation and wages associated with your proposal (temporary and permanent)?

○ How many permanent jobs will be created?

4 direct full-time employees

Plus 4.74 per new startup served (per Kauffman Foundation Indicators of Entrepreneurship)

○ How many temporary or construction jobs will be created?

N/A

○ What are the proposed jobs’ wage levels?

We will hire two Program Managers for NMotion Skills at \$84,500 annually and one Career Coach at \$78,000 annually. In addition, for NMotion Founders Academy and NMotion Pre-Accelerator, we will hire two Program Managers at \$97,500 and one Program Associate at \$20,280.

• Describe how you might align proposed jobs to provide immediate and ongoing opportunity for businesses and contractors in the Qualified Census Tracts.

NMotion will market our programs specifically to the businesses in the Qualified Census Tracts through direct targeting of our advertisement and recruitment. However, in addition to concierge programming for startups via the NMotion Pre-Accelerator and NMotion Founders Academy, these programs offer opportunities for the general public to improve their businesses and economic standing. These opportunities include routine in-person and virtual office hours, workshops, and webinars intended to provide immediate and ongoing opportunity for local business. We would also like to find a space in the Qualified Census Tracts to host our programming, however, that depends on what spaces are available. For events and in person gatherings, we will seek out businesses and contractors in the QCTs to serve as product and service vendors.

• **Community Benefit –**

o Describe the community benefit that will be derived from this proposal. For example, how will it diversify the economy, improve the local neighborhood, and/or increase livability in the community?

The community will benefit from the increase in economic activity and security created by the new jobs. In addition, the economy will be diversified by the influx of new businesses and entrepreneurs created by these programs. By introducing evidence-based programs that uplift the workforce, increase investment in high growth businesses and targeting both BIPOC and low-income individuals, the residents of Omaha will experience a higher quality of life and further economic mobility.

o How does this proposal contribute to community sustainability (economic, built and natural environment, and quality of life)?

This proposal will create economic stability in the community. NMotion Skills Accelerator graduates will have increased salaries and benefits such as health care, creating both increased purchasing power and a decrease in poverty and health disparities. These increases in income will be passed on to local businesses in the community. In addition, the small businesses created by NMotion Founders Academy and supported by the NMotion Pre-Accelerator will leverage community resourcefulness and innovation to create both additional jobs and additional high-growth businesses, which will support Omaha's entrepreneurial ecosystem and economic diversification.

• **Best Practices/Innovation – How will this incorporate best/proven practices or demonstrate innovation (e.g., bringing new concepts to Omaha, etc.)?**

NMotion powered by gener8tor is a company with a national reach - a large part of our strength is our network. Unlike other programs providing training, gener8tor's entrepreneurial, corporate and venture capital work in other parts of the company instantly created an opportunity to grow our hiring network through the over 3,357 corporate connections and 1028 alumni companies we

regularly work with. Our dedicated employer network that we regularly work with for their hiring needs is currently over 420 companies across a variety of industries.

An example of the benefits of the gener8tor network can be found in our relationship with our startups. One of those, EatStreet, the Madison-based online meal delivery service company, participated in the gener8tor flagship accelerator in 2012. Since then and with the support of gener8tor, EatStreet grew exponentially. They now have over 3,000 full-time employees and are actively hiring. EatStreet has been dedicated to employing gener8tor Skilling Accelerator graduates by providing entry-level positions with the opportunity for upward mobility within the company.

gener8tor also provides Accelerator alumni with numerous opportunities following the completion of the accelerator program to ensure their success as a company. Once a startup has graduated from a gener8tor Accelerator, their relationship with gener8tor does not end, in fact, it is often just the beginning. We believe in helping startups sustain long term growth by providing them with ample opportunities during *and* after programming to continue connecting with more mentors, investors and customers. This includes:

- [NMotion Growth Accelerator](#) - This traditional Investment Accelerator is a nationally ranked, GOLD-tier accelerator (as ranked by the [Seed Accelerator Rankings Project](#)) that invests in high-growth startups. This investment-for-equity accelerator includes a \$100K investment into each of six startups that receive a concierge experience. NMotion supports the growth of these startups through our network of experienced mentors, technologists, corporate partners, angel investors and venture capitalists. Alumni of the NMotion Pre-Accelerator program will receive an automatic first-round interview for the [NMotion Growth Accelerator](#), operated in Omaha at Millwork Commons, as well as any other gener8tor Investment Accelerator.
- [OnRamp Conference Series](#) - OnRamp grew out of a desire to provide entrepreneurs at various stages of growth with access to high-level corporate leaders and investors. OnRamp has evolved into vertical-specific such as OnRamp Health Care events featuring conference programming and curated one-on-one pitch sessions between startups and corporate venture capital and innovation executives. gener8tor alumni companies receive first priority for meetings with VCs and corporations at these events, in hopes that they will turn into funding opportunities, and are first in line for speaking opportunities.
- [Lightning Rounds](#) - gener8tor's Lightning Rounds connect startups with accelerators and investors via quarterly quick-pitch opportunities. Accelerators and investors commit to taking a block of meetings, startups apply to pitch them, and gener8tor facilitates the one-on-one pitches.
- [Corporate Innovation Network](#) - gener8tor works under contract with 50+ corporate partners that are members of our Corporate Innovation Network for corporate venture capital, corporation innovation, M&A and strategy executives. Members span diverse industries and include Rockwell Automation, Allianz Life, Harley-Davidson, Boston Scientific and Beck's. gener8tor opens this network of corporate partners to participating startups and graduates of our accelerator programs.
- [gener8tor Monthly Dealflow Emails](#) - Each month, gener8tor releases a report that includes all alumni of the gener8tor family of accelerators that are actively raising capital.

These alumni are organized by the round they are raising. The report contains an overview, contact information, website, headquarters, amount raising, amount committed, demographic information provided by the founders, and a link to their executive summary. Each month this report is shared with a growing network of investors. gener8tor also provides concierge reports based on industry, geography, etc. and is always happy to facilitate introductions.

- **Reboot Programs** - Oftentimes, companies are not ready to raise until several months post-program, or need help as alumni building out their board. Our targeted “reboot” programs help companies at the stages they are at, when they need an extra jolt of support.
- **Office Hours** - Regular office hours are provided year-round by gener8tor staff for one-on-one monthly meetings with Program Directors.

• **Outcome Measurement –**

o **What other outcomes of your proposal might you measure (i.e., improved education, creating new high-wage job opportunities, etc.)?**

We will measure the following outcomes for each program:

NMotion Skills

NMotion Skills trains participants annually with the goal of at least 25 participants per cohort and 80% of the participants who enroll graduating from the program. Of the graduates, our goal is to have 70% hired or promoted into full-time employment within six months. Our definition of full-time, quality employment means that an individual works somewhere between 32-40 hours per week, 50 weeks a year, receives benefits such as healthcare and makes a liveable wage based on local costs of living.

NMotion Founders Academy

12-month Goals and Metrics:

- NMotion Founders Academy Cohort 1 and 2 complete.
- 60 - 90 participants supported via the NMotion Founders Academy Program within 12-months.
- Each team will create at least one innovative product or service and develop an accompanying pitch deck and preliminary business plan (20 to 30 companies created annually)
- 100s of community members supported via public-facing webinars, workshops and office hours

NMotion Pre-Accelerator

The goal of the NMotion Pre-Accelerator program is for one-third of its graduates to go on to participate in a full-time, equity-based accelerator, or raise a seed round of at least \$50,000 within one year of participating in the NMotion Pre-Accelerator program. To date, across all existing gBETA markets, 50% of alumni have reached this goal. At a scale of one program per year we would expect the following:

YEAR 1	YEAR 2	YEAR 3
5 Companies	10 Companies	15 Companies
\$100K average follow-on venture capital per startup	4 Seed Rounds, 1 Series A Round	6 Seed Rounds, 2 Series A Rounds
15 Jobs	37 Jobs	50 Jobs

o How might those outcomes be measured and by whom?

These outcomes will be tracked by our program manager, who will collect demographic and financial data from program participants. The program impacts will be tracked and reported on using HubSpot, a data and client management system, and Airtable. These tools allow us to track company insights, deal tracking, pipeline management, and more.

o Does this act as a catalyst for co-investment/secondary investment? If yes, please Explain.

Yes. Over the past two years, graduates of NMotion powered by gener8tor have secured over \$4 million in follow-on investments and non-dilutive grants. We expect this to continue and increase.

• Partnerships –

o Have you partnered, or will you partner, with any community organizations?? Please name all current or prospective partnering organizations and describe how these partners have or will participate.

NMotion powered by gener8tor has direct ties with Nebraska Angels, Invest Nebraska and Nelnet, which serve as the state of Nebraska’s most active early stage, industry agnostic investor. These three organizations are the most common follow-on investors in NMotion program participants.

We are willing and open to partner with existing and new community organizations which can leverage our unique expertise to perform their missions. We enjoy cordial relationships with Omaha 100, Alpha Mission: Omaha, and Code Black. Our intention is to help increase community understanding and capacity to support skilled technology workers and high-growth startup entrepreneurs.

o Which, if any, of these partnerships have been formalized through a Memorandum of Understanding (MOU) or other formal agreements?

Nebraska Angels, Invest Nebraska and Nelnet are limited partners in gener8tor Fund VIII, Inc., which serves as the investment vehicle for NMotion powered by gener8tor investment programs. As part of their involvement they are required to complete a formal, legally binding agreement.

• **Displacement – Are any businesses or residents being displaced by your proposal? If yes, please explain.**

No.

• **Physical Location – Describe the physical location of the proposal, including address (if available) and details about the proposed location.**

These programs are location agnostic and would be open to any willing person living in any of the Qualified Census tracts.

- NMotion Skills works best in a virtual environment to allow participants to work at their schedule and location.
- NMotion Founders Academy and NMotion Pre-Accelerator will be conducted somewhere in North and South Omaha to best serve the community. We could conduct them anywhere that has a classroom or workshop environment, such as Highlander Accelerator, public libraries, or any other community space.

We want to house these programs in consultation with the application review committee and key community stakeholders to determine where we can have the most impact and create the greatest outcomes.

• **Qualified Census Tract – Describe the location in relation to the Qualified Census Tracts (QCT). Within one or more QCTs / Adjacent to one or more QCTs / Neither within or adjacent to the QCTs (Map resource: GIS mapping tool)**

Within one or more QCTs

o **Environmental assessment of subject site. Is the property a brownfield site?**

N/A

Zoning, Design, and Contracting

• **Property Zoning – Is the property properly zoned for your proposal and/or do you have proposal approval? You can check the zoning of the property by using the City of Omaha’s Zoning Lookup**

N/A

• **Utilities –**

o **Is the project connected to utilities?**

N/A

o **Will any utility upgrades be required?**

N/A

• Design, Estimating, and Bidding –

o Has design been completed?

N/A

o Has a construction bid package been developed? If not, how were cost estimates determined?

N/A

• General Contractor –

o Has a general contractor been selected?

N/A

o If so, was a public competitive bid process completed prior to awarding the contract? If not, why?

This is not a construction project.

FINANCIALS

• Request Rationale – Please provide rationale for the dollar amount of your request.

Our annual budget for the NMotion Skills Accelerator is \$500,000. This includes the following categories:

Staffing - \$247,000 is allocated to staffing. Staffing is the largest portion of our expenses, as the concierge support we offer each participant is essential. This expense covers two Program Managers and one Career Coach. All of these positions are full time and include fringe benefits such as healthcare.

Program Expenses - \$83,500 in program expenses goes to travel, software subscriptions for participants, and fractional staff time from support and operational staff such as sr. managing directors, operations managers, our graphic designers, Vice Presidents, legal, finance, etc. who have oversight and involvement in the programs.

Training Expenses - Our program expenses are \$80,750, which includes LinkedIn licenses for all participants.

Other Expenses - At \$42,296, our other expenses cover costs like recruiting, including posters and advertising, and promotional items. They also include brand licensing and contracts with other service providers necessary to deliver the best possible experience for our participants.

Indirect Costs - gener8tor has \$45,254 in indirect costs at the 10% de minimus rate.

Our annual budget for the NMotion Founders Academy and the NMotion Pre-Accelerator is \$450,000. This includes:

Staffing Costs - \$215,280 is our staffing costs. Staffing is always the bulk of our cost, as we believe individualized attention is essential for the success of the startups in our programs. This costs covers two Program Managers and one Associate, as well as fringe benefits.

Director Expenses - \$27,875 is our expenses for travel, software subscriptions, and promotional items which are essential in our recruitment.

Other - These costs of \$100,851 include our subscription to the Global Accelerator network subscription, contracts with service providers, rent and utilities, and fractional costs for support and operational staff such as sr. managing directors, operations managers, our graphic designers, Vice Presidents, legal, finance, etc. who have oversight and involvement in the programs.

Program Expenses - The \$36,500 expenses for our program include recruiting expenses for advertisements and expenses for program events such as our Mentor Swarm and Lunch and Learns.

Live Events - \$28,585 is our cost for live events such as our Showcase, which ensures that the startups in the program can present their innovations to the community and funders. These costs includes facility rental, refreshments, supplies such a A/V equipment, and printing.

Indirect Costs - gener8tor has \$40,909 in indirect costs at the 10% de minimus rate.

• Grant Funds Usage – How, specifically, will LB1024’s grant funds be used to support this proposal?

Grant funds will be used to cover the operational costs of implementing the three proposed programs (NMotions Skills, NMotion Academy and NMotion Pre-Accelerator) which includes costs incurred such as support staff time, venues and event expenses, program supplies, etc. as outlined in the attached budget.

• Proposal Financial Sustainability-

o If awarded LB1024 funding, will the proposal be fiscally sustainable (i.e., not require ongoing funding for operations, not be dependent on future funding requests)?

gener8tor has a history of creating sustainable programming in each market launched. Examples include:

1. **Corporate/Community Sponsorship:** In markets where gener8tor runs accelerator programming, corporations and community partners (e.g. foundations, universities, tech transfer offices, government and philanthropies) are invited to participate in the programming as mentors. This helps show the value of the programming and gives an insider perspective. After seeing initial success of the program, these partners have come on board to financially support the sustainability of the program. A task of the locally-based Program Manager is developing strategic relationships that can be leveraged to support the sustainability of the gBETA program in the long-term. This effort is supported by the gener8tor Business Development team, gBETA Managing Director and gBETA Operations Manager.
2. **Leveraging Our Corporate Innovation Network:** gener8tor's corporate program, the Corporate Innovation Network, includes a network of corporate venture capital, innovation, M&A and strategy executives. The Corporate Innovation Network is seven years old and most of the corporations have been in the network for at least three years. A significant number of these corporate partners have sponsored gener8tor programs, such as American Family Insurance, and commit to sustaining gener8tor programs nationwide.

o Please describe the fiscal operations of the proposal following this initial investment.

It is gener8tor's policy to maintain good accounting records based on U.S. Generally Accepted Accounting Principles (US GAAP). Accurate accounting and financial reporting within gener8tor are integral to providing the necessary information for budgeting, planning, reporting and management responsibilities. To achieve this accuracy, gener8tor fiscal operations and reporting systems are constructed so that:

- Each funding source is identified and individual expenses are coded in a manner to ensure that the expense is charged to the correct funding source (utilize classes in the accounting system)
- For any funding source with restricted funds, gener8tor routinely monitors expenses to ensure they are aligned with the contractual obligations and reviews restrictions on funding with local program staff regularly. All staff are required to log and submit receipts for all expenditures for reporting purposes as well.
- Payments are based on fully supporting documentation and approved by management prior to disbursement
- Financial records are supported by source documentation
- Access to the accounting information is limited to Finance personnel and select senior management
- Only reasonable and necessary costs for the performance of an award are charged to that award
- Reports can compare actual expenditures with planned expenditures

Within gener8tor financial management and reporting system, a number of checks and balances have been established. To the greatest extent possible, the gener8tor staff will strive to provide a complete separation of duties and responsibilities given the size of the Finance Department. However, through the combination of a sound accounting system, daily attention by staff, regular oversight by management, and independent activities gener8tor can achieve appropriate separation of duties and responsibilities.

Funding Sources –

o Please outline other funding sources including government-sponsored economic incentives you have committed, have currently pending, or anticipate exploring for this proposal.

NMotion does not currently have funding secured to support the proposed programming in Omaha. However, NMotion has successfully leveraged \$3.7M to support business acceleration in new investment to expand to serve communities statewide, demonstrating strong commitment from community partners and stakeholders.

o If you are anticipating other funding sources, when do you expect a decision on pending funding requests to be finalized? (Please list: Entity, Request, Status, and Expected Decision Date)

No other funding sources at this time.

o Are there any funds this proposal cannot continue without?

All funds are necessary to execute programming effectively.

• Scalability –

o Is this proposal scalable, or can it be completed in smaller components?

The proposal is scalable - our accelerator programs can add more cohorts in more locations if needed. Conversely, we can run fewer programs, or run only NMotion Skills, NMotion Founders Academy, or NMotion Pre-Accelerator.

o If so, please describe these components and ensure that the budget reflects such component breakdowns.

Each accelerator program can be run separately, though we believe they work best in conjunction. NMotion Skills, NMotion Founders Academy, and NMotion Pre-Accelerator are separate programs and any of them can be chosen as a single component or in combination.

• Financial Commitment* – Please describe the organizational and/or personal financial commitment to the proposal.

NMotion has an organizational commitment to this proposal. The board represents a broad spectrum of the community, including our partners such as University of Nebraska-Lincoln, Nelnet, Lincoln Partnership of Economic Development, Union Bank & Trust, Nobl Health and Invest Nebraska. Their time and advice have steered this proposal. We are committed to our expansion to Omaha which came from \$3.7M in direct investment from Nebraska corporations, organizations, and individuals. We will continue to look for additional funding for this proposal. Additionally, we believe that our proven ability to support a robust variety of programs in Lincoln has prepared us to be able to fully fund and support programming elsewhere in the state.



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Proposed Calendar*

**Please note that dates may be subject to change*

2023

- Announcement of NMotion Entrepreneurship and Workforce Development Programs
 - January 2023
- Training, Hiring, Recruitment, and Base Building
 - February - March 2023
- Founders Academy Cohort 1- Spring 2023
 - Program Dates: April - May
- Skills Accelerator Cohort 1 - Summer 2023
 - Programming: June - July
- Pre-Accelerator Cohort 1 - Fall 2023
 - Program Dates: September - October
- Skills Accelerator Cohort 2 - Winter 2023
 - Program Dates: November - December

2024

- Skills Accelerator Cohort 3: Spring 2024
 - February - March
- Founders Academy Cohort 2 - Spring 2024
 - Program Dates: April - May
- Skills Accelerator Cohort 4: Summer 2024
 - Program Dates: June - July
- Pre-Accelerator Cohort 2 - Fall 2024
 - Program Dates: September - October
- Skills Accelerator Cohort 5: Fall 2024
 - Program Dates: September - October
- Skills Accelerator Cohort 6: Winter 2024
 - Program Dates: December - January

2025

- Skills Accelerator Cohort 7: Spring 2025
 - Program Dates: March - April

- Founders Academy Cohort 3 - Spring 2025
 - Program Dates: April - May

A more detailed description of activities for the NMotion Skills Accelerator, Founders Academy and Pre-Accelerator can be found on the following pages.

Skills Accelerator Timeline

Overview

The Skills Accelerator program will be executed via the timeline below:

- | | |
|-------------------------------|-------------|
| ● Skills Accelerator Cohort 1 | Summer 2023 |
| ● Skills Accelerator Cohort 2 | Winter 2023 |
| ● Skills Accelerator Cohort 3 | Spring 2024 |
| ● Skills Accelerator Cohort 4 | Summer 2024 |
| ● Skills Accelerator Cohort 5 | Fall 2024 |
| ● Skills Accelerator Cohort 6 | Winter 2024 |
| ● Skills Accelerator Cohort 7 | Spring 2025 |

The NMotion Skills Accelerator typically runs 3-5 cohorts per year with 25-35 individuals per cohort annually. From contract inception to Program Kickoff is approximately 8-weeks. Each cohort can run anywhere between 5-weeks to 10-weeks depending on the career track, but on average cohorts last about 7-weeks in length. We require approximately 4-weeks in between cohorts to close out the preceding graduating cohort and prepare for the incoming cohort. Thus, the annual NMotion Skills Accelerator timeline is to be determined based on the preferences of the Economic Recovery Special Committee and sponsors to determine the number of cohorts per year.

A sample annual timeline is provided below.

Phase 1: Hiring and Onboarding - **December 2022 to January 2023**

- Recruitment and Hiring of the Program Manager
- Onboarding and Shadowing with the NMotion Staff

Phase 2: Announcement, Scheduling & Recruitment - **February 2023 to March 2023**

- Program Announcement
- Syllabus Completed
- Schedules Completed
- Draft Emails/ Program Communications

Phase 3: Cohort Sourcing #1 - **April 2023 to May 2023**

- Cohort Applications Due
- Cohort Interviews
- Accept Cohort

*Phase 4: Programming - **June 2023 to July 2023**

- NMotion Skills Accelerator Omaha Programming

Phase 5: Post Program & Interview Facilitation - **August 2023 and ongoing**

- Cohort Graduation/Survey Sent
- Post Program Report
- Post Program Debrief
- Interview Facilitation

Phase 6: Announcement, Scheduling & Recruitment of Cohort #2 - **July 2023**

Phase 7: Cohort #2 Sourcing - **August to October 2023**

*Phase 8: Cohort #2 Programming - **November 2023 to December 2023**

Phase 9: Post Program & Interview Facilitation for Cohort #2 - **January 2024 and ongoing**

Phase 10: Announcement, Scheduling & Recruitment of Cohort #3 - **November 2023**

Phase 11: Cohort #3 Sourcing - **December 2023 to January 2024**

*Phase 12: Cohort #3 Programming - **February to March 2024**

Phase 13: Post Program & Interview Facilitation for Cohort #3 - **April 2024 and ongoing**

*Please note that the programming length depends on the career path selected and may vary from 5 to 10 weeks. The agreed-upon annual timeline would be replicated each year through the 2025 funding period unless otherwise specified by the Economic Recovery Special Committee and partners.

Founders Academy Timeline

Overview

The Founders Academy program will be executed via the timeline below:

- **Founders Academy Cohort 1** Spring 2023
- **Founders Academy Cohort 2** Spring 2024
- **Founders Academy Cohort 3** Spring 2025

The following document outlines the timeline and deliverables for the Founders Academy program.

Phase 1: Announcement + Hiring

Target Dates: December 2022 - January 2023

To get the word out about hiring for Program Manager we will:

- Announce the program via a press release
- Post position on our careers page on the gener8tor website.
- Share on our social media networks (Facebook, Twitter, Instagram, LinkedIn).
- Connect with our network to personally spread the word to their contacts in Omaha

In order to identify Program Manager, we will seek advice and work closely with the Economic Recovery Special Committee.

Our ideal profile for a Founders Academy/Pre-Accelerator Program Manager is someone who already has ties to the entrepreneurial ecosystem and is mission-oriented. It is also important to note that our current team includes a diverse mix of backgrounds—some of our staff have a long history of working with entrepreneurs; others have deep experience in another field, but apply those tactics and networks to assist startups. We are open to a candidate of any background, provided they are aligned with our mission. During this time we will also set up the Founders Academy/Pre-Accelerator website where we will promote the program. Examples at <https://www.nmotion.co/>.

Phase 2: Training + Base-Building

Target Dates: February - March 2023

Once a Founders Academy/Pre-Accelerator Program Manager is identified, we will immediately move into the training and base-building phase. These two elements must take place concurrently.

The NMotion culture has been a key ingredient to our success. To that end, as we scale our programs we want new hires to spend a significant amount of time embedded with our existing team so they can absorb our culture, as well as our strategies and tactics for running

programs.

Training

In order to learn our strategies and tactics for running programs, as well as get acclimated to our culture, the Founders Academy/Pre-Accelerator Program Managers would be embedded with one of our teams for onboarding for at least two days. They will participate in every step of a Founders Academy and Pre-Accelerator program, including:

- Recruitment
- Interviewing and selection
- Kickoff Weekend
- Weekly team meetings
- Weekly Mentor Swarm sessions
- Weekly Lunch & Learn sessions
- Investor Swarm
- Pitch Night (“demo day”)

We will share extensive written and online training guides on each of these elements, but participating in the program itself will provide the Program Managers with greater confidence in running their own program.

Base-Building

The Founders Academy/Pre-Accelerator Program Managers will work on building the base for their own program. This includes the following deliverables:

- 1. Build recruitment pipelines** by making contact with entrepreneurs across the ecosystem. This includes direct outreach to individuals, as well as harnessing the networks of places these individuals convene (e.g. coworking spaces, labs, competitions, student organizations). We prefer a bottom-up approach.
 - Engaging local higher education partners is another helpful strategy to recruit for the Founders Academy cohort and address socio-economic disparities by leveraging their small business development and entrepreneurship programs to bridge the gap in training and opportunities. Each academic partner should have a strong history of outreach and engagement in the community, and these activities should be central components of their strategic plan.
- 2. Build mentor, customer and investor networks** by meeting with individuals, sharing details about Founders Academy, and gauging their willingness to support the Founders Academy startups. The following lists are not mutually exclusive (i.e. a mentor can be an investor), but will give a sense of where we will start:
 - **Mentors:** successful entrepreneurs and others with high-level startup experience (e.g. CTOs, CMOs); business leaders (e.g. Chamber members); service providers (e.g. attorneys, CPAs, bankers).
 - **Customers:** corporations, especially those doing internal innovation, M&A or corporate venture capital.
 - **Investors:** individual angel investors or those with the capacity to be angel investors; angel groups and networks; venture capital firms.
- 3. Identify potential applicants for first cohort**

- Hold office hours with leads discovered through recruitment pipelines.
 - Share program details with potential applicants.
 - Learn about potential applicants' startup ideas.
- Convert as many office hour meetings as possible into actual applications (online form).

Phase 2: Founders Academy (Spring 2023) Cohort

Target Dates: April 2023 Kickoff

The Founders Academy Program Managers will work to build connections in the local academic and entrepreneurship community, close the application window, run the interview and selection process, and launch the program.

This will entail the following deliverables:

- 1. Make a final push for applications. Close the application window.**
 - Send emails to anyone who has attended office hours.
 - Ask all pipeline contacts to send reminders via email, post in their offices, etc.
 - Post on social media (Twitter/ Instagram/ LinkedIn/ Facebook).
- 2. Review applications and schedule interviews over the course of one week.**
 - Carefully read through every application and do basic due diligence research.
 - Send email notifications to those selected; ask them to choose a slot via an online form.
- 3. Conduct interviews and select five companies.**
 - Founders Academy staff will participate in this process. As the program is designed for entrepreneurially minded students and technologists, staff seek out individuals who are interested in participating as an individual or a team to develop an innovative and marketable product or solution but will not be required to have a business idea to enroll in the program. Participants should be motivated and eager to learn.
 - Sponsors may be as involved in this process as their time allows.
- 4. Run Founders Academy Spring 2023, 2024 and 2025.** (See appendix for week-by-week schedule)
 - Founders Academy's commitment to each of the five startups includes
 - Weekly one-on-one meetings with program staff to develop and test their product or solution and create a minimum viable product (MVP)
 - Weekly lunch & learn with subject matter experts
 - Weekly quality control meetings
 - Final pitch night with accompanying pitch deck and business plan developed during the program

The metric of success for program participants long-term is that 1/4 of the companies created during Founders Academy go on to participate in a similar early-stage pre-accelerator program. Additionally, each team will have completed a pitch deck and business plan by the end of the four weeks.

A post-program report will be delivered to all sponsors a month after the program ends.

Appendix A: Founders Academy Program Schedule

Sprint	Programming
Kickoff Weekend	Kickoff <ul style="list-style-type: none"> - Pre-kickoff mixer - Typically on the weekend (full day of programming) - Content <ul style="list-style-type: none"> - Founders Academy program overview (including Startup founder guest speaker-- describe the journey in the early days) - Q&A
Week 1 - 2	Ideation <ul style="list-style-type: none"> - Reading Material: Play Bigger, How people get new ideas, Startup = Growth - One 1.5-hour session/week with each team - Check-in weekly - 1 Group Lunch & Learn (week 1) - Weekly Quality control session
Week 3	Validation <ul style="list-style-type: none"> - Reading Material: Lean Startup - Once landed on idea to pursue, need to move to find ways to test assumptions while starting to design what an MVP would look like. - One 1.5-hour session with each team - 1 Group Lunch & Learn - Quality control session
Week 4	Delivery <ul style="list-style-type: none"> - Once idea has some validation and MVP design is done, Team should focus on crafting their pitch and pitch deck - One 1.5-hour session with each team - 1 Quality control session - Final Pitch Night

Pre-Accelerator Accelerator Timeline

Overview

To execute the Pre-Accelerator program we will follow these **main sprints**.

- **Pre-Accelerator Cohort 1**

Fall 2023

The following document outlines the timeline and deliverables for the Pre-Accelerator program.

Phase 1: Base-Building

Target Dates: July - August 2023

Base-Building

The Program Managers will work on building the base for their Pre-Accelerator program expanding upon the ecosystem developed during the Founders Academy base-building phase. The Program Manager will also take the time to provide alumni opportunities to the Founders Academy cohort and coach them in preparation for applying to the Pre-Accelerator cohort. This includes the following deliverables:

- 1. Build recruitment pipelines** by making contact with entrepreneurs across the ecosystem. This includes direct outreach to individuals, as well as harnessing the networks of places these individuals convene (e.g. coworking spaces, labs, competitions, student organizations). We prefer a bottom-up approach.
- 2. Build mentor, customer and investor networks** by meeting with individuals, sharing details about Pre-Accelerator, and gauging their willingness to support the Pre-Accelerator startups. The following lists are not mutually exclusive (i.e. a mentor can be an investor), but will give a sense of where we will start:
 - **Mentors:** successful entrepreneurs and others with high-level startup experience (e.g. CTOs, CMOs); business leaders (e.g. Chamber members); service providers (e.g. attorneys, CPAs, bankers).
 - **Customers:** corporations, especially those doing internal innovation, M&A or corporate venture capital.
 - **Investors:** individual angel investors or those with the capacity to be angel investors; angel groups and networks; venture capital firms.
- 3. Identify potential applicants for first cohort**
 - Hold office hours with leads discovered through recruitment pipelines.
 - Share program details with potential applicants.
 - Learn about potential applicants' startup ideas.
 - Convert as many office hour meetings as possible into actual applications (online form).

Phase 2: Pre-Accelerator (Fall 2023) Cohort

Target Dates: September - October 2023

The Pre-Accelerator Program Manager will work to build connections in the local entrepreneurship community, close the application window, run the interview and selection process, and launch the program.

This will entail the following deliverables:

- 1. Make a final push for applications. Close the application window.**
 - Send emails to anyone who has attended office hours.
 - Ask all pipeline contacts to send reminders via email, post in their offices, etc.
 - Post on social media (Twitter/ Instagram/ LinkedIn/ Facebook).
- 2. Review applications and schedule interviews over the course of one week.**
 - Carefully read through every application and do basic due diligence research.
 - Send email notifications to those selected; ask them to choose a slot via an online form.
- 3. Conduct interviews and select five companies.**
 - Pre-Accelerator staff will participate in this process. Key factors for selection include:
 - Team – committed, capable, relatively complete.
 - Idea/Technology – scalability, venture-backable, competitive landscape.
 - Sponsors may be as involved in this process as their time allows.
- 4. Run Pre-Accelerator Fall 2023 and Fall 2024.** (See appendix for week-by-week schedule)
 - Pre-Accelerator’s commitment to each of the five companies includes:
 - Twice weekly, one-on-one meetings focused on refining the business model, growing customer traction, de-risking the business, and preparing for investor pitches.
 - Introductions to over 25+ local and national mentors (with help from the existing gener8tor network).
 - Investor Swarm (25+ pitches to investors/accelerators, existing gener8tor network + local investors).
 - A complete Executive Summary and pitch deck by the end of the program.
 - Pitch at Pitch Night (100+ attendees).

The metric of success for program participants long-term is that 1/3 of the companies raise at least \$50,000 in seed financing, gain acceptance into a full-time equity-based accelerator or get acquired. To date, 47% of Pre-Accelerator alumni have hit this metric. For all Pre-Accelerator statistics, please visit www.Pre-Acceleratorstartups.com/statistics.

A post-program report will be delivered to all sponsors a month after the program ends.

Phase 3: Ongoing Alumni Support

Target Dates: Ongoing

Following the program, our goal is to be on a “text message basis” with each startup, giving them access to ourselves, our team and our network on demand. All of this programming is free for startups that participate in any of gener8tor’s accelerator programs. This includes:

1. **[NMotion Growth Accelerator](#)** - This traditional Investment Accelerator is a nationally ranked, GOLD-tier accelerator (as ranked by the [Seed Accelerator Rankings Project](#)) that invests in high-growth startups. This investment-for-equity accelerator includes a \$100K investment into each of six startups that receive a concierge experience. NMotion supports the growth of these startups through our network of experienced mentors, technologists, corporate partners, angel investors and venture capitalists. Alumni of the NMotion Pre-Accelerator program will receive an automatic first-round interview for the

[NMotion Growth Accelerator](#), operated in Omaha at Millwork Commons, as well as any other gener8tor Investment Accelerator.

2. [OnRamp Conference Series](#) - OnRamp grew out of a desire to provide entrepreneurs at various stages of growth with access to high-level corporate leaders and investors. OnRamp has evolved into vertical-specific (i.e. Manufacturing, Healthcare, Insurance, etc.) events featuring conference programming and curated one-on-one pitch sessions between startups and corporate venture capital and innovation executives. gener8tor alumni companies receive first priority for meetings with VCs and corporations at these events, in hopes that they will turn into funding opportunities, and are first in line for speaking opportunities.
3. [Lightning Rounds](#) - gener8tor's Lightning Rounds connect startups with investors via quarterly quick-pitch opportunities. Investors commit to taking a block of meetings, startups apply to pitch them, and gener8tor facilitates the one-on-one pitches.
4. [Corporate Innovation Network](#) - gener8tor works under contract with 50+ corporate partners that are members of our Corporate Innovation Network for corporate venture capital, corporation innovation, M&A and strategy executives. Members span diverse industries and include Rockwell Automation, Allianz Life, Harley-Davidson, Boston Scientific and Beck's. gener8tor opens this network of corporate partners to participating startups and graduates of our accelerator programs.
5. [gener8tor Monthly Dealflow Emails](#) - Each month, gener8tor releases a report that includes all alumni of the gener8tor family of accelerators that are actively raising capital. These alumni are organized by the round they are raising. The report contains an overview, contact information, website, headquarters, amount raising, amount committed, demographic information provided by the founders, and a link to their executive summary. Each month this report is shared with a growing network of investors, currently 3,711. gener8tor also provides investors concierge reports based on industry, geography, etc. and is always happy to facilitate introductions.
6. **gener8tor Director of Startup Community** - The Director of Startup Community builds resources, spaces and networks for gener8tor startup alumni to connect, learn and grow. This includes additional opportunities for long-term mentorship, investor meetings, pitches and more following graduation of a gener8tor Accelerator.
7. **Reboot Programs** - Oftentimes, companies need help as alumni with things like raising their next round, getting more sales traction, or building out their board. Our targeted "reboot" programs help companies at the stages they are at, when they need an extra jolt of support.
8. **Office Hours** - Regular office hours are provided year-round by gener8tor staff for one-on-one monthly meetings with Program Directors.

Appendix B: Pre-Accelerator Program Schedule

Sprint	Programming
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Kickoff Weekend	<ul style="list-style-type: none"> ● Two days of training and community building ● Day one: <ul style="list-style-type: none"> ○ Syllabus Review ○ Introductions ○ NMotion Overview ○ Dinner with cohort ● Day two: <ul style="list-style-type: none"> ○ Legal 101 ○ Executive Summaries ○ VC Math ○ 1-1 Team meeting with each company
Week 1	<ul style="list-style-type: none"> ● Two, 1-1 team meetings ● Lunch & Learn: Researching Your Market Size + Competition. ● Mentor Swarm with five mentors
Week 2	<ul style="list-style-type: none"> ● Two, 1-1 team meetings ● Lunch & Learn: Determining Your Revenue Model and Pricing. ● Mentor Swarm with five mentors
Week 3	<ul style="list-style-type: none"> ● Two, 1-1 team meetings ● Lunch & Learn: Comparables and why they Matter. ● Mentor Swarm with five mentors
Week 4	<ul style="list-style-type: none"> ● Two, 1-1 team meetings ● Lunch & Learn: Setting Your Financing Goals + Milestones ● Mentor Swarm with five mentors
Week 5	<ul style="list-style-type: none"> ● Two, 1-1 team meetings ● Lunch & Learn: Get Nexted! ● Mentor Swarm with five mentors ● Pitch practices
Week 6	<ul style="list-style-type: none"> ● Two, 1-1 team meetings ● Lunch & Learn: How to Get Into an Investment Accelerator. ● Investor pitches
Week 7	<ul style="list-style-type: none"> ● Investor pitches ● Pitch Night (to the community)



Powered by gener8tor

Request Rationale Documentation

Program Rationale

Please see the attached case studies and one-pager from previous gener8tor programs that show gener8tor's track record as an accelerator partner and the desired outcomes we seek to replicate for the proposed programs under NMotion.

*Please note the gBETA Accelerator is akin to the NMotion Pre-Accelerator program.

Funding Rationale

The NMotion programs budgets are designed to ensure adequate staffing, support and resources that allow us to directly serve under and unemployed residents as well as local aspiring and existing entrepreneurs with a focus on reaching BIPOC and low-income communities as effectively as possible. The budgets below are reflective of actual incurred costs that similar programs have expensed in Lincoln and other communities across the country.

Our annual budget for the NMotion Skills Accelerator is \$500,000. This includes the following categories:

Staffing - \$247,000 is allocated to staffing. Staffing is the largest portion of our expenses, as the concierge support we offer each participant is essential. This expense covers two Program Managers and one Career Coach. All of these positions are full time and include fringe benefits such as healthcare.

Program Expenses - \$83,500 in program expenses goes to travel, software subscriptions for participants, and fractional staff time from support and operational staff such as sr. managing directors, operations managers, our graphic designers, Vice Presidents, legal, finance, etc. who have oversight and involvement in the programs.

Training Expenses - Our program expenses are \$80,750, which includes LinkedIn licenses for all participants.

Other Expenses - At \$42,296, our other expenses cover costs like recruiting, including posters and advertising, and promotional items. They also include brand licensing and contracts with other service providers necessary to deliver the best possible experience for our participants.

Indirect Costs - gener8tor has \$45,254 in indirect costs at the 10% de minimus rate.

Our annual budget for the NMotion Founders Academy and the NMotion Pre-Accelerator is \$450,000. This includes:

Staffing Costs - \$215,280 is our staffing costs. Staffing is always the bulk of our cost, as we believe individualized attention is essential for the success of the startups in our programs. This costs covers two Program Managers and one Associate, as well as fringe benefits.

Director Expenses - \$27,875 is our expenses for travel, software subscriptions, and promotional items which are essential in our recruitment.

Other - These costs of \$100,851 include our subscription to the Global Accelerator network subscription, contracts with service providers, rent and utilities, and fractional costs for support and operational staff such as sr. managing directors, operations managers, our graphic designers, Vice Presidents, legal, finance, etc. who have oversight and involvement in the programs.

Program Expenses - The \$36,500 expenses for our program include recruiting expenses for advertisements and expenses for program events such as our Mentor Swarm and Lunch and Learns.

Live Events - \$28,585 is our cost for live events such as our Showcase, which ensures that the startups in the program can present their innovations to the community and funders. These costs includes facility rental, refreshments, supplies such a A/V equipment, and printing.

Indirect Costs - gener8tor has \$40,909 in indirect costs at the 10% de minimus rate.



Skills Accelerator

Skills training alone is not enough. Workers need skills, but they also need support and connections. gener8tor's Skills Accelerator provides the tools communities need to move people up the digital skills ladder - a completely virtual program that includes in-demand technical and workforce skill curriculums, coaching, job search tools and placement assistance for in-person and remote jobs. Each community's program is customized to meet local workforce needs through a curated online training curriculum developed in partnership with Microsoft and LinkedIn.



CAREER TRACK OPPORTUNITIES

13

JOB PLACEMENT
Within 3 months of graduation

67%

PARTICIPANTS OF COLOR

64%

WOMEN PARTICIPANTS

68%

GRADUATION RATE

79%

CERTIFICATES RECEIVED BY GRADUATES

1,600+

EMPLOYERS IN OUR NETWORK

400+

AVERAGE SALARY OF HIRED PARTICIPANTS

\$53,907

How we are different



✓ OUR MODEL

gener8tor's Skills Accelerator combines the traditional accelerator model utilized for early-stage startups and adapts it to serve workers and employers. Rapidly accelerated learning with one-on-one support makes a difference in participant's careers and lives quickly. In addition to the skills participants gain, their coaches provide guidance and support, as well as deadlines and accountability to keep them moving forward.

✓ OUR ACCESS + COMMITMENT TO THE COMMUNITY

We focus on underserved, historically uninvested and recently COVID impacted populations and communities. Remote and on-demand programming creates opportunity for individuals who can't physically be in a group setting due to geography, family commitments or erratic work schedules. gener8tor's established and successful recruiting model finds participants disconnected to the traditional workforce system and helps them succeed.

✓ OUR PLACEMENT

Skills Accelerator participants receive a wide range of support for success – assistance refreshing or creating resumes, LinkedIn profiles, and cover letter templates; mock interviews; connections to industry experts during lunch and learns; and concierge job placement. After graduation, gener8tor facilitates introductions and interviews with our startup and corporate partners but most importantly, the local hiring partners seeking talent.

Current Cap Table*As of April 1, 2022*

Member	Class A Common Shares	Participation Units
Joe Kirgues	100,000	-
Troy Vosseller	100,000	-
New Ventures, LLC	54,546	-
CSA Partners, LLC	-	-
Chris Abele	-	-
Wisconsin Alumni Research Foundation	-	-
Arenberg Holdings LLC	-	-
N29 Capital Partners, LLC	-	-
MG Investments, LLC	-	-
Robert Barnard	-	-
Total Issued	254,546	0
Profit Sharing Plan (available for issuance)	-	136,365
Fully Diluted	254,546	136,365

Assumed Cap Table

Member	Class A Common Shares	Participation Units
Joe Kirgues	100,000	-
Troy Vosseller	100,000	-
New Ventures, LLC	54,546	-
CSA Partners, LLC	-	-
Chris Abele	-	-
Wisconsin Alumni Research Foundation	-	-
Arenberg Holdings LLC	-	-
N29 Capital Partners, LLC	-	-
MG Investments, LLC	-	-
Robert Barnard	-	-
Maggie Brickerman*		27,273
Abigail Kursel (maiden: Taubner)*		27,273
Chelsea Linder**		10,909
Louis Condon*		6,135
Remainder of PSP Units		64,775
Total	254,546	136,365

fully vested**subject to additional vesting per grant agreement***Liquidation Waterfall**

Amount to be Distributed	\$3,000,000
---------------------------------	--------------------

Waterfall Step 1 Distribution	\$850,000
Waterfall Step 2 Distribution	\$2,149,961.18
Waterfall Step 2 Distribution	\$38.82

Member	Waterfall Step 1	Waterfall Step 2
Joe Kirgues	\$0.00	\$549,987.38
Troy Vosseller	\$0.00	\$549,987.38
New Ventures, LLC	\$300,000.00	\$299,996.12
CSA Partners, LLC	\$150,000.00	\$0.00
Chris Abele	\$150,000.00	\$0.00
Wisconsin Alumni Research Foundation	\$150,000.00	\$0.00
Arenberg Holdings LLC	\$25,000.00	\$0.00
N29 Capital Partners, LLC	\$25,000.00	\$0.00
MG Investments, LLC	\$25,000.00	\$0.00
Robert Barnard	\$25,000.00	\$0.00
Maggie Brickerman	\$0.00	\$149,998.06
Abigail Kursel (maiden: Taubner)	\$0.00	\$149,998.06
Chelsea Linder	\$0.00	\$59,998.12
Louis Condon	\$0.00	\$33,741.73
Remainder of PSP Units	\$0.00	\$356,254.33
Total	\$850,000.00	\$2,149,961.18

Cash From Operations Waterfall

Amount to be Distributed	\$500,000
---------------------------------	------------------

Member	Total Proceeds	% of Total
Joe Kirgues	\$91,665.75	18.33%
Troy Vosseller	\$91,665.75	18.33%
New Ventures, LLC	\$100,000.00	20.00%
CSA Partners, LLC	\$25,000.00	5.00%
Chris Abele	\$25,000.00	5.00%
Wisconsin Alumni Research Foundation	\$25,000.00	5.00%
Arenberg Holdings LLC	\$4,167.12	0.83%
N29 Capital Partners, LLC	\$4,167.12	0.83%
MG Investments, LLC	\$4,167.12	0.83%
Robert Barnard	\$4,167.12	0.83%
Maggie Brickerman	\$25,000.00	5.00%
Abigail Kursel (maiden: Taubner)	\$25,000.00	5.00%
Chelsea Linder	\$9,999.82	2.00%
Louis Condon	\$5,623.69	1.12%
Remainder of PSP Units	\$59,376.49	11.88%

Total

\$500,000.00

100.00%

Class B Common Shares	Total Common Shares (with PSP)	% Total (with PSP)	% Fully Diluted (with PSP)	Capital Contributions
-	100,000	24.44%	18.33%	\$0
-	100,000	24.44%	18.33%	\$0
54,546	109,092	26.67%	20.00%	\$300,000
27,273	27,273	6.67%	5.00%	\$150,000
27,273	27,273	6.67%	5.00%	\$150,000
27,273	27,273	6.67%	5.00%	\$150,000
4,546	4,546	1.11%	0.83%	\$25,000
4,546	4,546	1.11%	0.83%	\$25,000
4,546	4,546	1.11%	0.83%	\$25,000
4,546	4,546	1.11%	0.83%	\$25,000
154,549	409,095	100.00%	75.00%	\$850,000
-	136,365		25.00%	\$0
154,549	545,460	100.00%	100.00%	\$850,000

Class B Common Shares	Total Common Shares (with PSP)	% Total (with PSP)	Capital Contributions	Step 1%
-	100,000	18.33%	\$0.00	0.00%
-	100,000	18.33%	\$0.00	0.00%
54,546	109,092	20.00%	\$300,000.00	35.29%
27,273	27,273	5.00%	\$150,000.00	17.65%
27,273	27,273	5.00%	\$150,000.00	17.65%
27,273	27,273	5.00%	\$150,000.00	17.65%
4,546	4,546	0.83%	\$25,000.00	2.94%
4,546	4,546	0.83%	\$25,000.00	2.94%
4,546	4,546	0.83%	\$25,000.00	2.94%
4,546	4,546	0.83%	\$25,000.00	2.94%
	27,273	5.00%	\$0.00	0.00%
	27,273	5.00%	\$0.00	0.00%
	10,909	2.00%	\$0.00	0.00%
	6,135	1.12%	\$0.00	0.00%
	64,775	11.88%	\$0.00	0.00%
154,549	545,460	100.00%	\$850,000.00	100%

<p>Step 2 Max Distribution \$2,149,961.18</p>

Waterfall Step 3	Total Proceeds	% of Total
\$7.12	\$549,994.50	18.33%
\$7.12	\$549,994.50	18.33%
\$7.76	\$600,003.88	20.00%
\$1.94	\$150,001.94	5.00%
\$1.94	\$150,001.94	5.00%
\$1.94	\$150,001.94	5.00%
\$0.32	\$25,000.32	0.83%
\$0.32	\$25,000.32	0.83%
\$0.32	\$25,000.32	0.83%
\$0.32	\$25,000.32	0.83%
\$1.94	\$150,000.00	5.00%
\$1.94	\$150,000.00	5.00%
\$0.78	\$59,998.90	2.00%
\$0.44	\$33,742.16	1.12%
\$4.61	\$356,258.94	11.88%
\$38.82	\$3,000,000.00	100.00%

Total PSP Units					
136,365					
Profit Sharing Plan Percentages and Number of Units					
	1%	2%	3%	4%	5%
	5,454.60	10,909.20	16,363.80	21,818.40	27,273.00
Total % Fully Diluted Shares Owned by Class B Holders					
28.33370%					

Step 2%	Step 3%
25.58%	18.33%
25.58%	18.33%
13.95%	20.00%
0.00%	5.00%
0.00%	5.00%
0.00%	5.00%
0.00%	0.83%
0.00%	0.83%
0.00%	0.83%
0.00%	0.83%
6.98%	5.00%
6.98%	5.00%
2.79%	2.00%
1.57%	1.12%
16.57%	11.88%
100%	100%

NMotion Skills Annual Budget

<u>Category</u>	<u>Cost Plus</u>
Salary/Fringe	\$ 247,000
Program Expenses	\$ 83,500
Training	\$ 80,750
Other	\$ 43,296
Indirect	\$ 45,455
Total	<u><u>\$ 500,000</u></u>

NMotion Academy and Pre-Accelerator Budget

<u>Category</u>	<u>Cost Plus</u>
Salary/Fringe	\$ 215,280
Director Expenses	\$ 27,875
Program Expenses	\$ 36,500
Event Expenses	\$ 28,585
Other Expenses	\$ 100,851
Indirect	\$ 40,909
Total	<u><u>\$ 450,000</u></u>

Line Item	Description
SALARIES	
Skilling Program Manager	Annual Salary & Fringe
Skilling Program Manager	Annual Salary & Fringe
Skilling Career Coach	Annual Salary & Fringe
Total	
PROGRAM EXPENSES	
Fractional Graphic Design / Fractional Travel	this accountns for the proportional share of corporate meetings
Software Subscriptions	Annual Fees
Total	
TRAINING	
software for program participants	Linkedin Learning
OTHER	
Brand Use	gener8tor brand extension
Service Provider Contracts	service providers
Swag/Promotional Items	Includes t- shirts, office supplies, etc.
Recuiting Advertisements	flyers
Total	
Indirect Cost	
GRAND TOTAL:	

Annual Cost	Justification
\$ 84,500.00	pays its Program Mangers across the
\$ 84,500.00	pays its Program Managers accross
\$ 78,000.00	pays its career coaches across the
#####	
\$ 65,000.00	proportional share amount
\$ 13,500.00	Needed for program operation
\$ 5,000.00	operation - Microsoft Office, LinkedIn,
\$ 83,500.00	
\$ 80,750.00	fully access our programming
\$ 3,750.00	brand we have a flat market fee.
\$ 16,951.00	costs to establish and maintain on an
\$ 7,000.00	the program and building community
\$ 15,594.70	the program and get a sufficient
\$ 43,295.70	
\$ 45,454.57	
#####	

Line Item	Description
SALARIES	
Salary	fringe benefits such as healthcare
Salary	as healthcare
NMotion Associate Salary	with day- to-day tasks and program
Total:	
DIRECTOR EXPENSES	
Travel	meetings
Software Subscriptions	Office Suite, etc.
Swag/Promotional Items	Includes t- shirts, office supplies, etc.
Total:	
OTHER	
Fractional Legal / Fractional	accoutns for the proportional share of time
Brand Use	gener8tor brand extension
Service Provider Contracts	providers
Subscription	Network subscription to GAN
Rent & Utilities	Anticipated rent and utility costs
Total:	
PROGRAM EXPENSES	
Recruting Ad Spend	Includes radio and social media ads and flyers
Kickoff/Wrapup	beverages for participants, and well as these
Lunch & Learns	Lunch & Learn food and beverages
Mentor Swarm	Food, Supplies & Thank you gifts for mentors
Total:	
LIVE EVENTS	
Facility	event of the program
Food + Beverage	event
Supplies + Printing	program brochures, creating party favors for
Total:	
Indirect Cost:	
GRAND TOTAL:	

Annual Cost	
\$	97,500.00
\$	97,500.00
\$	20,280.00
\$	215,280.00
\$	13,500.00
\$	5,000.00
\$	9,375.00
\$	27,875.00
\$	37,000.00
\$	3,750.00
\$	16,951.00
\$	3,150.00
\$	40,000.00
\$	100,851.00
\$	17,500.00
\$	8,125.00
\$	5,375.00
\$	5,500.00
\$	36,500.00
\$	15,000.00
\$	5,460.00
\$	8,125.00
\$	28,585.00
\$	40,909.10
\$	450,000.10

Justification
across the country
Managers accross the country
\$15/hr based on 20 hours per week and 52 weeks in a year
Needed for program operation
Needed for program operation
community
amount
market fee.
maintain on an anual legal fee and accounting basis.
participating company and Global Accelerator Network suite of
Anticipated costs based on 20 market average
sufficient number of quality applicants
social element to the program
cohort members and so they can discuss and share their ideas
new companies and ensure their future success
hold all event attendees
this helps ensure we get community participation and local
for its various pre-accelerator and accelerator programs

Grant Application

Row 213

Organization Name (if applicable)	Pattys Childcare Center
Physical Address	5125 S 24TH ST OMAHA NE 68107
Mailing Address	4102 S 13TH ST OMAHA NE 68107
Website	https://www.pattyschildcarepapillion.com/
Social Media Accounts	
Name	Gloria P Avalos
Title	Owner
Email Address	pattyschildcarecenter@yahoo.com
Phone	+1 (402) 885-8775
Team	Yes
	Sonia Macias, Ralph Gladbach, Jim Henderson
Organizational Chart	Pattys childcare center - childcare center owner/director - Gloria P Avalos
Other Completed Projects and/or Accomplishments	
Proposal Title	Pattys Childcare Center
Total Budget (\$)	\$2,000,000.00
LB1024 Grant Funding Request (\$)	\$2,000,000.00
Proposal Type	Service/program
Brief Proposal Summary	<p>Pattys Childcare center, we offer professional childcare. With a foundation on bilingual learning our staffs are trained to give a quality education to the kids and parents in our center. We have two locations one at 1216 Royal Dr Papillion NE 68046 with a capacity of 100 children and we have 10 employees the second location 4102 S 13th st Omaha ne 68107 with a capacity of 99 children and we have 28 employees. We have been able to see the need that exists in South Omaha for child care, that is why we would like to be able to expand our location, in June 2021 we bought a building in South Omaha located at 5125 s 24th St. We bought this building with the purpose of making it a child</p>

care center, due to the high price of construction at this time we have not been able to do so. At the moment we plan to rent it for an event venue. in which we can raise the cash to be able to build our child care center. we have the plans and the cost of construction. The construction preliminary plans are designed for 200 children, which will generate 60 jobs in the area. This building has a large parking lot which in the future we would like to build a basketball court to be able to promote the sport among boys and girls in the area this program will generate 13 jobs for after school programs The cost of this project is 2 million. the budget that we have was made in the year 2021 for which prices have risen and now we are estimating around 2 million for 2023.

Timeline	material for construction estimate arrival Jan 2023 - March 2023 Start of construction for childcare center - March 2023 - Sep 2023 Licenses/Permits - 60 days September 2023 - November 2023 Opening - December 2023 - January 2024
Percentage completed by July 2025	100%
Funding Goals	Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha)
Community Needs	Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	the need of better and qualify childcare centers in our south Omaha area.
Visioning Workshop Findings Alignment	by having this new childcare center in the hearth of south Omaha will give a new view by offering high quality learning.
Priorities Alignment	this childcare will offer long term employment in our south Omaha area with a high quality learning facility.
Economic Impact	will create permanent positions
	45-60 new jobs
	100
	\$12-18 per hour
	this new business will always create immediate opportunity
Community Benefit	by having a new childcare center with qualifying staffs, will help us bring new cultures to the south Omaha area.
	this is a needed service for a quality of life, because this will be

a bilingual childcare center. a lot of families are in need of bilingual daycares .

Best Practices/Innovation this will incorporate a new way by knowing that this is a bilingual facility not just Spanish and English, but will also want to incorporate other cultures.

Outcome Measurement new modern and better education for the kids in our community, with this will come competitive wages for educators.

the outcome will be measure after the project is done and by the state of Nebraska and the owner Gloria P Avalos.

N/A

Partnerships No

Displacement No

Displacement explanation

Physical Location 5125 S 24TH ST OMAHA NE 68107 This building is big in squared foot and is in the hearth of the south Omaha area.

Qualified Census Tract Within one or more QCTs

Additional Location Documents yes

Property Zoning Yes

Is the project connected to utilities?

Yes

No

Design, Estimating, and Bidding

Yes

General Contractor Yes

No

it was not need it, we have been working with the contractors before and we would like to work with them again

Request Rationale	the amount requested will be used for the construction inside and outside the building, construction material, and permits.
Grant Funds Usage	the grand funds will help us start the construction for the building.
Proposal Financial Sustainability	Yes fiscal operation after the initial investment will be on mid 2024
Funding Sources	N/A N/A No
Scalability	no N/A
Financial Commitment	our current daycare is financeable stable and will be able to provide need it income if necessary. but we will also look for loans in the banks we have work with them before.
ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
ARPA Reporting and Monitoring Process Acknowledgme	<input checked="" type="checkbox"/>
LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
Public Information	<input checked="" type="checkbox"/>
File Uploads	Additional Location Documents (see application for list) Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Plans and detailed descriptions, including pictures and a map of the site location/surrounding area Proposal Budget/Sources and Uses

FLOOR PLAN
DATE: 07/17/12



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Sheet Name	Part (RM)
Checked By	RM
Drawn By	CE
Sheet Number	2000

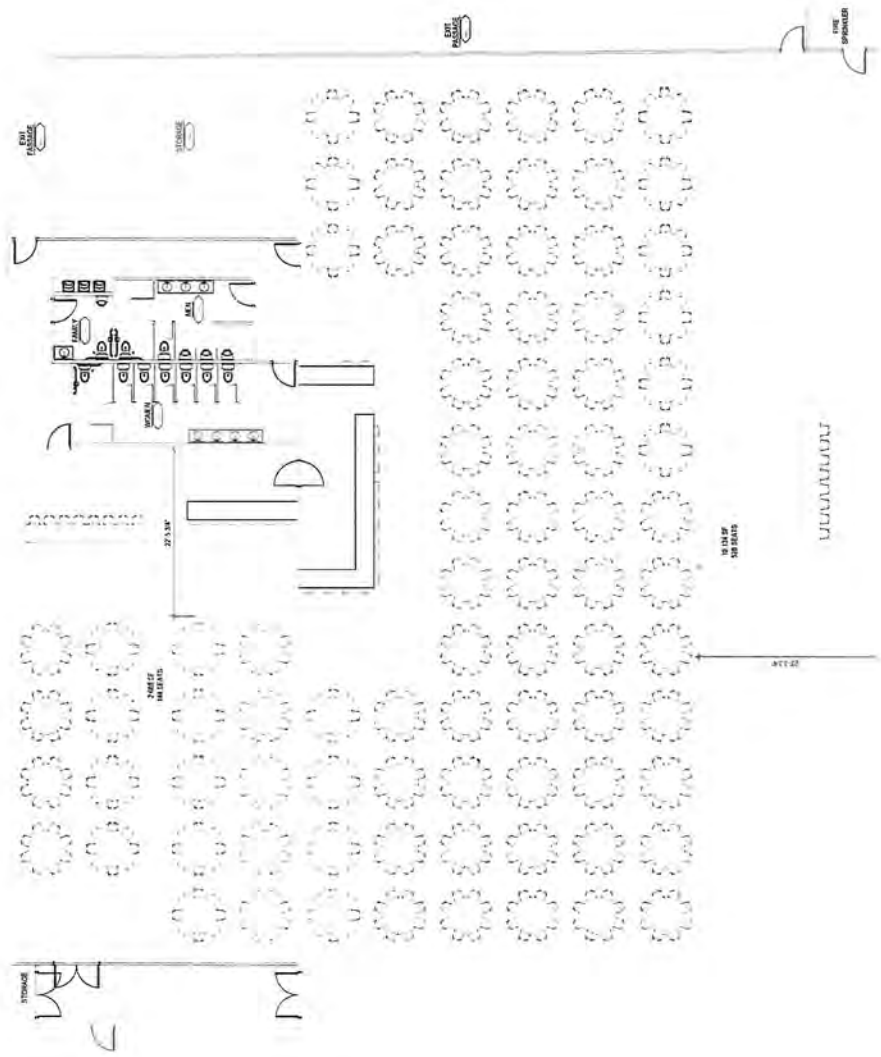
No.	Date	In.	Case



ROBERT W. ENGEL AND ASSOCIATES, ARCHITECTS
 2443 South 156th Circle
 Omaha, NE 68130-2512
 (402) 330-8287 Fax: (402) 330-8331
 email: RWEArchitects@RWEArchitects.com

5125 S 24TH STREET
 OMAHA, NEBRASKA

PROGRESS
 PRINT
 (NOT FOR CONSTRUCTION)



Project Name: Patty's Childcare Center
5125 S 24th St Omaha NE 68107

Client Name: Gloria P Avalos

Estimate Date: 7/16/2021

Estimated by: Zahra J.

Review Date: 7/21/2021

Reviewed by: Maranda A.

NO.	Bid Item Description	Bid Item Total
01	General Requirements	\$ 1,555
06	Woods, Plastics, and Composites	\$ 108,155
08	Openings	\$ 40,925
09	Finishes	\$ 501,077
12	Furnishings	\$ 30,000
21	Fire Suppression	\$ 20,000
22	Plumbing	\$ 100,000
23	Heating, Ventilating, And Air Conditioning (HVAC)	\$ 80,000
26	Electrical	\$ 100,000
Contingency (5%)		\$ 49,086
General Construction Fee		\$ 98,171
Total Bid Items 1- 50		\$ 1,128,970

**Allowances provided where exact quantities/measurements were unclear, materials not yet specified or further assessment is needed.

** Material pricing may fluctuate based upon construction start date.

Jul 01, 2021 - 2:18pm C:\2020 Projects\A2004 Patty's Childcare\A2004 AD1-1.dwg (Owner)



NORTH
DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

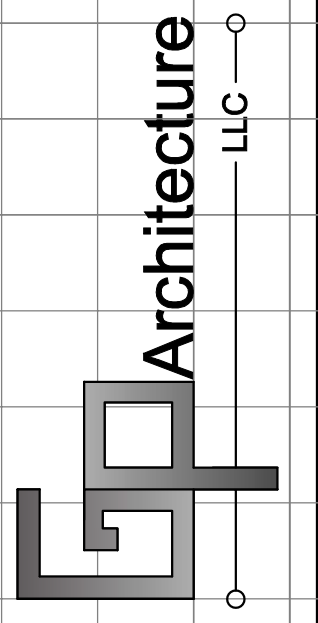
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DESIGNED: REG
DRAWN: REG
CHECKED: REG
DATE: 6-29-2021

PRELIMINARY
ONLY - NOT FOR
CONSTRUCTION

PATTY'S CHILDCARE
BUILDING RENOVATION PROJECT
5125 S. 24TH STREET
OMAHA, NE 68107
DEMOLITION PLAN

1708 Childs Road East
Bellevue, NE 68005
(402) 934-7749



PROJECT NO.
A2004

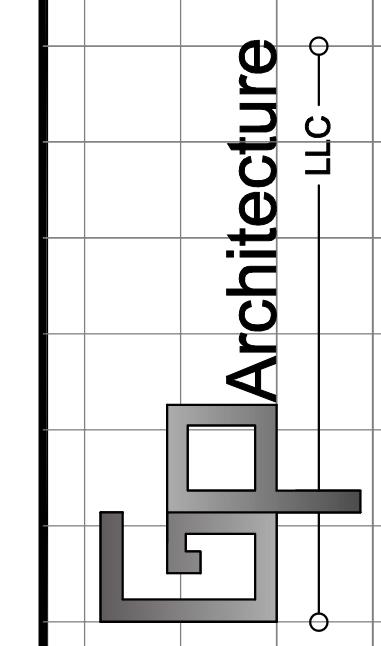
SHEET NO.
AD1.1

DESIGNED: REG
 DRAWN: REG
 CHECKED: REG
 DATE: 6-29-2021

PRELIMINARY
 ONLY - NOT FOR
 CONSTRUCTION

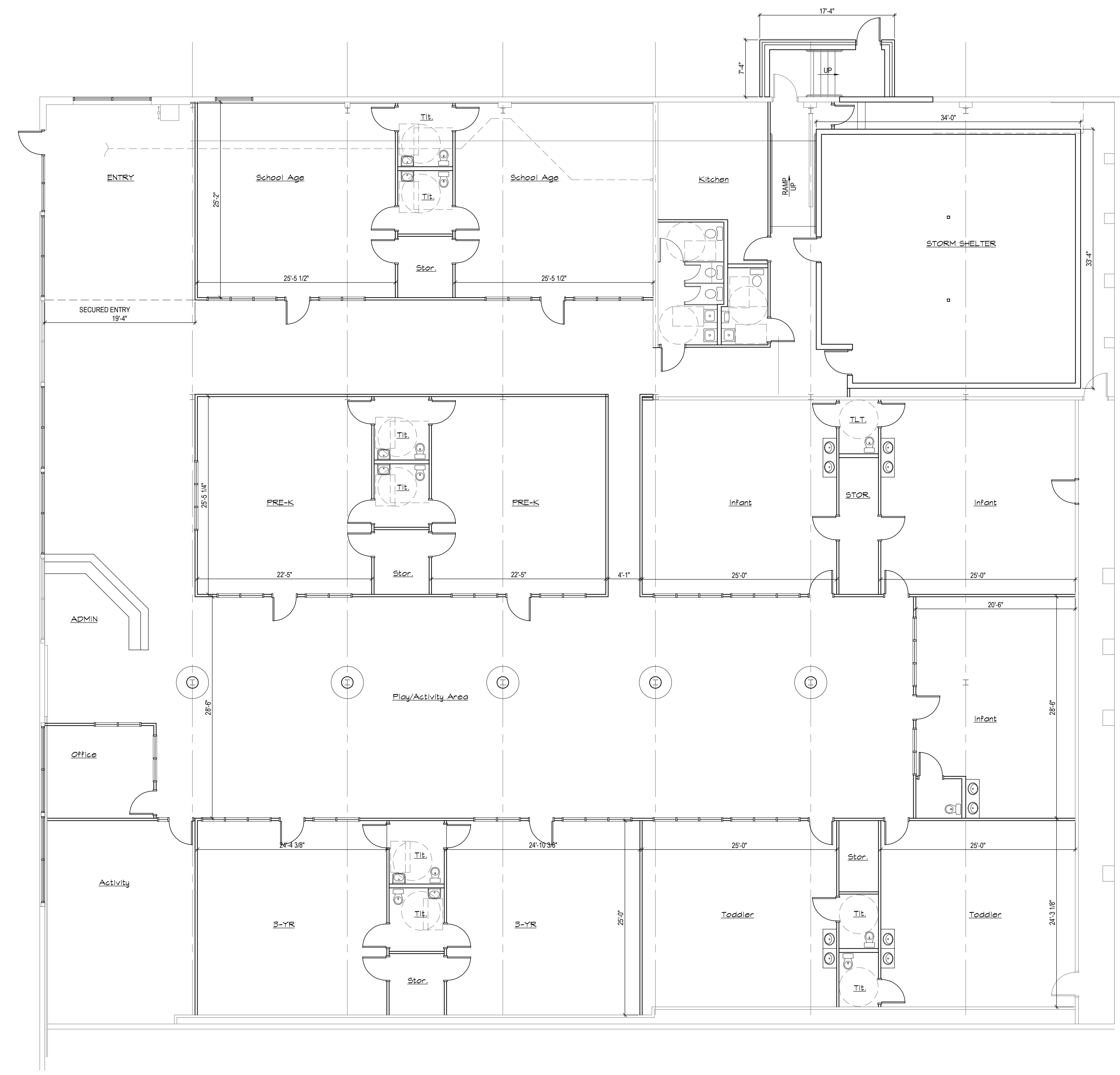
PATTY'S CHILDCARE
 BUILDING RENOVATION PROJECT
 5125 S. 24TH STREET
 OMAHA, NE 68107

1708 Childs Road East
 Bellevue, NE 68005
 (402) 934-7749



PROJECT NO.
 A2004

SHEET NO.
 A11



PRELIMINARY FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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<p>A. U.S. DEPARTMENT OF HOUSING & URBAN DEVELOPMENT SETTLEMENT STATEMENT</p>	<p>B. TYPE OF LOAN: 1. <input type="checkbox"/> FHA 2. <input type="checkbox"/> FmHA 3. <input type="checkbox"/> CONV. UNINS. 4. <input type="checkbox"/> VA 5. <input type="checkbox"/> CONV. INS. 6. FILE NUMBER: 21-51448 7. LOAN NUMBER: 8. MORTGAGE INS CASE NUMBER:</p>
---	--

C. NOTE: *This form is furnished to give you a statement of actual settlement costs. Amounts paid to and by the settlement agent are shown. Items marked "POC" were paid outside the closing; they are shown here for informational purposes and are not included in the totals.*
1.0 3/98 (21-51448.PFD/21-51448/32)

<p>D. NAME AND ADDRESS OF BORROWER: PATTY'S CHILD CARE CENTER, INC. 5125 S 24 ST OMAHA, NE 68107</p>	<p>E. NAME AND ADDRESS OF SELLER: DARYLL EISE and AMYLEISE</p>	<p>F. NAME AND ADDRESS OF LENDER:</p>
---	--	--

<p>G. PROPERTY LOCATION: 5125 S 24 ST OMAHA, NE 68107 DOUGLAS County, Nebraska LOTS 9, 10, 11 AND 12, BLOCK 8, SO OMAHA 1ST ADD</p>	<p>H. SETTLEMENT AGENT: Cornhusker Land Title Company PLACE OF SETTLEMENT 4091 South 84th Street Omaha, NE 68127</p>	<p>I. SETTLEMENT DATE: June 1, 2021</p>
---	---	--

J. SUMMARY OF BORROWER'S TRANSACTION	
100. GROSS AMOUNT DUE FROM BORROWER:	
101. Contract Sales Price	1,300,000.00
102. Personal Property	
103. Settlement Charges to Borrower (Line 1400)	1,796.00
104.	
105.	
<i>Adjustments For Items Paid By Seller in advance</i>	
106. City/Town Taxes	to
107. County Taxes	06/01/21 to 01/01/22
108. Assessments	to
109.	
110.	
111.	
112.	
120. GROSS AMOUNT DUE FROM BORROWER	1,311,465.00
200. AMOUNTS PAID BY OR IN BEHALF OF BORROWER:	
201. Deposit or earnest money	10,000.00
202. Principal Amount of New Loan(s)	
203. Existing loan(s) taken subject to	
204.	
205.	
206.	
207.	
208. Purchase Money Note	975,000.00
209.	
<i>Adjustments For Items Unpaid By Seller</i>	
210. City/Town Taxes	to
211. County Taxes	to
212. Assessments	to
213.	
214.	
215.	
216.	
217.	
218.	
219.	
220. TOTAL PAID BY/FOR BORROWER	985,000.00
300. CASH AT SETTLEMENT FROM/TO BORROWER:	
301. Gross Amount Due From Borrower (Line 120)	1,311,465.00
302. Less Amount Paid By/For Borrower (Line 220)	(985,000.00)
303. CASH (X FROM) (TO) BORROWER	326,465.00

K. SUMMARY OF SELLER'S TRANSACTION	
400. GROSS AMOUNT DUE TO SELLER:	
401. Contract Sales Price	1,300,000.00
402. Personal Property	
403.	
404.	
405.	
<i>Adjustments For Items Paid By Seller in advance</i>	
406. City/Town Taxes	to
407. County Taxes	06/01/21 to 01/01/22
408. Assessments	to
409.	
410.	
411.	
412.	
420. GROSS AMOUNT DUE TO SELLER	1,309,669.00
500. REDUCTIONS IN AMOUNT DUE TO SELLER:	
501. Excess Deposit (See Instructions)	
502. Settlement Charges to Seller (Line 1400)	125,180.38
503. Existing loan(s) taken subject to	
504. Payoff First Mortgage	
505. Payoff Second Mortgage	
506.	
507. (Deposit disb. as proceeds)	
508. Purchase Money Note	975,000.00
509.	
<i>Adjustments For Items Unpaid By Seller</i>	
510. City/Town Taxes	to
511. County Taxes	to
512. Assessments	to
513.	
514.	
515.	
516.	
517.	
518.	
519.	
520. TOTAL REDUCTION AMOUNT DUE SELLER	1,100,180.38
600. CASH AT SETTLEMENT TO/FROM SELLER:	
601. Gross Amount Due To Seller (Line 420)	1,309,669.00
602. Less Reductions Due Seller (Line 520)	(1,100,180.38)
603. CASH (X TO) (FROM) SELLER	209,488.62

The undersigned hereby acknowledge receipt of a completed copy of pages 1&2 of this statement & any attachments referred to herein.

Borrower PATTY'S CHILD CARE CENTER, INC.
 BY: _____
 President

Seller
DARYLL EISE
AMYLEISE

L. SETTLEMENT CHARGES

700. TOTAL COMMISSION Based on Price		\$ 1,300,000.00 @ 5.0000 %	65,000.00		
<i>Division of Commission (line 700) as Follows:</i>					
701.	\$ 32,500.00	to	INVESTORS REALTY INC.		
702.	\$ 32,500.00	to	LATINO INVESTMENTS LLC		
703.	Commission Paid at Settlement				65,000.00
704.	to				
800. ITEMS PAYABLE IN CONNECTION WITH LOAN					
801.	Loan Origination Fee	1.0000 %	to		
802.	Loan Discount	%	to		
803.	Appraisal Fee		to		
804.	Credit Report		to		
805.	Lender's Inspection Fee		to		
806.	Mortgage Ins.App. Fee		to		
807.	Assumption Fee		to		
808.					
809.					
810.					
811.					
900. ITEMS REQUIRED BY LENDER TO BE PAID IN ADVANCE					
901.	Interest From	to	@ \$	/day (days %)	
902.	MIP Totl ns. for Life Of Loan	for	months to		
903.	Hazard Insurance Premium for	1.0 years to			
904.					
905.					
1000. RESERVES DEPOSITED WITH LENDER					
1001.	Hazard Insurance	months @ \$		per month	
1002.	Mortgage Insurance	months @ \$		per month	
1003.	City/Town Taxes	months @ \$		per month	
1004.	County Taxes	months @ \$		per month	
1005.	Assessments	months @ \$		per month	
1006.		months @ \$		per month	
1007.		months @ \$		per month	
1008.		months @ \$		per month	
1100. TITLE CHARGES					
1101.	Settlement or Closing Fee	to	Cornhusker Land Title Company	200.00	200.00
1102.	Abstract or Title Search	to			
1103.	Title Examination	to			
1104.	Title Insurance Binder	to			
1105.	Document Preparation	to			
1106.	Notary Fees	to			
1107.	Attorney's Fees	to			
	<i>(includes above item numbers:)</i>				
1108.	Title Insurance	to	CORNHUSKER LAND TITLE CO.	1,340.00	1,340.00
	<i>(includes above item numbers:)</i>				
1109.	Lender's Coverage	\$			
1110.	Owner's Coverage	\$ 1,300,000.00		2,680.00	
1111.					
1112.					
1113.					
1200. GOVERNMENT RECORDING AND TRANSFER CHARGES					
1201.	Recording Fees: Deed \$ 10.00 ; Mortgage \$ 146.00 ; Releases \$			156.00	
1202.	City/County Tax/ Stamps: Deed ; Mortgage				
1203.	State Tax/ Stamps: Deed 2,925.00 ; Mortgage				2,925.00
1204.	E-Filing Fee to CORNHUSKER LAND TITLE CO.			15.00	
1205.					
1300. ADDITIONAL SETTLEMENT CHARGES					
1301.	Survey to				
1302.	Pest Inspection to CITYWIDE TERMITE			85.00	
1303.	Delinquent Taxes to DOUGLAS COUNTY TREASURER				39,018.28
1304.	2020-2021 TAXES to DOUGLAS COUNTY TREASURER				16,697.10
1305.					
1400. TOTAL SETTLEMENT CHARGES (Enter on Lines 103, Section J and 502, Section K)				1,796.00	125,180.38

By signing page 1 of this statement, the signatories acknowledge receipt of a completed copy of page 2 of this two page statement

Carmen Refaels
 Cornhusker Land Title Company
 Settlement Agent

Certified to be a true copy.

Grant Application

Row 214

Organization Name (if applicable)	THOR Inc (Also DBA Trails Have Our Respect)
Physical Address	THOR Inc. 12725 Ponca Road Omaha, NE 68112
Mailing Address	
Website	thortrails.org
Social Media Accounts	https://www.instagram.com/thor_trails/ https://www.facebook.com/THORtrails https://www.facebook.com/groups/thortrails
Name	Jason Brummels
Title	Executive Director
Email Address	jason@thortrails.org
Phone	+1 (402) 225-6564
Team	Yes
	<p>Tim Winslow, Project Manager; Kent McNeill, Project Advisor, Chief Executive Officer, International Mountain Bike Association/IMBA Trail Solutions, Project Consultants. The THOR leadership and project team has extensive experience in property development and management, executive leadership and entrepreneurship, team and organizational development, trail design and construction, and project management across the public and private sectors. Our Executive Director served on our Board of Directors from 2015 to 2021.</p>
Organizational Chart	We operate as a typical 501(c)(3) corporate organization with a Board of Directors and as Executive Director. Our organizational structure is attached in chart form.
Other Completed Projects and/or Accomplishments	We have built and maintained more than 150 miles of natural surface trails in Eastern Nebraska and Western Iowa in partnership with municipal, state, federal, and private landowners. We participate in community planning efforts with the City of Omaha, the City of Lincoln, the City of Bellevue, the Metropolitan Area Planning Agency, Nebraska Game & Parks, and others. Our infrastructure supports active youth programming from Police Athletics for Community Engagement, Girls Inc, The National Interscholastic Cycling Association, The Nebraska Interscholastic Cycling League, Nebraska DEVO, and others. Our youth mountain bike skills programs have served hundreds of youth across the cities of Omaha, Lincoln, and Norfolk annually since 2012. We annually offer diverse educational opportunities to land managers, trail builders, community leaders, and coaches.

Proposal Title	Equitable Access to Outdoor Recreation through Natural Surface Trails in North and South Omaha
Total Budget (\$)	\$7,451,355.00
LB1024 Grant Funding Request (\$)	\$6,075,355.00
Proposal Type	Combination of capital project and service/program
Brief Proposal Summary	This proposal is designed to fit the vision of the Natural Surface Trails Feasibility Study developed in 2021-2022 in collaboration with IMBA Trail Solutions and a wide array of community partners. The demonstrated need for equitable access to active and inclusive outdoor recreation that suits the widest variety of ages, abilities, and uses is well served by natural surface trail systems, related programming, and the connectedness of gathering in our public outdoor spaces. The locations selected with the support and endorsement of Omaha Parks & Recreation are: Adams Park, Spring Lake Park, NP Dodge Park, Hummel Park, Mandan Park, Mt. Vernon Gardens Park, and Glenn Cunningham Lake Park.
Timeline	Construction projects will begin in Q2 2024 and finish by the end of Q1 2026. Current THOR and partner programming in the developed projects will continue to expand through and beyond the project timeline. Project programming will continue through Q4 2026.
Percentage completed by July 2025	98%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	Our proposal represents transformational developments that will help energize and spur continued improvements in North and South Omaha's Parks and communities through improvements in appearance and building safe and positive spaces for community connection. These fundamental changes

in recreational infrastructure will deliver neighborhoods positive outlets for undirected outdoor play and exercise alongside opportunities for community programming and connections to natural spaces for people at all stages of life. Strengthening community bonds through open and accessible infrastructure inspires entrepreneurial investment of time, money, and energy in small businesses, community programming, and educational opportunities that lead to long lasting economic growth. Natural surface trails increase the quality of life for communities by providing active outdoor spaces and accessible infrastructure for people in all phases of life. Trails and related amenities provide opportunities for walking, hiking, running, cycling, connecting with nature, imaginative play, building resilience, continual progression, youth and adult programming and events, and connectivity. Community parks and green spaces are enhanced by trail systems integrated with the other amenities already available in the park through increased activation. These fundamental changes in recreational infrastructure will deliver neighborhoods positive outlets for undirected outdoor play and exercise alongside opportunities for community programming and connections to natural spaces for people at all stages of life. Strengthening community bonds through open and accessible infrastructure inspires entrepreneurial investment of time, money, and energy in small businesses, community programming, and educational opportunities. Natural surface trails increase the quality of life for communities by providing active outdoor spaces and accessible infrastructure for people in all phases of life. Trails and related amenities provide opportunities for walking, hiking, running, cycling, connecting with nature, imaginative play, building resilience, continual progression, youth and adult programming and events, and connectivity. Community parks and green spaces are enhanced by trail systems integrated with the other amenities already available in the park through increased activation.

Visioning Workshop Findings Alignment

Our proposal creates an economic investment that recycles within communities by investing in infrastructure that improves in quality of life in North and South Omaha. Open, accessible, beautiful outdoor spaces help build community bonds and pride that lead to internal investment and new opportunities. Our proposal invests in public infrastructure accessible to nearly all ages and capabilities in a transformative way without requiring displacement of the citizens currently residing in the community. This helps create new opportunities without removing spaces that have the possibility for business and other development. Our proposal invests in the development of leaders and active outdoor programming run by the community, not imposed on it. Each investment in a core community park delivers active spaces for imaginative play and connection with nature. It invests in art and visual engagement created by local artists or youth and reflects the community itself. Our proposal invests in trails that improve walkability, and create positive activities and programming driven by leaders already in the community. This increases safety and positive stories to strengthen community bonds and to be shared by the media to change external perceptions.

Priorities Alignment

Our proposal represents transformational developments that will help energize and spur continued improvements in North and South Omaha's Parks and communities through improvements in appearance and building safe and positive spaces for community connection. These fundamental changes in recreational infrastructure will deliver neighborhoods positive

outlets for undirected outdoor play and exercise alongside opportunities for community programming and connections to natural spaces for people at all stages of life. Strengthening community bonds through open and accessible infrastructure inspires entrepreneurial investment of time, money, and energy in small businesses, community programming, and educational opportunities that lead to long lasting economic growth. Natural surface trails increase the quality of life for communities by providing active outdoor spaces and accessible infrastructure for people in all phases of life. Trails and related amenities provide opportunities for walking, hiking, running, cycling, connecting with nature, imaginative play, building resilience, continual progression, youth and adult programming and events, and connectivity. Community parks and green spaces are enhanced by trail systems integrated with the other amenities already available in the park through increased activation.

Economic Impact We anticipate \$2,500,000 - \$3,500,000 in professional and professional construction wages, with an additional \$1,500,000 - \$2,000,000 in local purchases to be associated with our projects over the project period. Our programs and infrastructure are intended to spur the creation of new businesses, services, and programs throughout the community in the following years.

1-2 direct

10-20

Over \$20 per hour.

Where local expertise and labor are available, we will utilize local businesses and contractors for professional services, construction, and programming.

Community Benefit Well-designed trails, trail systems, and related amenities promote active and healthy lifestyles, reduce obesity and increase physical fitness, improve mental health and reduce depression, build resilience, reduce health care costs, provide unstructured play, and create positive associations with outdoor activities and exercise. Trails and active natural spaces can stimulate economic growth by increasing activity within their communities and attracting visitors. Trails can generate business in retail and services, support jobs, increase tax revenue, and make communities more desirable and capable of attracting new businesses and workers to the area. Our proposal fosters community pride and identity by involving community members in the planning, building, and maintaining the trails, related amenities, and art surrounding them. Our proposal's programs build leaders and celebrates the diversity in each community to lead youth programming and help residents connect.

Our proposal helps preserve open spaces for recreation, encourages positive activities to displace negative use of a community's open and public spaces, increases public safety, and reduces dumping, littering, destruction of public property, and other activities that damage ecology and cause safety hazards.

Best

While these concepts are still largely new for Omaha, we are

Practices/Innovation incorporating proven approaches to trail and outdoor recreation and the related high quality of life demonstrated in communities across the country. Our proposal presents meaningful and transformative change for Omaha, particularly for the communities currently underserved by access to high-quality natural spaces and outdoor recreational opportunities.

Outcome Measurement We are currently engaged in an 18-month project with Catherine H. Brown, Ph.D., as an Evaluation Consultant to help iterate the best tools and most meaningful data that relate the improvement in the quality of life delivered in the communities currently underserved by access to outdoor recreation. We expect the tools and information sought to evolve over the project period and not be based on our pre-conceived ideas, but on the feedback and real life experiences of people in our communities.

We are developing tools for measuring outcomes in communities that have limited access to trails and high quality active outdoor recreational opportunities. We expect to collect data ourselves as well as through organizations aligned with the Natural Surface Trails Feasibility Study.

Yes, this investment will help spur further philanthropic and community investment in parks, housing near parks, businesses near parks, and outdoor, trail, and equity-based programming.

Partnerships Yes

The following organizations served on the Steering Committee for the creation of the vision of the Omaha Natural Surface Trails Feasibility Study: City Of Omaha, City Of Papillion, Metropolitan Area Planning Association (MAPA), National Park Service - RTCA, Nebraska Game And Parks, Omaha Chamber Of Commerce, Omaha Parks Foundation, Papio-Missouri River Natural Resources Department (NRD), The Bike Union, Girls Inc, Latino Center Of The Midlands, Omaha Home For Boys (OHB), Outward Bound, Omaha Northstar Foundation, Police Athletics For Community Engagement (PACE), Spark CDI, Bike / Walk Nebraska, National Interscholastic Cycling Association (NICA), Nebraska NICA, Nebraska DEVO

We hold MOUs with the City of Omaha Parks & Recreation for parks where we currently work, and expect additional MOUs for parks developed under this proposal.

Displacement No

Displacement explanation

Physical Location The location of proposed projects are either within or adjacent to Qualified Census Tracts. Adams Park 3230 John A. Creighton Blvd. Omaha, NE 68111 Census Tract 53 Spring Lake Park 4020 Hoctor Blvd Omaha, NE 68107 Census Tract 25 NP Dodge Park 11001 John J Pershing Dr Omaha, NE 68112 Census Tract 73.03 Hummel Park 3033 Hummel Rd Omaha, NE 68112 Census Tract 73.03 Mandan Park 6215 S 13th St Omaha, NE 68107 Census Tract 28 Mt. Vernon Gardens Park 6011 S 13th St Omaha, NE 68107 Census Tract

Qualified Census Tract	Within one or more QCTs
-------------------------------	-------------------------

Additional Location Documents	Our projects are submitted with the endorsement and support of the land owner, Omaha Parks & Recreation.
--------------------------------------	--

Property Zoning	Yes
------------------------	-----

Is the project connected to utilities?	
	No

	No
--	----

Design, Estimating, and Bidding	Yes
--	-----

	Yes
--	-----

General Contractor	No
---------------------------	----

Request Rationale	Our proposal invests 70% of our request in infrastructure publicly available to communities with limited access to trails, quality outdoor spaces, and active outdoor recreational amenities suitable for nearly all ages and capabilities. Our proposal improves the health and quality of life of citizens in the communities served by this infrastructure. We have integrated a programming layer into our proposal to introduce the amenities to those communities, activate youth programming, develop community leaders attached to active programming, and build stronger community bonds through programs focused on equity and diversity in outdoor recreation.
--------------------------	---

Grant Funds Usage	LB1024's funding will be used to build infrastructure in seven Omaha Parks, activate the infrastructure through programming, build equitable and diverse leadership in outdoor recreation in Omaha's core underserved neighborhoods, and spur future investment in infrastructure and programming for these communities.
--------------------------	--

Proposal Financial Sustainability	Yes
--	-----

	THOR has operated since 1996 and has grown its capability and financials dramatically in recent years. Our programs and operations will continue to grow, but it is also the objective of this proposal to build additional community capacity and leadership and initiate programs outside of THOR's funding and operations.
--	---

Funding Sources	THOR is primarily funded through private and corporate grants, sponsorships, donations, and membership.
	THOR's private and corporate grants are introduced and renewed regularly on each particular funder's grant program schedules.
	Aside from ARPA Grant Funding requested, the funds to complete the proposal are part of our normal operations.
Scalability	The proposal's design intends to instigate further investment in outdoor recreational infrastructure and programming well beyond the project period. The proposal could be re-engineered for a reduction in scale; however, it is the intent of the proposal to be equitable in its transformative efforts across the community.
	We could build infrastructure and program one park at a time, but this would negatively affect its intent to deliver equitable access to outdoor recreation.
Financial Commitment	Our organization, budget, and team are built around delivering the vision of the Natural Surface Trails Feasibility Study and equitable access to outdoor recreation desired by the community.
ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
ARPA Reporting and Monitoring Process Acknowledgme	<input checked="" type="checkbox"/>
LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
Public Information	<input checked="" type="checkbox"/>
File Uploads	Additional Location Documents (see application for list) Data table of uses (breakdown of how the requested funds will be used for your proposal) Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement) Organizational Chart Plans and detailed descriptions, including pictures and a map of the site location/surrounding area Pro Forma Proposal Budget/Sources and Uses Request Rationale Documentation Schedule

TRAILS CONCEPT PLAN

Adams Park

Omaha, NE
September 2021

LEGEND

- Existing Features
 - New Features
 - New Features
 - New Features
 - New Features
 - New Features
- CONCEPTUAL BIKES AREAS AND TRAILS**
- Mountain Biking
 - Multi-Use
 - Mountain Biking - Intermediate
 - Mountain Biking - Beginner
 - Mountain Biking - Advanced
 - Mountain Biking - Expert
 - Mountain Biking - Intermediate
 - Mountain Biking - Beginner
 - Mountain Biking - Advanced
 - Mountain Biking - Expert



TRAIL AND BIKE FEATURE EXPERIENCES



MANDAN PARK TRAILS CONCEPT PLAN

OMAHA, NE

JULY 2021



Prepared for: Police Athletics for Community Engagement
(PACE)



Prepared by: International Mountain Bicycling Association
Trail Solutions Program





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ABOUT IMBA TRAIL SOLUTIONS

IMBA Trail Solutions (TS) is the international leader in developing trails, with experience in over 500 projects in North America, Europe, and Asia. Our staff excels at planning, design, and construction of trail systems that provide high-quality experiences for local riders and destination visitors while simultaneously minimizing environmental impacts.

Trail Solutions is a fee-for-service based arm of the International Mountain Bicycling Association (IMBA), a 501(c)(3) nonprofit organization. IMBA's mission is to create, enhance, and protect great places to ride mountain bikes. Based in Boulder, Colorado, and with staff distributed across the country and the world, IMBA meets its goal to create great mountain bike experiences through its Trail Solutions program. Trail Solutions employs approximately twenty professional trail planners and builders. In addition

to being industry professionals and exceptional mountain bike riders, Trail Solutions staff hold a broad base of applicable skills and knowledge from planning, landscape architecture, engineering, and environmental sciences to GIS, CAD, and graphic design.

Our wealth of experience has allowed us to develop the gold standard guidelines for the creation of both sustainable and enjoyable singletrack trails. These guidelines have influenced all major federal land management agencies and a large number of state and local parks departments. We pride ourselves on the positive experiences Trail Solutions has provided to the millions of active trail users around the world and on the economic independence that communities have achieved through the development of destination trail systems.



PROJECT BACKGROUND

This project assesses the feasibility of developing trails and bike facilities at Mandan Park and Mt. Vernon Park. The parks' location position them to provide recreational amenities close to home for South Omaha residents. The sites feature terrain that is gentle and rolling, providing ideal conditions for trail development. Police Athletics and Community Engagement (PACE) procured the services of IMBA Trail Solutions to assess the parks' opportunities and constraints for developing trails and bike facilities. This project seeks to introduce new trails and bike features of varying styles, difficulty levels, and features to provide an engaging activity for the community and nearby residents to enjoy the outdoors.

PACE

PACE is driven by the mission of connecting with at-risk youth and providing recreation and organized sports to build stronger individuals and communities. Through sports and community engagement, the organization changes lives by helping youth build skills, fellowship, and confidence that will serve them throughout their lives. Since its founding in 2005, PACE has provided recreational activities and programming for thousands of individuals. The organization offers soccer, football, and basketball programs, currently engaging over 5,000 students in sports programming. PACE provides students with uniforms and other necessary equipment to reduce the barriers of participating in the sport. The organization has identified an opportunity to engage youth through trail-based programming. By offering continued youth programming and engagement with activities like mountain biking or trail running, the organization can continue its mission and reach more youth. Trail-based recreation and sports appeal to a wide range of youth since the activities can both be a group activity and/or individual pursuit. When organized sports are not scheduled, the trails provide youth with an activity they can partake in during most of the year. With trails located at Mandan Park, they are easily accessible to all residents of South Omaha, reducing the current barriers to access as the existing trails are located far way, only accessible by vehicle.



Regional Trails

The Omaha metro area features mountain biking trail networks at four primary locations: Tranquility Park, Swanson Park, Jewell Park, and Walnut Creek Reservoir. These trail systems have primarily been built and maintained by Trails Have Our Respect (THOR). These trail networks are located at the southern and western stretches of Omaha and are located at far distances from each other. Some of the trail networks can be conveniently accessed by bike from immediately-adjacent neighborhoods, but the majority of the parks are not connected to the paved trail network and are separated from many neighborhoods due to causeways that divide the city. These trail networks are primarily accessible to users who are able to drive to the trail head, and all of these existing trail networks are located far from residents of North and South Omaha.

Majority of the trails are traditional singletrack trails ranging from easier (green) trails to most-difficult (black) trails. Out of all the trail networks, the only trails that feature gentle grades and may be approachable to beginner riders are located at Swanson Park and Tranquility Park. Even at these locations, the trails have challenging climbs and advanced features that may be too difficult or intimidating for new riders and youth. At the other trail networks, most of the trails are more-difficult (blue) and most-difficult (black) trails that appeal to the existing community of experienced riders. In order to invite more members of the community to natural surface trails, planning for future trails in the Omaha area that are community-centered and entry-level will allow residents of all ability levels and interests to enjoy trails. Additionally, planning trails close to home increases ease of access to the outdoors and encourages more regular use of the trail facilities.

Currently, the trail networks serve as training and racing facilities for a range of activities and events, including high school training and racing. Trails located in West Omaha provide trail infrastructure for NICA (National Interscholastic Cycling Association) teams but are located far away from students living in North and South Omaha. Adding trails to North and South Omaha will open the doors for middle and high school teams to develop in these neighborhoods while supporting increased youth programming.



Advanced features on Walnut Creek Trail



Top 3 finishers of the beginner girls race at Tranquility Park

Previous Planning

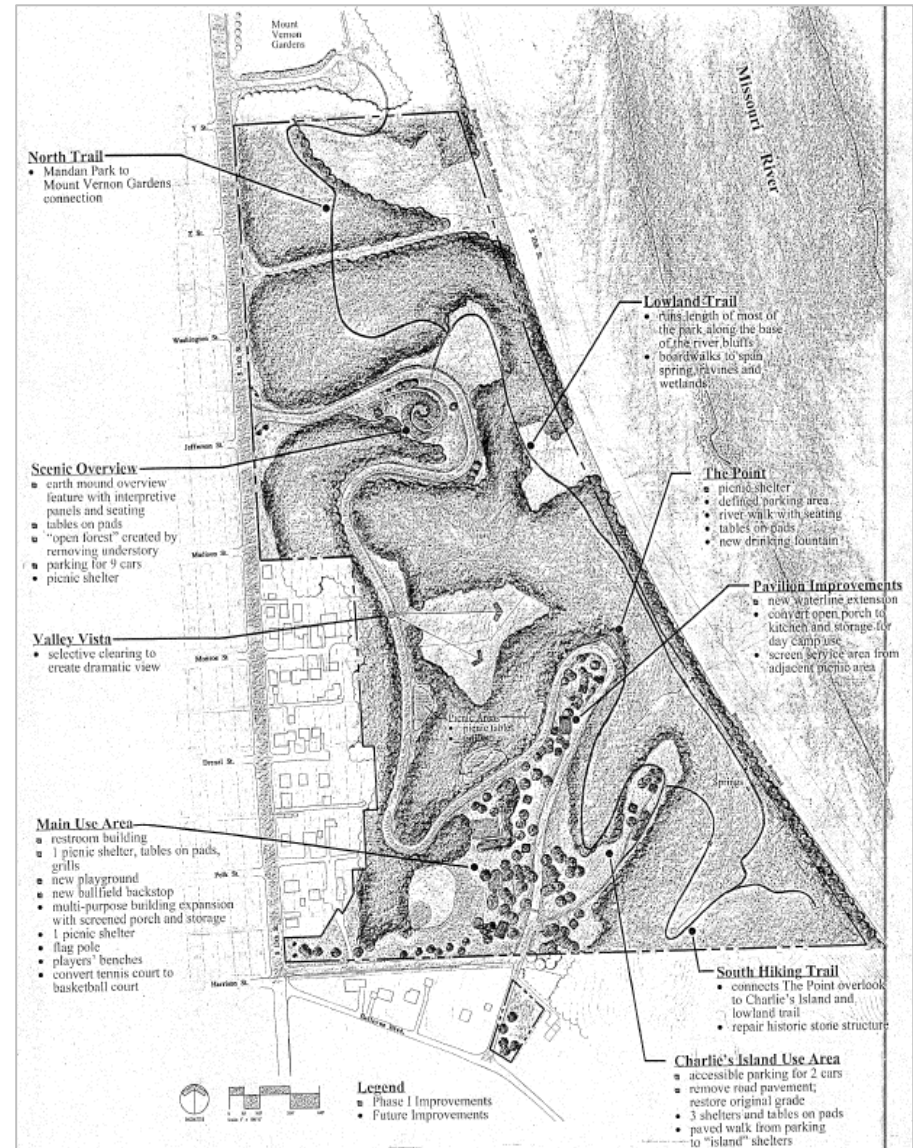
Mandan Park Master Plan

The 1995 Mandan Park Master Plan is provided to the right. This master plan was reviewed during the planning process to understand the current use of the park and past vision. Some elements of this plan were implemented. Today, the “Scenic Overview” provides an elevated viewing platform with interpretive signage of early explorers and the first mapping efforts of the area. The “Main Use Area” includes a playground and pavilion with picnic tables. The ballfield and tennis court appear to be out of service and not currently used. The “Valley Vista” and “Charlie’s Island Use Area” are not currently in place. The plan incorporates a network of trails including the South Hiking Trail, the Lowland Trail, and the North Trail. Portions of the North Trail appear to be installed in the past with some trail corridors of gravel.

The South Hiking Trail provides access along the ridgetop and a connection to the Lowland Trail. The Lowland Trail offers value as it features views of bluff tops, interpretive experiences with stream crossings, and provides immersion for park visitors into new and different landscapes of the site. Some portions of the North Trail alignments are shown as going directly down the slope which would create trails that follow the fall-line¹.

The 2021 Mandan Park Trails Concept Plan created as part of this project proposes alignments similar in location as the South Hiking Trail and Lowland Trail while providing alternative, more resilient alignments for the North Trail. Along with contemporary and sustainable trail planning strategies, the concept plan addresses a wide range of user groups, including new users such as adaptive mountain bikers and the experiences they are seeking. The plan seeks to provide an updated trail plan for the park and does not seek to provide guidance on non-trail related infrastructure. The intent of this 2021 Mandan Park Trails Concept Plan is to guide trail infrastructure that will support and enhance future park uses.

¹The fall line describes the shortest route down a hill and is the path of least resistance for water. Trails built on the fall line channel fast-moving water down their length, exposing roots and creating gullies.



1995 Mandan Park Master Plan

Regional Trail Planning Efforts within Mandan Park

The Metropolitan Area Planning Association (MAPA) is a regional planning agency including Cass, Douglas, Sarpy, and Washington counties in Nebraska. The agency supports local governments with identifying opportunities among core issues including transportation. Included in MAPA's Metro Area Bike Map, an existing paved trail travels along the west side of Mt. Vernon Gardens with a proposed extension through Mt. Vernon Gardens and into Mandan Park. The proposed alignment (shown in dashed green) utilizes the existing Gifford Park Road right-of-way with a new corridor between the Mandan Park and Mt. Vernon Gardens entrances.

This proposed trail would allow for connectivity through the park while providing a link between the existing paved trail and the continuous low volume street, Bellevue Blvd North. These connections allow cyclists and pedestrians to travel between Spring Lake Park, Jewell Park, and throughout the neighborhoods of South Omaha and Bellevue.

During the concept planning process for this project, this proposed corridor through Mt. Vernon Gardens and Mandan Park is incorporated into the concept plan. Closing this drive to vehicular traffic and creating a bike/pedestrian trail offers increased connectivity, provides a path for users of all types, and will discourage the use of the park for illicit activities. With the displacement of negative uses and positive activation of the park, the park can serve more residents and showcase the natural beauty of the site.



MAPA Metro Area Bike Map

<https://mapa.maps.arcgis.com/apps/webappviewer/index.html?id=88aa6335d0cf4a71ba59f>

PROJECT GOALS

#1 Integrate natural surface trails to communities currently underserved and expand access to natural surface trail amenities

With many of the natural surface trail systems located at the western stretches of Omaha, trails are not easily accessible by residents of South Omaha. They are only accessible by car, restricting access to youth who rely on adults for transportation. Additionally, youth have less exposure to the recreational activity of running or biking on trails since they are located out of their reach. This project seeks to bring bike trails and facilities to South Omaha that will be accessible to these residents that are previously not served by natural surface trails.

With the addition of trails at Mandan Park, nearby residents can enjoy walking, running, biking, birdwatching, and other trail-based activities. With today's distractions and increasing amount of time indoors and in front of screens, children are spending less time outdoors. Trails can encourage children to get outdoors, exercise, and build a lifelong enjoyment of trail-based recreation. Numerous studies on physical activity indicate that proximity to outdoor recreational facilities, such as trails and bike amenities, is a predictor for physical activity level. Simply put, if there are walking and biking trails nearby, then residents are more likely to use them and therefore be healthier. Physical health and exposure to nature also benefit mental health, reducing stress and increasing happiness. In addition, individual and community health translate to economic benefits by decreasing healthcare costs. Public trails and bike facilities also provide outdoor community spaces that encourage public engagement. Connection to nature is paramount to maintaining the health of the environment and making the outdoors relevant and accessible to all. Trails serve a diverse population and cultivate unity and stewardship in the community.



#2 Introduce youth and family-focused gateway trails and bike amenities to South Omaha

When planning future trails at Mandan Park, the trails shall be designed to create an experience attractive to beginners, family riders, and youth. These gateway trails will feature gentle grades, wide turns, and mostly smooth tread to create an enjoyable experience for new riders. With entry-level trails, all members of the community can enjoy the trails for walking, running, and biking.

Additionally, this project seeks to introduce bike facilities, like a bicycle playground, that will offer youth and new riders an engaging recreational activity. (Bike facilities are explained in the following section). Many times, traditional play equipment doesn't provide the challenge and reward that children are seeking. By incorporating a range of bike-specific play features, the parks can provide engaging activities that will encourage kids to get outdoors, increase socialization, and build confidence.



#3 Create a shared-use trail system for a wide spectrum of visitors, while providing single-use trails for engaging mountain bike experiences

The concept plan seeks to create a shared-use trail network that will appeal to trail-based users of all types, including walkers, dog walkers, runners, bikers, birdwatchers, adaptive mountain bikers, and other trail users. The trail plan considers the desired experiences of these trail users to create a system that is inclusive of every trail visitor. Majority of the trails in the proposed plan will be shared-use, traditional trails, creating a system to be enjoyed by a range of trail visitors. While mountain bikers enjoy trails for the same reasons as other users, they typically enjoy a diversity of trail types and elements. For example, some riders like bermed, smooth turns in addition to rocky texture to add interest to their experience. This plan seeks to balance that desired experience by planning single-use trails specific to mountain bikers within a shared-use trail network.



#4 Create trails that provide opportunities for skill development and progression

Improving skills and looking for challenge are common goals among mountain bikers. After riders build familiarity with the easy (green) trails, many will be looking for more challenging experiences. Incorporating progressively more difficult trails and features adds interest and novelty, keeping riders engaged. By providing a mix of easy trails in earlier phases of development, riders can learn the basics of riding and build skills before advancing to the next level. As more challenging trails are introduced, the community can gradually increase their mountain biking skills and confidence, allowing them to then enjoy to the more challenging trails in the Omaha area.



TRAIL TYPES

The types of trails envisioned for this project are explained below. These narratives are meant to provide a brief description of the envisioned experience, intended user, construction considerations, and approximate ranges of construction costs. The construction costs reflect the cost of retaining a professional trail contractor and are provided for planning purposes only. The cost ranges do not include planning, design, and permitting needed to develop the facilities, typically estimated at 10-20% of construction costs. It is important to consider ongoing maintenance costs of trails and bike facilities; these can range from 5-25% of the installation cost.

Trail Types

Modern trail systems use specific trail types as a way of managing users and providing them with the best possible visitor experience. Extensive planning and design should be dedicated to the goal of maximizing a visitor's trail experience while simultaneously balancing the demands of physical, environmental, and social sustainability.

Traditional Shared-Use Singletrack

These trails can serve walkers, hikers, runners, cyclists, and equestrians. Trails should be constructed and maintained according to sustainable trail construction practices and employ techniques that minimize user conflict. Multiple user types travel these routes; therefore, care should be taken to avoid obstacles such as jumps or water bars which may lead to undesirable trail experiences for some. Turns are constructed sustainably, but are generally not cambered like bike-optimized turns that improve cornering traction. Keeping trail grades within certain ranges ensures both a positive trail experience for users and enables proper stormwater drainage with minimized erosion. Depending on soil conditions, these trails may need surface hardening techniques to provide a durable four-season trail.

Approximate Construction Costs: \$40,000-\$70,000 per mile



Mountain Bike-Optimized / Flow Style Trails

These trails are purpose-built to optimize the experience of riding a mountain bike. The trails can either be unidirectional or bidirectional depending on the type of trail, preferred circulation of users, and management decisions. This type of trail is constructed with features such as rock gardens, berms, grade reversals, cambered turns (typically wider than turns on traditional singletrack trails), and modest jumps. These trails should make use of gravitational forces and, where possible, be managed to enhance trail flow for descending riders. These trails require a wider tread than traditional treads and require significant movement and shaping of material to create the trail features. They should be designed for a range of users from beginner to advanced skill levels. Optional advanced features can be located along the side of the trail to provide challenges for intermediate and advanced riders. This allows many skill levels to experience the full trail mileage, while providing for skill progression within a smaller trail footprint.

- Approximate Construction Costs: \$50,000-\$100,000 per mile



Adaptive Mountain Bike Trails

Adaptive mountain bike trails are natural surface trails that feature certain design parameters to accommodate adaptive mountain bikes (aMTBs) while providing a high-quality experience for “different-abled” riders. Adaptive mountain bikes are equipped with the proper positioning and geometry to allow the millions of Americans have a mobility disability to enjoy the outdoors. The bikes have three wheels (trikes) or four (quads) and may position the riders in a laid back, recumbent position for most cross-country style bikes or face-forward with the riders back to the sky which is common for all-mountain style bikes. The style and make of the bikes vary, but all are wider, larger, and heavier than traditional mountain bikes which results in significant changes to acceleration, deceleration, and the ability to change direction and corner.

Adaptive mountain bike trails combine the right combination of width, radius, and grade to create an ideal layout and design of the trail. In general, the adaptive mountain bike trails must be wider, uphill gradients decreased and less abrupt, turning radius increased, bridges and trail features widened, and access to trails must be barrier free with low grade climbs. Riders are positioned lower to the ground which must be accounted for when creating clear sightlines. When a trail traverses steep slopes, the tread width should be increased and tread outslope must be greatly lessened or removed to uphold clear passage in landscapes with high exposure. Rollers and undulations in the trail must be gradual and require adequate spacing between each to allow riders to coast through without pedaling. Pull-outs along the side of the trail should be installed to allow riders to rest along the trail and allow other riders to pass. Trails must free of obstacles for easy (green) aMTB trails, but can feature obstacles, such as rocky sections, on more advanced trails.

Planning and designing for these trails at the beginning of a project is necessary to create trail specifications and a layout that delivers the intended experience. Due to the tread width of aMTB trails, the most feasible way to build these trails is with the assistance of machines.



Mountain Bike Skills Trail

These are trails that have been specially designed for mountain bikers to develop the skills necessary for enjoying more challenging trails. This type of trail is built with different routes and features for a range of skill levels, allowing users to progress their skills with repetition and experience over time. Beginner riders and kids are especially fond of this type of purpose-built bike facility. They are typically constructed on nearly flat or gently sloping terrain and take up relatively little space. Skills trails are often associated with more developed parks or facilities, versus a natural setting where singletrack is more appropriate. Features may include rocks, bridges, drops, rollers, and more. Typically, installed features include a mix of prefabricated structures and those built on-site with locally sourced materials.

- Approximate Construction Costs:
\$9-\$13/linear foot for trail surface
\$1,500 - \$10,000 per prefabricated feature



Tot Track and Bicycle Playground

A tot track is designed for smaller bicycles and beginner ability level users. The track is comprised of reduced-sized rollers as well as low-angle bermed turns that can accommodate balance bicycles as well as regular bikes with short wheelbases. These are essentially small versions of pump tracks, both of which can be constructed with dirt or hardened surfaces. Asphalt is the recommended surface material for tot tracks. Asphalt is more expensive to install, but greatly reduces maintenance costs. Most importantly, asphalt provides a consistent, high-quality experience for the users.

Bicycle playgrounds incorporate play features such as prefabricated structures, rocks, berms, tunnels and other challenges to create a fun loop for children to practice skills and improve bike handling. The bicycle playground can range in size and configuration fit the site and desired features.

- Approximate Construction Costs: \$15-\$30 per square foot (asphalt tot track); \$9-\$13/linear foot for natural trail surface (bicycle playground); \$2,000 - \$6,000 per prefabricated feature (bicycle playground)



SITE ASSESSMENT

Site Summary

Mandan Park and Mt. Vernon Parks immerse visitors in an urban forest featuring views of the Missouri River below. Located just minutes from busy downtown Omaha, the parks provide residents with a respite from the dense city and access to nature close to their homes. With just over 100 acres of space when combined, the parks contain significant acreage of forested, primarily unprogrammed space. As the parks are located along the bluffs of the river, the landscape features terrain not found on many locations within Omaha. With the range of terrain on site, from gentle slopes to undulating terrain, the site can support a diversity of trail-based experiences. The parks' proximity to dense neighborhoods and downtown Omaha position the site well to provide trails close and convenient for everyday use by residents. By activating the parks with trails, more residents can rediscover the parks. With increased activity, existing and negative uses such as dumping and encampments will be discouraged.

Approach

In May 2021, IMBA Trail Solutions (TS) staff visited Mandan and Mt. Vernon Parks and met with representatives from the City of Omaha, PACE, and THOR to tour the site and discuss goals for trail and bike facility development. During the site visit, IMBA TS staff assessed the existing conditions and gathered data to be synthesized into recommendations for trail and bike facility placement. Existing recreational amenities and infrastructure were inventoried along with observations of site circulation, soil type, vegetation, and the slope/terrain of the landscape. The following pages provide observations and findings of site conditions, opportunities, and constraints.



Ridgetop views of the Missouri River below



Undulating terrain provides conditions for engaging trails.

Existing Conditions

Mandan Park features a playground, various overlook pull-offs, and an interpretive observation platform with seating and signage. Park visitors were observed picnicking, especially during lunch time, and walking along Gifford Park Drive, the road interior to the site. A baseball field was located along Harrison Street, just below the playground, but appears to be no longer in use. Just to the west of this field, an abandoned tennis court was observed. Mt. Vernon Gardens includes a formal garden area with a portico that overlooks the river and large, open lawn to the north.

The landscape features gentle slopes at the top of the river bluff followed by descending slopes with occasional steep, eroding portions. Eroding soils were observed where very steep slopes are located along the rim of the bluff. The primary vegetation observed consisted of oak and hickory trees with a dense understory of honeysuckle shrubs.

Existing trails were observed throughout the site. A wide trail from the playground parking area provides access to a clearing that appeared to be a previous overlook location. Further north, another trail originates at the Mt. Vernon parking area and descends along the side of a drainage with check-dams. Short trails can be found at the various parking locations and contain steep, eroded sections as they descend down the fall-line.

Along Gifford Park drive, dumping locations were observed along with abandoned encampments. Conspicuous park visitors were observed using Gifford Park Drive for suspicious interactions. Local residents were actively picking up trash and expressed their frustration with constant removal of trash and suspicious activity happening in the park. The Gifford Park Road is in poor condition with multiple pot holes and depressions along portions of the road. Just below the bluff edge within the southern portion of Mandan Park, a large field of broken up concrete was observed. Trail development can clear up this debris and utilize some of the materials for surface hardening along the trail.



Steep slopes along the rim of the bluff



Trash and encampment

Key Opportunities

- The parks are adjacent to South Omaha neighborhoods and serve over 3,500 residents within a 10-minute walk². The parks offer the space and terrain for trails that provide recreational amenities for many user groups, including hikers, runners, dogwalkers, bird watchers, and bikers.
- Multiple schools are located in the vicinity of the parks, including Gomez Heritage Elementary School, RM Mars Magnet Center, Assumption Guadalupe School, and Omaha South High Magnet School. With the density of residents and schools, the parks offer significant potential for programming.
- The site features views of the Missouri River while immersing visitors in a forested landscape. Providing access to this landscape through trail development creates a unique, nature-focused experience, especially unique considering the surrounding urban environment.
- The potential to convert a portion of Gifford Park Drive into a trail reduces the ease of dumping and creates a wide corridor to serve many trail users.
- The terrain features both gentle and steep slopes, creating conditions for varying trail styles and difficulty types. The gentle slopes allow for trail corridors that can support the development of adaptive mountain bike trails.
- The grassy field just west of the existing playground contains ideal terrain along with supporting infrastructure to support a bike playground and flow trail. These trails and bike-focused amenities are popular among youth and align with the existing youth-focused amenities (playground/Mandan Discovery Site).
- A paved bike path runs along the west side of the site and provides connections to downtown Omaha and the Riverside Trail.
- The grassy field of north of Mt. Vernon Gardens is highly visible to motorists and users on the bike path and features gentle slopes, creating ideal conditions for a skills trail.

²<https://parkserve.tpl.org/mapping/index.html?CityID=PS3137000>.



A bike playground and flow trail located along these gentle slopes activates the space with youth-focused recreational amenities and provides a place for families to gather.

Key Constraints

- The site is bordered by South 13th Street, a busy four-lane roadway. The right-of-way has a continuous sidewalk only on the west side, and bike lanes are not provided along the roadway. The busy road and lack of pedestrian crossings limits the parks' accessibility to the residents of the adjacent neighborhoods.
- While parking is provided on site, expanded parking areas are anticipated to serve additional trail users.
- Sections of the bluff rim are steep and eroded, limiting the potential for sustainable trail development along these steep sections.
- At the lowest portions of the site, areas of standing water and tributaries with steep edges were observed. Boardwalks and/or span bridges will be necessary for sustainable trail development in these areas.



Boardwalks will be necessary to cross low-lying, water-logged sites



Busy South 13th Street. Safe crossings will be necessary to ensure pedestrian and bike access to the parks from the adjacent neighborhoods.

CONCEPT PLAN

Trail Network

This concept plan seeks to provide an engaging, nature-based activity for park visitors of all ability levels and trail users including pedestrian and bikers. Conceptual trails include easier (green) and more-difficult (blue) trails and range from traditional singletrack to bike-optimized trails such as flow trails. In total, the plan includes 8.3 miles of conceptual singletrack alignments. If the interior portion of Gifford Park Road was converted to a multi-purpose trail, an additional 0.5-miles would be provided.

Most of the trails are conceptualized as shared-use, bidirectional traditional singletrack for pedestrians and bikers. This shared-use system provides 5.7 miles of trails for multiple user groups and creates varying loops. Where conditions allow, bike-specific trails are located to provide riders with sought-after descending trails. This approach reduces user conflicts as riders are provided with a designated, descending experience away from the shared-use trails.

The majority of the trails are proposed as easier (green) trails to provide introductory and approachable trails for new and beginner trail users. These trails are sited along gentle slopes that can support corridors wide enough for the development of adaptive mountain bike trails. A ridgetop, green trail (Segment 102) traverses along the bluff and then descends to the lowest elevation of the site where it meets up with a lower perimeter trail, Segment 103. These trails create a 2.75-mile loop and multiple opportunities to connect to branching trails. More-difficult (blue) alignments are provided to include opportunities for riders to progress their skills and challenge themselves.

Leveraging the site's available elevation and suitable slopes, three flow trails (Segments 201, 203, and 204) are conceptualized as bike-only descending trails. These trails provide the highly desired experience of flowing through bermed turns, pumping through rollers, and building a smooth rhythm down the trail.



Shared-use trails



Mountain biker on a singletrack trail

Bike Playground and Beginner Flow Trail

The grassy field just below the existing playground at the Harrison Street entrance to Mandan Park offers highly suitable conditions for a bike playground and beginner flow trail. The development of a bike playground will provide an additional youth-focused activity, adding diversity to the existing play amenities. The bike playground would consist of small skill and play features (see bottom image) to allow children to practice skills and bike handling in a fun, engaging environment. This playground is proposed adjacent to the existing playground to allow children to easily access both amenities. Just below the bike playground, a beginner flow trail (Segment 201) is conceptualized with small rollers and bermed turns that will provide a fun, descending trail that can easily be ridden multiple times by climbing Segment 202. These play-focused amenities serve as gateway features that allow new and beginner riders to discover the sport and build skills before venturing onto longer distance trails. These features are located near the entrance and parking to be easily accessible and visible to youth and families. The adjacent pavilion provides a space for families to gather and picnic.

Skills Trail

Where the existing bike path borders the western edge of Mt. Vernon Gardens, this grassy space provides gentle, mostly flat terrain, creating conditions highly amenable for a skills trail. The area is highly visible by motorists along South 13th Street and users on the paved bike path, attracting new visitors to the park and skills trail. With the adjacent paved bike path in place, riders can access the site and jump on the skills trail to add interest to their ride while practicing their skills. Skills features may include a variety of fun, skill-building technical trail features (TTFs) such as bridges, rollers, and other skills features appropriate for beginner to intermediate riders.



Flow trail with rollers



Skill feature example

Conceptual Plan Summary

Traditional Trails

- 9 segments of green (easier) trails: 4.1 miles
 - 3 segments of blue (more-difficult) trails: 1.6 miles
- Total distance of traditional trails: 5.7 miles

Flow Trails

- 2 segments of green (easier) trails: 0.9 miles
 - 1 segment of blue (more-difficult) trails: 0.7 miles
- Total distance of flow trails: 1.6 miles

Skills Trail and Bike Playground Area

- Skills trail: 1.0 mile
- Bike playground: 350-400 feet



Flow trail example



Traditional style singletrack



Skills feature

TRAILS CONCEPT PLAN

Mandan and Mt. Vernon Parks

Omaha, NE
July 2021



TRAIL AND BIKE FEATURE EXPERIENCES



Trail Descriptions

The conceptual trails have been broken into segments to easily refer to a specific trail section with labeling for development and construction purposes. The charts on the following pages contain information on the style, user, difficulty level, directionality, and length. Notes are provided for each segment to narrate the desired trail experience and highlight opportunities.

Conceptual cost estimates are provided for each segment. The costs reflect an estimate of probable cost for a professional trail contractor to construct the tread and procure/install features. The costs do not include additional project development costs including field flagging, the development of construction documents, permitting, trailhead amenities, signage, and contractor costs. See the *Cost Opinion* section for the estimate of probable cost for trail development.

The segment descriptions contain the following abbreviations within the trail characteristic information:

Abbreviations Guide	
TR	Traditional Trail
SGL	Natural surface, singletrack trail
MBO	Flowy Mountain Bike-Optimized Trail
SKL	Skills trail with technical trail features (TTFs)
GRN	Easiest (Green) Trail
BLUE	More-Difficult (Blue) Trail
ADA MTB	Adaptive Mountain Bike
BI	Bidirectional Trail
DWN	Downhill-only Trail



SEGMENT	TYPE	STYLE	DIFFICULTY	USER	DIRECTION	PHASE	DISTANCE (miles)	DISTANCE (feet)	Description	Cost Range
Phase 1 Development										
N/A	PLAYGROUND	MBO	GRN	BIKE	ONE-WAY	1	0.06	332	The bike playground is envisioned with a mix of small bridges, rollers, rock textures, and other play features to create an engaging and skill-building experience. As it is located next to the existing playground, it serves to provide additional youth and family-focused recreation.	\$3,500 - \$5,000 (tread) \$55,000 - \$65,000 (9-10 features)
101	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	1	0.15	772	This short segment of green trail provides access to the ridgetop green trail, Segment 102.	\$7,000 - \$10,000
102	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	1	1.62	8,607	This green trail traverses the edge of the ridgeline and is envisioned as a shared-use trail for hikers and bikers, while being wide enough for adaptive mountain bikes. This trail is meant to be attractive for beginner and family riders.	\$80,000 - \$105,000
103	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	1	1.13	5,989	At the lower elevation of the site, this green trail traverses through undulating terrain and crosses a few creeks, providing for interpretive experiences in previously inaccessible parts of the park. Two (35 ft.) span bridges and a (40 ft.) boardwalk will be necessary where the trail crosses streams	\$55,000 - \$72,000 (trail) \$40,000 - \$50,000 (bridges and boardwalks)
104	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	1	0.25	1,310	Segment 104 serves to connect the ridgetop green trail and with the bottom traverse trail.	\$12,000 - \$16,000



SEGMENT	TYPE	STYLE	DIFFICULTY	USER	DIRECTION	PHASE	DISTANCE (miles)	DISTANCE (feet)	Description	Cost Range
Phase 1 Development										
105	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	1	0.36	1,530	This segment traverses gentle slopes and serves as a connector between the conceptual trail network and SW 13th Street. When combined with the sidewalk along 13th Street and Segment 103, the trail creates a loop attractive for walkers in the neighborhood.	\$14,000 - \$19,000
106	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	1	0.20	1,080	Segment 106 improves an existing trail to create a loop by the north Mandan Park parking area. This creates a short loop, anticipated to be popular among dog-walkers and others looking for a short, connected trail.	\$9,000 - \$11,000
Phase 2 Development										
201	SGL	MBO	GRN	BIKE	DWN	2	0.31	1,428	This segment features rollers, bermed turns, and other bike-optimized elements to create an enhanced experience of riding down the trail. As it is located adjacent to the bike playground, this trail adds an additional element of fun to this youth and family-focused area.	\$22,000 - \$29,000
202	SGL	TRD	GRN	HIKE, BIKE, ADA MTB	BI	2	0.27	1,042	This segment serves as a connector between S 13th Street and the main parking area. It also provides a climbing trail for riders wishing to return to the start of Segment 201, the green flow trail.	\$10,000 - \$13,000
203	SGL	MBO	GRN	BIKE	DWN	2	0.79	4,178	Segment 203 provides a downhill, bike-only trail that will include rollers and bermed turns to enhance the experience of riding down the trail. In comparison to Segment 201, this segment is longer, providing the next level of difficulty and endurance challenge for riders.	\$55,000 - \$75,000
204	SGL	MBO	GRN / BLUE	BIKE	DWN	2	0.61	3,219	This segment provides a progressively challenging experience by offering a more dynamic trail with optional lines and slightly larger features. The trail is envisioned as suitable for beginner riders yet designed to offer intermediate riders the chance to challenge themselves with optional lines.	\$42,000 - \$55,000



SEGMENT	TYPE	STYLE	DIFFICULTY	USER	DIRECTION	PHASE	DISTANCE (miles)	DISTANCE (feet)	Description	Cost Range
Phase 2 Development										
205	SGL	SKL	GRN / BLUE	BIKE	ONE-WAY	1	1.04	5,437	This skills trail is envisioned with a mix of beginner and intermediate level features such as bridges, rollers, and rock texture. The trail is conceptualized on the park-side edge of the existing paved path, weaving among the existing trees. As it is visible from the road and easily accessible from the paved path, it attracts new visitors from the neighborhood and those on the bike path.	\$50,000 - \$70,000 (tread) \$90,000 - \$130,000 (20-30 features)
Phase 3 Development										
301	SGL	TRD	GRN / BLUE	HIKE AND BIKE	BI	3	0.50	2,624	This segment traverses along the bottom edge of the ridge, offering views of the bluffs above. The trail offers a slightly more-difficult experience than the other trails with a narrower tread. As a Phase 3 trail, this segment (along with Segments 302 and 303) serves to provide challenge that riders will be seeking after practicing on the Phase 1 and 2 trails.	\$25,000 - \$32,000
302	SGL	TRD	GRN / BLUE	HIKE AND BIKE	BI	3	0.43	2,286	Comparable to Segment 301, this segment offers a similar experience while adding increased mileage and connectivity options to the Phase 1 trails.	\$23,000 - 30,000
303	SGL	TRD	GRN / BLUE	BIKE AND BIKE	BI	3	0.66	3,470	Segment 303 travels below the ridgeline, offering a slightly more intermediate experience with a narrow tread and increased exposure.	\$32,000 - \$42,000

COST OPINION

Phase 1 Development

Trails (3.8 miles)	\$177,000 - \$233,000
Bike playground	\$59,000 - \$70,000
Segment 302 bridges and boardwalks	\$40,000 - \$50,000
Trailhead kiosk and trail wayfinding signage	\$40,000 - \$50,000
Field Flagging	\$14,000 - \$16,000
Design Documents	\$5,000 - \$10,000
Permitting	\$3,000 - \$5,000
Mobilizations	\$3,000 - \$4,000
Contingency	\$34,100 - \$43,800

Estimated Phase 1 trail development: \$375,100 - \$481,800

Phase 2 Development

Trails (3.0 miles)	\$179,000 - \$242,000
Skills features on Segment 205	\$90,000 - \$130,000
Trail wayfinding signage	\$15,000 - \$20,000
Field Flagging	\$12,000 - \$14,000
Design Documents	\$6,000 - \$7,000
Permitting	\$3,000 - \$5,000
Mobilizations	\$3,000 - \$4,000
Contingency	\$30,800 - \$42,200

Estimated Phase 2 trail development: \$338,800 - \$464,200

Phase 3 Development

Trails (1.6 miles)	\$80,000 - \$104,000
Trail wayfinding signage	\$10,000 - \$15,000
Field Flagging	\$9,000 - \$10,000
Design Documents	\$3,000 - \$4,000
Permitting	\$3,000 - \$5,000
Mobilizations	\$3,000 - \$4,000
Contingency	\$10,800 - \$14,200

Estimated Phase 3 trail development: \$118,800 - \$156,200

Total Estimate of Probable Cost: \$832,700 - \$1,102,200

Notes: This conceptual cost opinion provides ranges for the costs of construction and serves as a tool for planning purposes only. The cost opinion does not serve as a bid. The costs for a parking expansion, overhead pedestrian bridges, crosswalks, restrooms, pavilions, and other site enhancements are not included. Costs for any necessary site development infrastructure, electrical infrastructure, stormwater infrastructure, and/or landscaping are not included in this cost opinion. The Gifford Park Drive road-to-trail conversion is not included in this cost estimate. Permitting costs assume a variety of local, state, and federal regulations apply (i.e. stormwater, land disturbance, etc.). Construction costs assume professional trail contractors perform the work. Contingency is assumed to allow for adjustments during design and permitting.

RECOMMENDATIONS

Phasing

The concept plan serves as a vision for trail development and creates a community-centric plan with entry level trails that offer a mix of trail types and diverse mountain bike amenities. To implement the plan, a phased approach is presented. This allows time for fundraising and feedback from the community as phases are constructed.

Phase 1

The first phase of trail development includes the ridgetop green loop, Segment 102, and base green loop, Segment 103. These segments create a connected loop totaling 2.75 miles. For a shorter loop option, Segment 104 allows visitors to travel between the ridgetop and base loop. These trails provide park visitors with shared-use trails that can be enjoyed by a range of trail users. The trails can also serve as a venue for youth sports and programming. As the trails provide access to previously inaccessible parts of the park, they provide suitable and connected routes for use by other, future park uses such as summer camps. In addition to the trails, the bicycle playground is proposed as part of this first phase. This recreational amenity provides a skill-building loop for youth and new riders while activating the existing playground and pavilion area with a fun, engaging activity.

Phase 2

Phase 2 includes the development of the flow trails, segments 201 through 204 and the skills trail, Segment 205. With the green, shared-use trails in place, riders will be looking for different and bike-optimized experiences. Flow trails are primarily proposed as easy (green) to ensure riders of all ability levels can use and access the trails. With these trails in place, they can offer riders a fun, engaging experience as they pump through rollers and carve through turns. As these trails are popular among mountain bikers, the trails will attract bikers and take some pressure from the shared-use network. Along with the flow trails, the skills trail, Segment 205 is proposed as part of Phase 2. This trail has skill features on the side of the trail, challenging riders with a range of features to help them build skills and bike handling. As this trail is located along South 13th Street, it is easily accessible and visible to youth in the neighborhood, providing them with exposure to a healthy and fun activity.

Phase 3

With the green trails in place, Phase 3 proposes the addition of green/blue trails that will feature more optional, skill-progressing features. By this phase, the community has been practicing on the green trails and looking for new experiences and increased challenge. These trails are shared-use and offer more loop options while spreading users throughout the site with more trails available to park visitors.

Trail Feature Examples

Armored Crossings

Where the trail crosses ephemeral waterways, rock armoring is utilized to provide a stable riding surface. Rocks may be available nearby the waterway, or rock may need to be transported to the crossing. Small to medium sized rocks can be set on end or "pitched" up on their side. If available, large boulders can be located along the trail tread to create a boulder causeway. Whenever possible, existing large embedded boulders should be used as foundations to anchor rock armored crossings.

Bridges and Boardwalks

Where a surface crossing is not possible due to continually flowing water, steep side slopes, or other constraints of the waterway, a puncheon or span bridge will be required. Two span bridges and a boardwalk are anticipated to be necessary along Segment 103, the base traverse trail, where the trail crosses streams and low-lying, wet areas. The bridges and boardwalk will need to be wide enough to allow for adaptive mountain bikes; edge railings are recommended. Before moving into design documents and specifications, an understanding of required standards, codes, and permitting is necessary to guide the creation of engineered plan sets.



Boardwalk example



Armored crossing example



Span bridge example

Gateway Canopy Bridge Examples

The entrance to Mandan Park is envisioned with an architectural pedestrian bridge that elevates visitors into the tree canopy, providing a unique experience and sweeping views of the Missouri river beyond. The bridge will gradually ascend from the forest floor, wind through the canopy, traverse across the Mandan park entry road, and then gradually descend on the other side. This canopy pedestrian bridge serves a utilitarian function as it provides passage over the road and connects trail Segments 102 and 105, keeping pedestrians away from vehicular traffic on 13th Street. The showcase bridge will provide a sense of entry to the park as visitors travel under the bridge and serves as a future architectural icon for the park. With Mandan Park's forested canopy and views of the river below, the bridge offers a truly unique experience as visitors get up close with the canopy and can enjoy expansive views of the river. As the seasons change, the bridge is surrounded by vibrant colors in the fall, open views in the winter, and bright greens in the spring and summer. As the park is located in close proximity to downtown along with many of Omaha's other attractions and connects with the Riverside Trail, the bridge adds a destination for visitors with a truly one-of-a-kind experience of riding or walking through the canopy.

The images provided to right serve as inspiration imagery for the bridge. The bridge is envisioned as a narrow corridor with a minimal footprint that fits into the canopy, limiting the amount of tree removal.



At the base of "Cycling Through the Trees" bridge in Limburg, Belgium



Riders on "Cycling Through the Trees" bridge in Limburg, Belgium

Supporting Amenities and Infrastructure

Mandan Park provides two main parking areas at the north and south access points to the park. The southern parking lot provides 4-5 spaces while the north has a larger area with 9 spaces. Mt. Vernon Gardens provides multiple places in a roundabout. With trail development, more visitors to the park are expected. While many visitors are anticipated to be walking and biking to the park from the nearby neighborhood, many park visitors may choose to drive. Additional parking spaces are recommended to plan for the visitors coming to the trails and bicycle playground. In addition to parking, restrooms, shade structures, and seating areas are recommended to provide visitors with a comfortable visit and allow them to spend hours at the park. It is also recommended to install a bike workstation at the trailhead for riders to inflate tires and make minor adjustments and repairs. This encourages more equitable access for users who may not have the resources to make personal investments on tools or pay for maintenance of their bikes. Before the trails open to the public, trailhead kiosks, trail markers, and wayfinding signage is necessary to guide visitors through the trail network and provide any necessary safety and park information. See *Appendix A* for information about recommended sign types and necessary content.



Pavilion and bike racks



Trail signage



Bike repair station

13th Street Crossings

Mandan Park and Mt. Vernon Gardens are bordered to the west by South 13th Street, a four-lane and busy thoroughfare. Drivers travel quickly down this route as main connector between Bellevue and downtown. Bike lanes are not provided on either side of the road with a sidewalk limited the west (neighborhood) side of the road and in front of homes on the east side of the road. As South 13th Street is very busy, the road restricts ease of access to the parks by residents in the adjacent neighborhood. Providing safe crossings will be necessary to provide access to the park. Without delineated and safe crossings, residents of the adjacent neighborhood may not be able to enjoy the trails and/or allow their children to travel to the parks. A pedestrian bridge crossing provides ease of access and connectivity to the adjacent neighborhood.

Bike Lanes

At the entrances to Mandan Park and Mt. Vernon Gardens, a bike-accessible path or bike lanes are not provided. Currently, the proposed bike path on MAPA's Metro Area Bike Map includes these entrances as part of the bike network. To provide a delineated access route for bikes, a separated shared-use pathway or bike lines on both sides of the roads are recommended. These bike lanes or path provide access into the park and connectivity to the rest of the proposed bike path.



Pedestrian bridge



Sidewalk with separated bike line

Maintenance

Trails should be managed according to recommended difficulty guidelines, trail type guidelines, and respective trail narratives. Master planning and design will provide these detailed guidance documents. Maintenance is an ongoing cost and should be included in annual maintenance budgets. Typical maintenance budgets for traditional and mountain bike-optimized trails are 5%-15% of the installation cost. Some of the annual maintenance for all trails can be performed by adequately managed and trained volunteers. These tasks will include corridor trimming, downed tree removal, general clean up (branches, leaf litter, etc.), and minor drainage work.

Professional assistance will occasionally be required. The frequency will depend upon ongoing maintenance as well as weather patterns and use. Typically for cross-country trails, professional maintenance will be required every 10-20 years and will involve small reroutes, major drainage work, or other large tasks. Bike-optimized trails can be expected to need professional help every 5-10 years as trails wear through weather and use. This will typically come in the form of rebuilding large dirt features and upgrading trails to provide slightly new experiences which help continue to give locals something new and help all riders progress in their skills. Increasingly, destination mountain bike trail systems are funding and hiring part- or full-time staff to provide maintenance to trail systems. Ensuring a quality, consistent riding experience is key to keeping a local riding community satisfied and growing.



Programming

To fully activate and create a community around outdoor recreation and mountain biking, certain programming is necessary. With the establishment of the Nebraska NICA program, middle and high school teams are beginning to form, and Mandan Park could provide trails that would serve as training for local non-profits and schools. Beyond high-school racing, many other programs can activate the community. The trails could be programmed with guided and interpretive hikes and outdoor education. Mountain bike skills clinics and/or scheduled and guided rides can be provided to help introduce the sport to new riders and help them improve skills. Having scheduled volunteer days keeps the community engaged, invested in their local trails, and helps improve the conditions of the trails while reducing the maintenance workload of land managers. Many times, local clubs and bike shops will schedule weekly rides that can be tailored for beginners, intermediate, or advanced riders. These rides encourage mountain bikers to connect with the local riding community.

Riding or running races and charity events would greatly attract park visitors and activate the park. Hosting events brings the community together, helping to making connections between neighbors, non-profits, and community partners.



Summary

With the development of sustainable natural surface singletrack trails, Mandan and Mt. Vernon Gardens could offer residents access to these unique, forested landscapes and provide a healthy recreational activity in these parks. With limited trail infrastructure in South Omaha, these parks provide the terrain and space for miles of trails that support a wide range of trail users and bring recreation to underserved parts of the community. The parks are currently struggling with dumping, vagrancy, and illicit activities taking place in the parks; with trail development and activation of the park as a destination for youth and families, the negative activities will be displaced. Youth-focused organizations, like PACE, are ready to add programming with youth sports, which provides a new activity for kids of South Omaha to start building active lifestyles and gain skills that will serve them for their lifetime. The trails offer an activity for nearby residents of the surrounding neighborhood and the community of South Omaha, while also serving the greater Omaha metro area.



APPENDIX A: GENERAL TRAILS PLANNING AND DESIGN GUIDELINES

The following are guidelines for the construction and maintenance of trails. The natural environment is dynamic and unpredictable. The nature of recreational trails, the desired user experience, and the constant forces acting on natural surface trails make strict standards untenable and undesirable. As such, the guidelines below represent best management practices that should be followed within environmental constraints.

Trail System Design

Mountain Bike-Optimized Trails and Preferred Direction Trails

Mountain bike-optimized singletrack trails are designed and constructed to enhance trail experiences specifically for mountain bikers. Mountain bike-optimized trails might differ from traditional trails in several ways: enhanced tread shaping, directional or one-way travel, and the addition of man-made technical trail features (TTFs). Bicycles move differently along a trail than other modes of transportation. The movement of the wheel, the use of gravity and friction, the transfer of energy from the rider to the wheel – these elements offer both opportunities and constraints for trails and trail features that may differ from those of other users.

Mountain bike-optimized and one-way trails that harness gravity are a growing area of interest for mountain bikers. These trails can be designed and built at any level, from beginner friendly flow trails to extremely difficult race-oriented downhill trails. Riders cherish the feeling of flight that a bicycle provides while coasting through a succession of bike-optimized features from top to bottom. A consistent trail is not necessarily a boring or easy trail (though it can be), it's one that is designed such that a preceding section of trail prepares users for the subsequent sections. This is a hallmark of flow trails and can be particularly important for beginner trails, as well as for higher speed trails with gravity features, such as jumps and drops.

As trail systems grow and become congested, one-way trails help to take the pressure off popular shared-use trails. Riders looking for speed, thrill, and challenge will have their own designated areas, and users travelling at

slower speeds will have their own trails. Well-designed mountain bike-optimized singletrack and gravity singletrack are exciting for mountain bikers but are also designed to help manage risk and minimize user conflict.



Rolling Contour Design

Providing consistent climbs and extended descents is a design priority. Trails may contour gently up or down for consistent lengths to maximize climbs and descents. This is known as rolling contour design. All shared-use trails should be of rolling contour design to minimize impact and sedimentation in the watershed.

Stacked Loops

A stacked-loop system is a series of loops somewhat like links in a chain. The loops can vary in length and difficulty. In a stacked-loop system, the loops that are closest to the trailheads are more inviting to novice riders, and the loops further out cater to more advanced riders. This creates a progression of experiences and challenges as users explore the trails in more depth.

Progressive Hubs and Clusters

A trail system of hubs and clusters looks more like spokes radiating out from a central junction and intersecting at various points. A trailhead or major intersection is a hub. A cluster is a concentration of trails radiating out from the hub. Like a stacked loop system, hubs and clusters are designed with skill level progression in mind. Hubs and clusters give users more trail options for varying skill levels at each hub, allowing for skill level diversity. At many intersections, riders have the option to change trail difficulty or continue on the same difficulty level.

With progressive trail features, a mountain biker may become a better rider by gradually moving up in trail difficulty. This practice also spreads out visitors and helps reduce trail user conflict. This is also a proven risk management tool. Signage shows difficulty levels at every hub and wherever necessary in the trail system to help users choose trails based on their skill levels and desired experience. Giving riders the option to warm

up before hitting more technical segments provides a level of safety in the system. Loops and clusters are often favored over out-and-back routes because they offer variety. People love the adventure of starting down one path and returning to the same point by way of a different trail. With loops or clusters in a trail system, visitors can choose a short route, a combination of routes, or a long outer route.

Progressive design and construction also allow users of different levels to ride the trails in the same system, so families and groups can enjoy being together in one place and riders can find a trail that matches their skills and progress.



Trail Difficulty Rating System

In order for a trail system to provide the varied riding experiences and skill progression which trail users seek, the trails must be built to provide relatively specific challenges and riding characteristics. For the purposes of this conceptual trail plan, the difficulty rating system has been simplified into three levels:

- Easiest Trails, Green Lines (green circle) – For beginners, these trails have a smoother and wider tread, lower trail grades, and less exposure.
- More Difficult, Blue Lines (blue square) – For intermediate riders, these trails can be steeper, more technically difficult, or longer.
- Very to Extremely Difficult Trails, Red Lines (black diamond or double black diamond) – For advanced riders, these trails offer a combination of difficult trail tread, technical features, and long distances for those looking for challenge and endurance-oriented experiences. Generally, they have significant exposure and have less predictable surfaces.

This system was adapted from the International Trail Marking System used at ski areas throughout the world. Many trail networks use this type of system, most notably resort-based mountain biking trail networks. The system applies well to mountain bikers and is also applicable to other visitors such as hikers and equestrians. These ratings should be posted on trail signage and in all maps and descriptions. Following is a summary of criteria to be considered when implementing a trail rating system.

Tread Width

The average width of the active tread or beaten path of the trail.

Tread Surface

The material and stability of the tread surface is a determining factor in the difficulty of travel on the trail. Some descriptive terms include hardened (paved or surfaced), firm, stable, variable, widely variable, loose, and unpredictable.

Trail Grade (maximum and average)

Maximum grade is defined as the steepest section of trail that is more than approximately 10 feet in length and is measured in percent with a clinometer. Average grade is the steepness of the trail over its entire length. Average grade can be calculated by taking the total elevation gain of the trail, divided by the total distance, multiplied by 100 to equal a percent grade.

Natural Obstacles and Technical Trail Features

Objects that add challenge by impeding travel. Examples of natural obstacles include rocks, roots, logs, holes, ledges, drop-offs. The height of each obstacle is measured from the tread surface to the top of the obstacle. If the obstacle is uneven in height, measure to the point over which it is most easily ridden. Technical trail features are objects that have been introduced to the trail to add technical challenge. Examples include rocks, logs, elevated bridges, teeter-totters, jumps, drop-offs.



Trailheads

Well-placed trailheads and parking lots contribute to a successful trail system. Trailheads should be located in areas of lower elevation, as most trail users prefer outbound climbs with inbound descents back to the parking area. This also helps mitigate risk by allowing fatigued riders an easier route back to their starting point. This is especially true for mountain bikers, and necessary for families and beginners. Trailheads should offer information useful for the trail users, including trail maps, location information, emergency contact details, and volunteer information.

Sustainable Trails

A sustainable trail balances many elements and is designed to have little impact on the environment. Sustainable trails resist erosion through proper design, construction, and maintenance and blend with the surrounding area. A sustainable trail also appeals to and serves a variety of users over many years. It is designed to provide enjoyable and challenging experiences for visitors by managing their expectations effectively. Following sustainable trail design and construction guidelines allows for high-quality trail and education experiences for users while protecting the land's sensitive resources. For additional trail design, construction, and maintenance techniques, refer to *Trail Solutions: IMBA's Guide to Building Sweet Singletrack*. These guidelines are appropriate for any hike, bike, or equestrian trail.



Signage

The development of a mountain bike trail network requires the development of a comprehensive system of signs. Signs are the most important communication tool between land managers and trail users. A well-implemented and maintained signage system enhances the user experience by helping visitors navigate the trail network and providing information about the area. Signage also plays a critical role in managing risk and deploying emergency services.

Recommended signage for the trails should be simple, uncluttered, and obvious with a sign at every major intersection to help users stay on track. Signs should meet the needs of all users, from the daily trail user to someone who is experiencing the trails for the first time. In order to serve the variety of visitors, sign placement should be strategic and frequent. Because signs can intrude on the natural outdoor experience, too much signage can be unsightly. Balancing competing interests is key to developing a successful signage program.

Sign Types

A variety of signs can be created to help users identify trails and their location, select routes, remain confident in their trail choices, find destinations and key points of interest, and understand regulations and allowed uses. Signage can also be interpretive, helping visitors learn about responsible recreation, trail etiquette, and resource protection, as well as how to reduce risk and hazards.

Informational signs

Usually positioned at the trailhead and major intersections, informational signs provide details such as trail length and difficulty. These include signs that identify a trailhead from a road, signs at a trailhead kiosk, trail intersection signs, waymarks, difficulty rating signs, and trail length or elevation gain and loss signs.

Directional signs

Directional signs provide navigational information.

Regulatory signs

These types of signs delineate rules, such as prohibited activities, direction of travel, or other restrictions.

Warning signs

Often incorporating highly visible designs, these signs warn trail users of upcoming hazards or risks. These include visitor rules and regulations, allowed activities, road and trail intersections, and emergency signs.

Educational signs

Educational signs can provide a variety of information for trail users, such as guidelines for responsible recreation, descriptions of natural or cultural resources, trail etiquette, and bike skills.



APPENDIX B: BENEFITS OF MOUNTAIN BICYCLING TRAILS

Promoting Active and Healthy Lifestyles

The benefits of mountain biking may start on the trails, but they don't end there. Learning to ride a bike is a rite of passage. Bikes and the sport of mountain biking provide a multitude of opportunities to teach children valuable lessons that will carry into adulthood.

Obesity is at a high, while activity levels among Americans are plummeting. With its progressive nature and way of stimulating the senses, mountain biking is appealing, especially to youth, and provides an excellent form of recreation for reversing the trend toward poor health. Since riding a bike provides excellent cardio conditioning, improves strength and coordination, and burns several hundred calories an hour, it is an activity as appealing to parents as it is to kids.

The unstructured play that mountain biking provides inspires people to explore and appreciate the natural world, leading to positive associations with outdoor activities and exercise.

Mountain biking allows individuals to advance at their own pace, so kids looking for a challenge can have just as much fun as children who are more interested in exploring the scenery. Riding in nature provides an environment where children can work on their skills, have fun, and pedal their bikes without parents having to worry. Mountain biking is a cross-generational endeavor, accessible to all ages and levels of physical fitness. Going for a trail ride is an excellent way for parents to do more than support their children's activities, it's a way to share the experience. Every ride is an opportunity to create a healthy lifestyle and pass on lessons that are best learned through experience.

Several studies on physical activity have indicated that proximity to recreational facilities, such as trails, is a predictor for physical activity. Physical health and exposure to nature also benefit mental health, reducing stress and increasing happiness. In addition, individual and community health translate to economic benefits by decreasing health care costs.



Contributing to Economic Growth

A well-designed trail system can stimulate economic growth by increasing activity within the local population as well as attracting visitors from outside. Trails can generate business in retail sales and services, support jobs, provide sustainable growth in rural communities, and produce tax revenue. Access to trails also correlates to a higher quality of life, thus making the community more desirable and capable of attracting new businesses and workers to an area.

IMBA assists local communities in increasing mountain bicycling tourism as a sustainable, renewable source of economic development. A mountain biking destination is one that attracts tourists to an area for the benefits of the mountain biking experience; provides visitors with all of the amenities needed to compliment, ease, and enhance their visit; and in turn creates word of mouth about the community that will draw new and repeat visits.

According to the Outdoor Industry Alliance, mountain bicyclists represent approximately 3.4% of the U.S. population, or nearly 10.6 million

participants. IMBA's own research indicates that enthusiasts, who represent a portion of this overall number, travel extensively within a four-hour range and will typically devote one week per year specifically to travel to reach mountain bicycling destinations. Same-day visitors spend approximately \$35 per day in local communities while destination visitors spend closer to \$193 per day (due in part to lodging and increased meal purchases).

While mountain bicyclists are certainly willing to travel to ride, they will only do so if their destination contains a key ingredient: high-quality trails. These trails must be of a sufficient length and contain a variety of experiences, such as traditional singletrack, bike-optimized singletrack, bike parks, and shuttle options. The competition for these destination-quality locations is slowly increasing over time

A case study in Cable, Wisconsin, clearly illustrates how a community can benefit from offering a world-class bicycling experience. Construction of new bicycle trails in Cable resulted in:

- Increased property values.
- Increased spending on bicycle related goods.
- 35 jobs created annually, adding \$523,000 to total employee compensation.
- Nearly \$1.3 million impact related to spending from mountain bicyclists.

Fostering Community Pride and Identity

Involving community members in the planning, building, and maintaining of trails fosters community pride. In order to maintain sustainable trails, care of the trail system should be managed by local enthusiasts and rely on an organized membership base. Volunteering to help with trails provides an opportunity for area residents to connect with each other and with the terrain and land that surround them. IMBA members donate nearly one million volunteer hours to trails throughout North America every year, making volunteerism a large part of mountain bike culture.



Trails and parks also provide informal opportunities for people to meet and interact with others in a natural setting. Connection to nature is paramount to maintaining the health of the environment and making the outdoors relevant and accessible to all. Trails serve a diverse population and cultivate unity and stewardship in the community. Trails can even revitalize blighted areas, for example, turning landfills into bike parks or gravel pits into trailheads.

Preserving Open Space

Trails make communities better places to live by preserving and creating open spaces for recreation. Greenways function as hands-on environmental classrooms for people of all ages, providing opportunities to enjoy nature close up. With its abundant plant life, open spaces can decrease pollution, protect water quality, and reduce soil erosion. Economic growth and property values are also tied to open space as buyers are generally willing to pay more for property located close to parks and open space. The recreation, health, economic, and environmental benefits of trails can contribute to an overall enhanced quality of life in nearby communities.

Encouraging Positive Recreation Use to Displace Negative Use

Without a plan, undeveloped areas are often haphazardly transformed by users creating unauthorized sites to suit their personal wants. Purposefully designing trail systems can help create diverse recreational opportunities, encourage safe use, and meet the needs of the entire community. Unauthorized trail building and dumping or other unacceptable activities can damage ecology, cause safety hazards, and leave behind debris that is both unsightly and illegal. The best way to encourage positive use is to displace negative use. A well-planned trail system can discourage and displace destructive activities with healthy recreational use that attracts visitors of all ages.





OMAHA NATURAL SURFACE TRAILS FEASIBILITY STUDY

CREATING A VISION FOR OMAHA'S OFF-ROAD BICYCLE RECREATION AND CONNECTIVITY

ACKNOWLEDGMENTS

ACTION PARTNER



THOR IS THE LONG TERM VISION AND ACTION PARTNER FOR THIS PROJECT.

CONSULTANT TEAM

TRAIL SOLUTIONS PLANNING + DESIGN



ELEVON STRATEGIC SOLUTIONS



COMMUNITY PARTNERS

YOUTH SERVING AND COMMUNITY ORGANIZATIONS

THE BIKE UNION
GIRLS INC
LATINO CENTER OF THE MIDLANDS
OMAHA HOME FOR BOYS (OHB)
OUTWARD BOUND OMAHA
NORTHSTAR FOUNDATION
POLICE ATHLETICS FOR COMMUNITY ENGAGEMENT (PACE)
SPARK CDI

BIKE AND PEDESTRIAN FOCUSED ORGANIZATIONS

BIKE WALK NEBRASKA
NATIONAL INTERSCHOLASTIC CYCLING ASSOCIATION (NICA)
NEBRASKA DEVO
NEBRASKA INTERSCHOLASTIC CYCLING LEAGUE (NICL)
TRAILS HAVE OUR RESPECT (THOR)

REGIONAL AGENCIES AND ORGANIZATIONS

CITY OF OMAHA
CITY OF PAPIILLION
METROPOLITAN AREA PLANNING AGENCY (MAPA)
NATIONAL PARK SERVICE - RTCA
NEBRASKA GAME AND PARKS
OMAHA CHAMBER OF COMMERCE
OMAHA PARKS FOUNDATION
PAPIO-MISSOURI RIVER NATURAL RESOURCES DEPARTMENT (NRD)

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DRAFT





1

INTRODUCTION

EXECUTIVE SUMMARY

THE OMAHA NATURAL SURFACE TRAILS FEASIBILITY STUDY SEEKS TO IDENTIFY LOCATIONS FOR TRAILS, BIKE SKILLS DEVELOPMENT FEATURES, BIKE PARKS, AND BICYCLE PLAYGROUNDS AND CREATE A CONNECTED NETWORK OF TRAILS AND BIKE FACILITIES WITHIN THE OMAHA METRO AREA.

The Omaha metro area provides expansive paved trail networks, but natural surface trails are few and far between. A well planned natural surface trail network development results in improved public health, equitable access, increased youth engagement, community building, and positive economic impacts. Natural surface singletrack trails and bike-optimized park facilities encourage access for a wide range of trail users and riders. This project seeks to identify feasible and high-priority locations for natural surface trails and bike-optimized park facilities within the parks and public spaces of Omaha. As trail networks are currently not available within the neighborhoods of North and South Omaha, this project prioritizes introducing trail and bike facilities in areas that are currently under-served in terms of access to trails and recreational amenities. To guide planning efforts, this project is guided by the following objectives.

GOALS AND OBJECTIVES

Equity

Bring sustainable singletrack trails and bike facilities to under-served neighborhoods that currently lack access to nature-based recreation.

Connectivity

Increase the availability and connectivity of natural surface singletrack trails close to home by identifying new trail corridors.

Innovation

Introduce innovative and modern bike-focused amenities that provide an engaging activity for Omaha's residents.

Health

Locate additional recreational amenities to provide more opportunities for physical activity, enhancing overall healthy living and well-being.

Engagement

Create active spaces that provide engaging activities for community-based, youth programs.

Sustainability

Identify suitable terrain and landscape opportunities for resilient trail alignments.



MOVING THE NEEDLE

THOR is the long term vision and action partner for this plan. THOR will be the point of contact for communication, coordination and connection on this initiative. For more information contact THOR through their website <https://trailshaveourrespect.org/>

PROJECT OUTCOMES

01

IDENTIFY FEASIBLE, WELL-SUITED LOCATIONS for trails and bike facilities:

This project seeks to provide a vision for future natural surface trail development within the Omaha metropolitan area and identify the highest-priority parks and public spaces for the implementation of trails and bike facilities. Overall, the project serves as a feasibility study of the entire metropolitan area, identifying where trails and bike facilities are well-suited.

02

PRIORITIZE PARKS AND PUBLIC SPACES by layering demographic data and community momentum:

This project seeks to prioritize projects by ranking sites based upon socio-economic factors (including ethnic diversity and household income) and where community members currently have built momentum for projects. During the planning efforts, a steering committee representing community organizations was developed. From engagement with this committee and one-on-one conversations with organizations, momentum for trail development projects was identified. As a final outcome, this project identifies which future project sites will result in the most beneficial outcome for the community.

03

IDENTIFY CORRIDORS for natural surface trail connectivity:

Currently, Omaha contains a vast network of paved trails with natural surface trails concentrated to a few parks. This project seeks to connect these parks and identify new corridors with high potential for natural surface trails. As a final output of this project, connectivity corridors of both natural surface and paved/on-street connections will be illustrated along with guidance on factors to be considered when prioritizing these corridors.

04

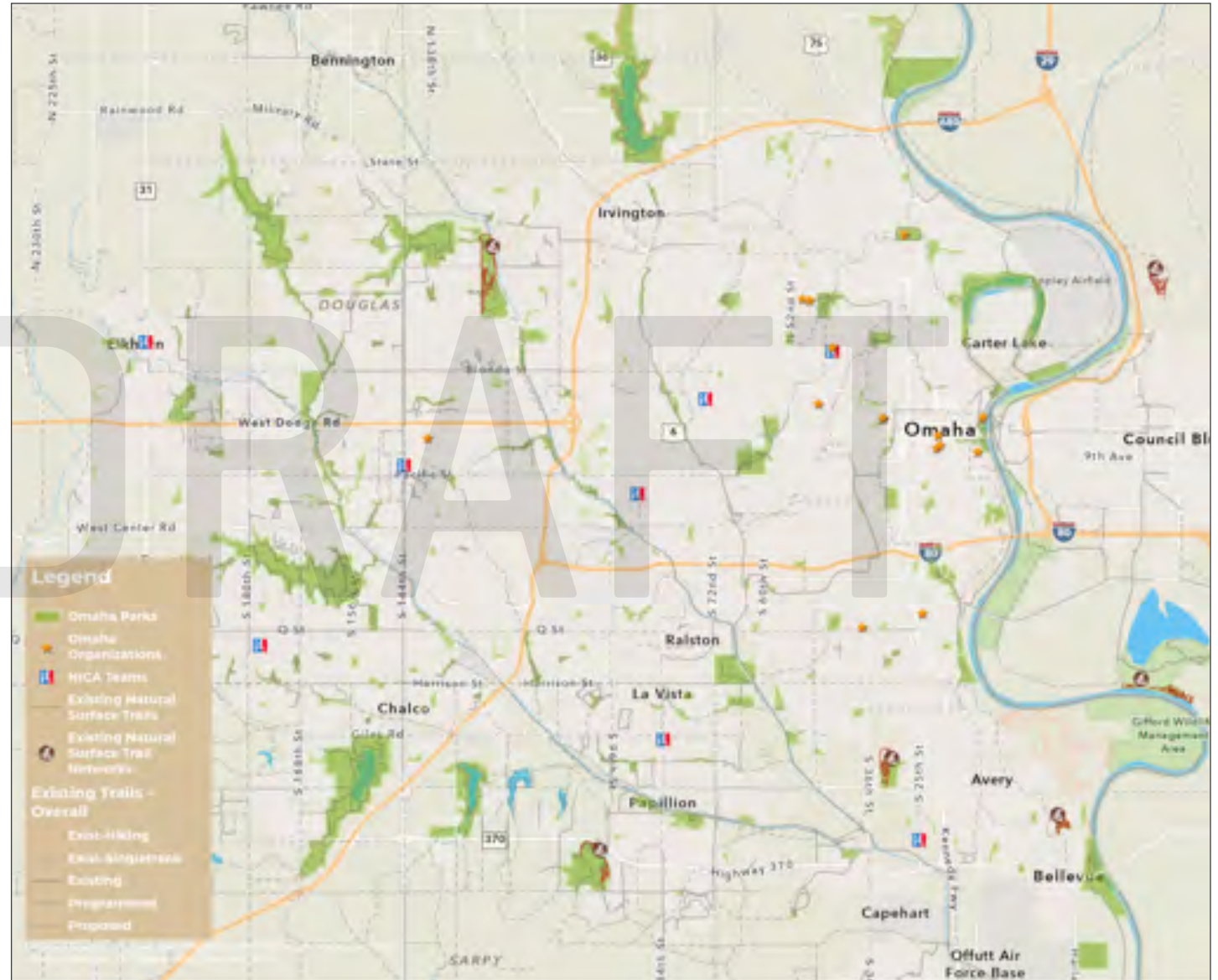
DEVELOP CONCEPTUAL PLANS for highly-prioritized public spaces:

This feasibility study provides the first step by identifying and ranking public spaces for trail and bike-based recreational development. Developing conceptual plans for parks is the next step in the process. As part of this feasibility study, this project seeks to provide example conceptual plans for parks that are ranked among the most feasible and highest priority. These conceptual plans act as compelling visions for new bike-focused amenities and serve as an example to guide the next steps for the other parks.

PROJECT AREA

The natural surface trail feasibility study encompasses much of the Omaha metropolitan area, including both Sarpy County and Douglas County. Municipalities within the area of interest include the City of Omaha, Papillion, La Vista, Ralston, Bellevue, Bennington, and Boys Town.

During the analysis process, the 280 parks of Douglas County and the 130 parks of Sarpy County were assessed for their feasibility and prioritization for trails and bike amenities. Parks less than 5 acres were not included in the analysis process due to the broad reach of this project.



Project Area of Interest



2

EXISTING CONDITIONS

A GROWING CITY

Omaha ranks on numerous Best Cities lists as one of the top places to live and relocate, serving residents and attracting new residents with family-friendly activities, a plethora of education options, affordability, and a prosperous business environment. The metropolitan area is home to 990,402 residents. The City has grown 9.5% between 2010 and 2020, growing 3% more than the nation. The community is made up of many young residents as 34% of the population is 24 years of age or younger.

U.S. Census Bureau, Population Division, "Annual Estimates of the Resident Population: April 1, 2010 to July 1, 2020"

DRAFT

"It is important that the City takes steps now to determine how to accommodate new growth in the most beneficial way while still maintaining a **HIGH QUALITY OF LIFE.**"

- City of Omaha's Transportation Element Master Plan

3,000-ft Bob Kerrey Bridge known as "Bob of the Bridge"

A BICYCLING CITY

INITIATIVES AND INFRASTRUCTURE

Omaha earned the title of bronze level Bicycling Friendly Community in Fall 2015 by the League of American Bicyclists. This title was renewed in 2019 for another 4 year term. By actively seeking this designation, the city demonstrates a commitment to improving quality of life by offering alternative transportation and active recreation options.

To provide access to bicycles in Omaha, Heartland B-cycle is the Omaha metro area's bike sharing system with 33 stations and 180 B-cycles. Station locations include Aksarben Village, Dundee, Midtown Crossing, North Omaha, Downtown Omaha, Downtown Council Bluffs, and along the Riverfront.



BIKE OMAHA PLAN

BikeOmaha is a future network comprised of shared streets, bicycle boulevards, bike lanes, and pathways that will connect the metropolitan trail system to Downtown Omaha and other important destinations. BikeOmaha will connect Downtown, the Riverfront, Creighton University, UNO, the Medical Center, Lauritzen Gardens, Henry Doorly Zoo, Midtown Crossing, Aksarben Village, many city parks, and other destinations. The first part of the system will provide about 20 miles of designated routes.

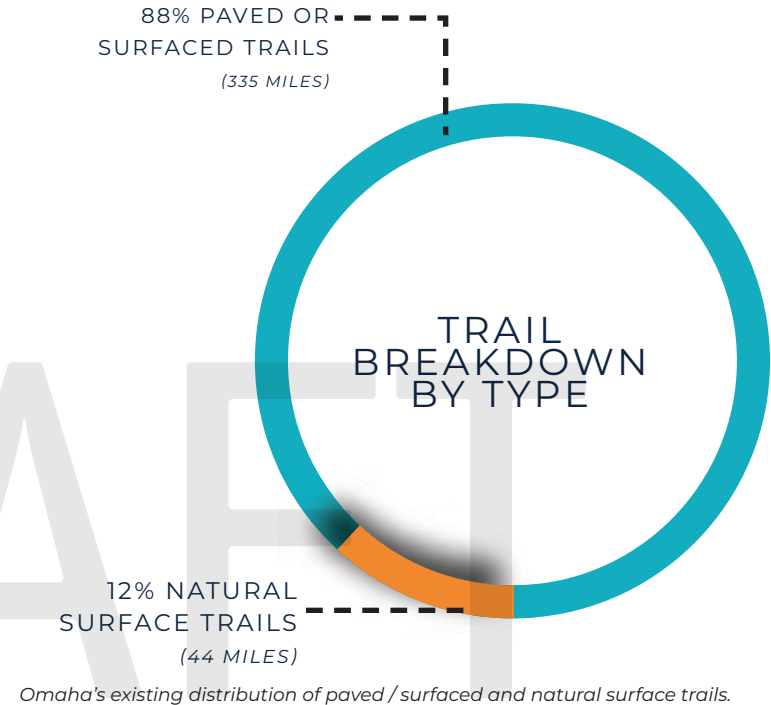


Bike Omaha Plan (Source: Bike Omaha Network and the Wellbeing Partners)

EXISTING TRAIL INFRASTRUCTURE

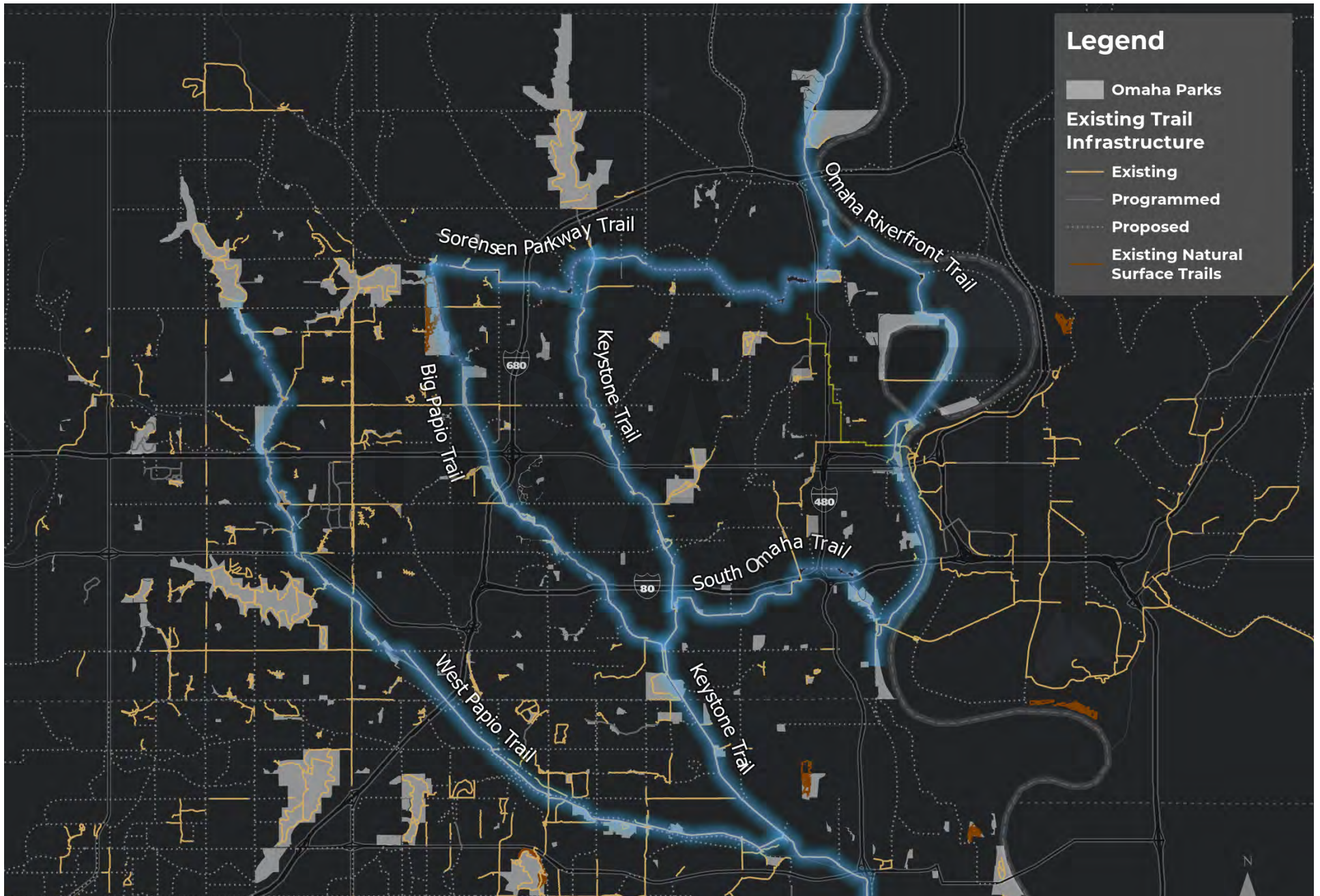
Omaha contains an extensive system of trails with more proposed alignments for future development. This nationally-recognized trail network has been in the works for three decades and is the result of local agencies creating a unified vision for a connected metro area trail network. As a whole Omaha contains 382 miles of trail as per Table 3.4 2021-2025 Nebraska SCORP (See Table Below). The majority of the trails (335 miles) are surfaced by concrete, limestone, or asphalt. The remaining 44 miles consist of natural surface trails.

Long-distance paved trails are concentrated along creeks, part of the Papillion Creek watershed which is administered by the Papio-Missouri River Natural Resources District (NRD). (See the Paths of Discovery map) Three major trail corridors, the Keystone Trail, Big Papio Trail, and West Papio Trail, run in a northwest-southeast direction along major creek corridors. As these trails span between 10 to 24 miles, they connect multiple parks located along the creeks, allowing visitors to seamlessly travel between parks by walking and biking. At road intersections, the trails feature well-delineated and marked crossings to guide trail users to the connecting trail segments. The Keystone, Big Papio, and West Papio Trails offer long distance routes primarily going north-south, but are currently missing east-west trails to serve as connecting links between these three major corridors.



Type of Trail in Miles	Region 1	Region 2	Region 3	Region 4	Region 5	Region 6	Region 7	Total
Concrete Trails	293.8	24.72	61.92	61.43	28.69	9.9	2.2	483
Asphalt Trails	8	0.85	0.8	4.25	5.4	-	1.2	21
Limestone Trails	32.99	4.25	10.75	22.5	5	0.5	6.6	83
Natural Trails	44	47.8	6	10	7.5	5.1	2.5	123
Water Trails	-	-	2.8	2.3	15	-	-	20
ATV/OHV Trails	-	-	-	-	-	1	-	1
Total Miles of Trail	382.34	78.42	81.37	79.2	52.84	14.4	10.5	699.07

Trail types and mileage across all regions of Nebraska. Omaha is located in Region 1. (Source: Table 3.4 2021-2025 Nebraska SCORP)



Existing Major paved trails include the Big Papio Trail, West Papio Trail, Keystone Trail, South Omaha Trail, Omaha Riverfront Trail, and Sorensen Parkway Trail

MAJOR PAVED TRAIL CORRIDORS

CYCLING THROUGH OMAHA

Closer to downtown and central Omaha, the Boulevard Trail travels through Elmwood Park and Memorial Park, providing access between North Omaha and the Keystone Trail. Future connections are planned to Fontenelle Park and Adams Park to increase connectivity and recreational trail offerings in North Omaha. The South Omaha Trail travels from the Keystone Trail to the Field Club Trail, providing access to downtown.

Traveling along the eastern edge of Omaha and the Missouri River, the Riverfront Trail spans nearly 19 miles, passing through downtown and connecting popular parks. The route is almost completely connected with only a few connecting links remaining. Just north of downtown, the Riverfront trail transports visitors to the Bob Kerry Bridge, an architectural icon for the metropolitan area and a connecting link between Omaha and Council Bluff trails.

Overall, bicycle travel in an east-west orientation in both Douglas and Sarpy Counties is limited. This feasibility plan identifies corridors for both surfaced and natural surface trails to increase connectivity between trail networks and provide increased access to trails.



Riders enjoying Omaha's Heartland B Cycle e-bikes. Credit: Abiola Kosoko



Riding across the Bob Kerrey Bridge. Credit: Chris Orr

EXISTING NATURAL SURFACE TRAILS

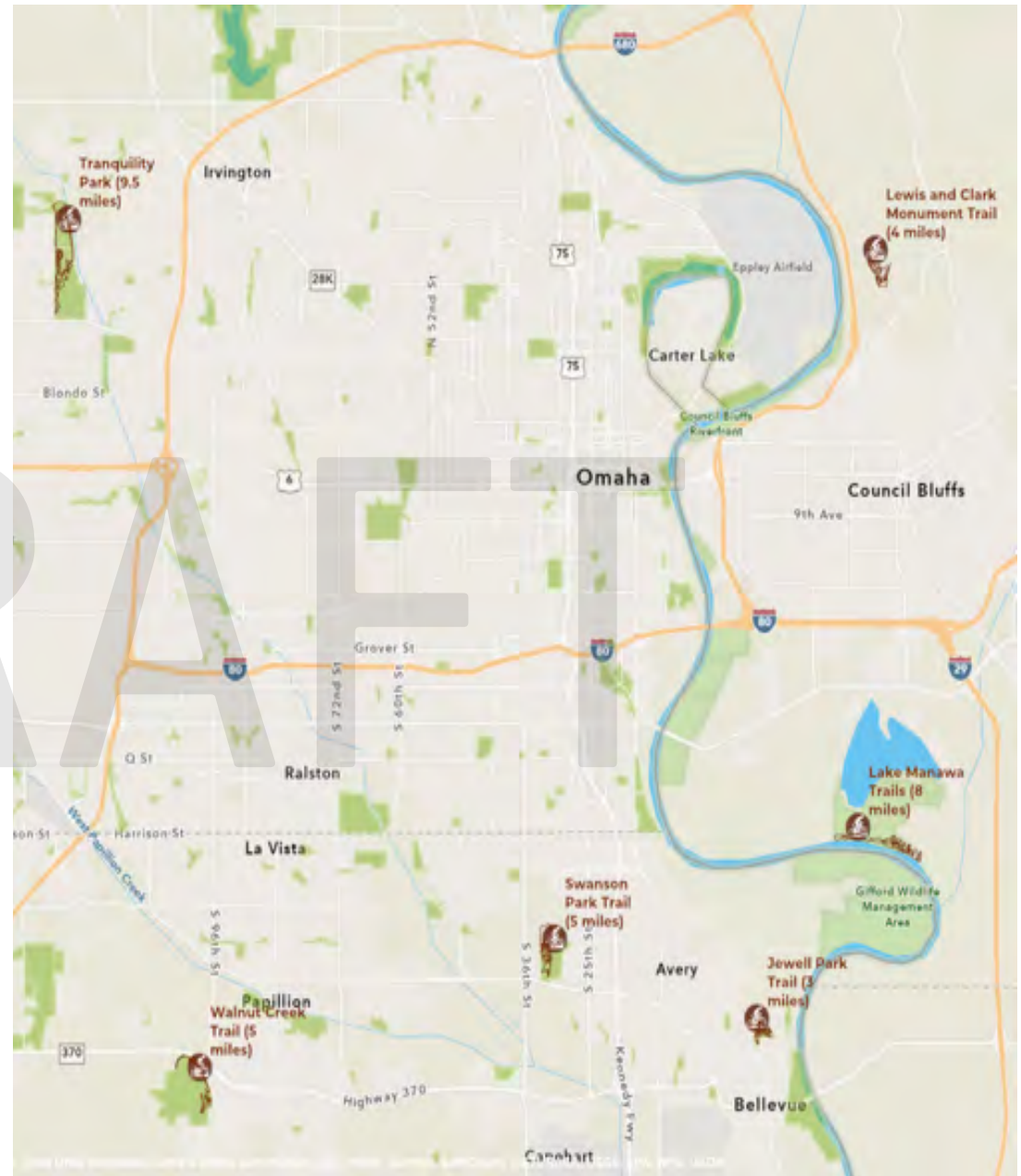
Within the Omaha and Council Bluffs metropolitan area, approximately 44 miles of natural surface trails are available at six major trail systems:

- Tranquility Park (9.5 miles)
- Jewell Park (3 miles)
- Walnut Creek Recreation Area (5 miles)
- Swanson Park (5 miles)
- Platte River State Park (17.5 miles)
- Lewis Clark Monument (4 miles)

These trails are popular among trail enthusiasts, both pedestrians and mountain bikers, who enjoy access to wooded areas, prairies, and the feeling of respite from the city. These trail networks include beginner to intermediate trails that are mostly traditional-style* singletrack. Some trail networks, like Tranquility Park, feature bike-optimized elements such as rollers, bermed turns, and technical trail features.



Amy Tabor from Lincoln on Ashland oxbow trails. Credit: Chris Orr



Existing natural surface trail networks

THOR

Most of Omaha's natural surface trails have been built and are actively maintained by local mountain bike organization, Trails Have Our Respect (THOR). Since the early 90s, this organization has been leading the way in new trail development and provides continuous trail maintenance across all natural surface trail networks.

THOR is "a non-profit volunteer organization dedicated to developing and maintaining sustainable off-road recreational trails in Eastern Nebraska and Western Iowa by providing expertise, manpower and resources."

THOR Goals

- Build, promote, and maintain trail systems for public use in accordance with International Mountain Biking Association (IMBA) guidelines
- Educate trail users about safe and responsible trail use
- Educate the public on the existence of multi-user trails in Eastern Nebraska and Western Iowa
- Initiate and nurture open and honest relations with land managers
- Promote environmental responsibility and care for public lands



Land managers, THOR volunteers, and IMBA staff at Trail Build School in October 2021



Volunteers clearing new trail at Platte River State Park

PREVIOUS PLANNING EFFORTS

MAJOR OBJECTIVES

With prosperity often comes growth and the need for planning. The Omaha metropolitan area has various strategic plans in place, including municipal master plans and the [Heartland 2050 Plan](#), a long-range planning vision for community growth and development. These plans provide key guidance for future development and identify priority objectives. Many of these previous planning efforts communicate the value in planning for an interconnected pedestrian and bicycle network as a means of alternative transportation and recreational options for active living. Strategic planning, visioning, and bike/pedestrian plans were referenced during the creation of this feasibility study. Major themes emerged from these planning efforts and are summarized below:

HEALTHY COMMUNITIES

Healthy communities have access to recreational amenities and alternative transportation options to foster active, healthy lifestyles. As noted in the [City of Omaha Master Plan - Transportation Element](#), *"Citizens' quality of life has also suffered from automobile-dependent lifestyles that discourage everyday physical activity, making it more difficult to stay healthy."* (p. 7)

As noted in Goal 3 of the [Heartland 2050 Plan](#), *"The region will have a healthier population. For example, the disproportionately high levels of obesity and diabetes in low income neighborhoods will be reduced."* (p. 33)

This feasibility study seeks to integrate trails and bike facilities to offer increased recreational options, encourage healthy and active lifestyles, and connect the city's civic, cultural, and open space resources. The conclusions of this feasibility study are meant to plan infrastructure that supports these goals of fostering a healthy community by offering enhanced mobility options for walking and biking and creating connected neighborhoods.

EQUITY AND ACCESS

[Heartland 2050](#) serves as a strategic document to guide initiatives that aim to improve quality of life. A core goal is providing equitable access to the outdoors. Found in goal 3 of the plan, a main initiative includes *"All residents, including low income and disadvantaged residents, will be able to walk to the places where they shop for groceries and access services. Their children will have safe routes to ride their bikes to school."* (p.33)

As part of creating the [Heartland 2050](#), the planning team surveyed residents, asking them which strategies they would rank the most important. Among the top five were *"Make it easier to get around by walking, biking, and transit."* (p.23)

This natural surface trail feasibility study seeks to identify opportunities to locate additional trail and bike infrastructure in neighborhoods that lack access to recreational amenities while creating a connected trail network that provides access to key public spaces, commercial centers, schools, parks, and other destinations.

FUTURE PAVED TRAIL INFRASTRUCTURE

The following planning documents have identified corridors for future paved trails, bike lanes, wayfinding signage, and other strategies to improve bike and pedestrian mobility. These efforts have been specifically focused on paved or on-street trail infrastructure. When analyzing locations for future connectivity trails, this feasibility study referred to these previous planning efforts to identify where future paved and on-street infrastructure is planned.

REGIONAL PLANNING

Multiple municipalities and agencies came together to identify a unified regional trail network throughout the Omaha and Council Bluffs metropolitan area which resulted in the [Heartland Connections Bicycle and Pedestrian Plan \(2015\)](#). It provides comprehensive recommendations for future bicycle infrastructure and illustrates key corridors along with implementation strategies. An example corridor plan is shown below.



The Harney Street Bikeway Plan with various right-of-way treatments: shared line marking, wayfinding, bike lanes, path/trails, bike boulevards, and paved shoulders. (Source: Heartland Connections Bicycle and Pedestrian Plan 2015)

The [2012 Transportation Element of the Omaha Master Plan](#) provides recommendations for future paved trails, bike lanes, sharrows, and signage to increase alternative transportation options and mobility. Core bicycle system projects are identified in the graphic below. Unique to this plan was the identification of historic boulevards as opportunities to integrate complete streets strategies and bicycle infrastructure as part of boulevard redesign.



Core System Trails (Source: 2012 Transportation Element of the Omaha Master Plan)

COMMUNITY LEVEL PLANNING

Various strategic planning efforts have taken place to identify future land development, transportation, and recreation priorities in North Omaha. The [North Omaha Development Project Plan \(2007\)](#), [Village Revitalization Plan \(2007\)](#), and the [Forever North Strategy \(2020\)](#) are community-driven, comprehensive guides for the future growth of North Omaha. Multi-modal transportation and bicycle infrastructure are essential components to increasing mobility options, providing healthy activities, and activating neighborhoods.

Coming Spring 2022 as part of the [North Omaha Trail Study](#), Phase 1 of the North Omaha Trail, a 2-mile north-south corridor along Interstate 75, will connect major North Omaha hubs including the North Omaha transit station at 30th & Ames and the 24th & Lake Historic District. Phase 2 of the North Omaha trail continues south, providing connectivity to Creighton University, the College World Series Site, and into the Omaha Downtown Business District.

Proposed trail corridors as parts of multiple municipal plans, including the [Papillion Parks Plan \(2021\)](#), [Gretna Comprehensive Plan \(2017\)](#), [La Vista Park and Recreation Master Plan \(2002\)](#), and [Omaha Suburban Parks Master Plan \(2016\)](#) were included in the mapping efforts of this feasibility to demonstrate the comprehensive network of trails across multiple municipalities and identify gaps and opportunities to create connections between trail networks.

KEY TAKEAWAYS

Across all documents, these planning efforts identify key barriers to bicycle infrastructure and current gaps in the network. All documents identify the current lack of east-west trails and network connectivity as many of the trails are aligned along waterways which primarily run north-south. Additionally, significant barriers include wide and extensive transportation corridors that divide communities and are designed to facilitate high-speed vehicular traffic.



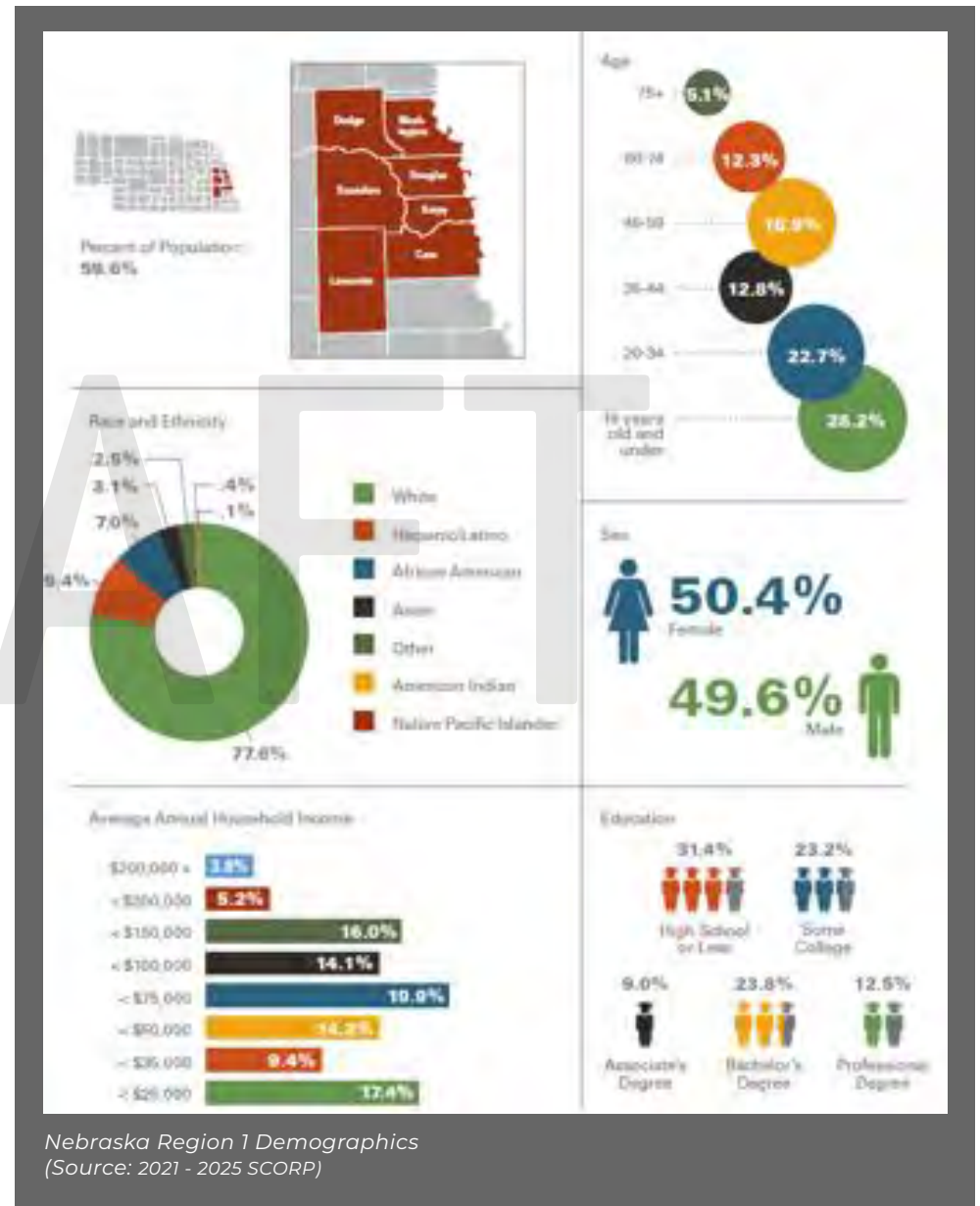
TRAIL USE AND NEEDS ASSESSMENT

STATE COMPREHENSIVE OUTDOOR RECREATION PLAN (SCORP)

Every five years, the state of Nebraska produces a Statewide Comprehensive Outdoor Recreation Plan (SCORP) document that assesses the current recreational interests and needs of the public. As recreational interests change with time, these studies provide an up-to-date assessment of recreational demand to inform the prioritization of new recreational infrastructure. Through the creation of the SCORP, the state is eligible to receive funding from the Land and Water Conservation Fund (LWCF).

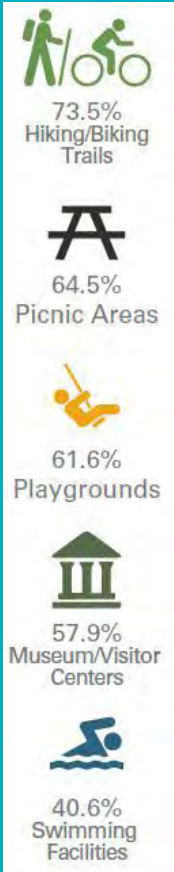
Omaha is found in Region 1 where 60% of Nebraskans live. This area has a high portion of young people with 30% of the region 19 years of age or younger. Additionally, the area is home to residents of diverse ethnic and racial backgrounds.

As noted in the document, urban areas tend to have less green space and higher prices associated with recreation. Planning outdoor recreation that will have relevance to the diverse, urban population of Omaha will ensure the recreation meets their needs and interests.

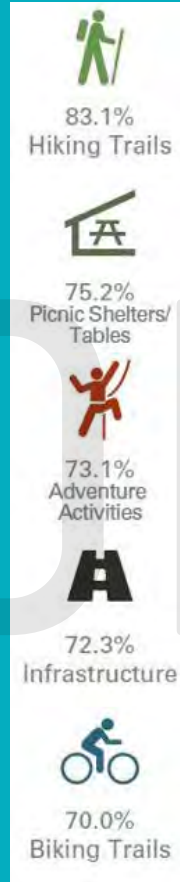


TOP-RANKING RECREATION

REGION 1: TOP LOCAL PARK FACILITIES USED IN THE LAST 12 MONTHS



REGION 1: TOP FACILITIES NEBRASKANS WOULD LIKE TO SEE ADDED



THE TOP-RANKING RECREATIONAL AMENITIES THAT REGION 1 RESIDENTS ARE USING AND SEEKING INCLUDE **WALKING** AND **BIKING** TRAILS ALONG WITH **ADVENTURE ACTIVITIES**.

RECREATIONAL NEEDS

Data collected during the SCORP process investigated current recreational interests of Region 1, which is primarily comprised of the Omaha metropolitan area. This valuable data reveals recreational demand specific to Region 1 and points to a demand for increased trail-based recreation. Omaha's paved trail network provides connectivity between parks and public spaces for many user groups who are looking to walk, bike, or run. Other users enjoy the unique experiences of natural surface trails as a chance to immerse in nature by exploring the woods, prairies, and other unique natural landscapes. Adding natural surface singletrack can add immense recreational value to public spaces as they serve a wide range of users including hikers, bikers, and trail runners who partake in these life-long activities. As mentioned in the SCORP, providing natural surface singletrack parallel to paved trails provides a sought-after, richer, and unique experience for hikers, runners, and mountain bikers while relieving pressure from the paved trail system.

SCORP RECOMMENDATIONS

The SCORP recommends surveying community members early on and collecting data to ensure a holistic approach is performed to identify the future recreational users and the experiences they are seeking. Many times, communities will perform a needs assessment to collect data to understand current recreational interests of residents and identify gaps in the current recreational infrastructure. The data collected from surveys and needs assessments equips decision makers and planners with up-to-date information and trends to inform the trail design that will match the desired experiences of community members.

As part of the SCORP, future recreational amenities are identified as top priorities for potential LWCF funding. The document cites hiking/biking trails as one of the amenities to align with to ensure a competitive application for LWCF funds.

POTENTIAL FUNDING OPPORTUNITY

"CONSIDER THE TYPE OF TRAILS YOUR COMMUNITY WANTS. ATV TRAILS AND MOUNTAIN BIKING TRAILS ARE IN HIGH DEMAND IN SOME AREAS OF THE STATE, BUT THERE ARE FEW OFFERED. THE RECREATIONAL TRAILS PROGRAM (RTP) OR LWCF GRANTS ARE GREAT OPPORTUNITIES FOR THIS." (p.43)



3

BICYCLE INFRASTRUCTURE AND BENEFITS

BENEFITS OF MOUNTAIN BIKING

HEALTH & WELLNESS

Access to trails encourages outdoor experiences which result in positive impacts on health, wellness, and Community.

There is a wealth of recent studies showing the positive impacts of “More Trails Close to Home”, which is IMBA’s focus. In general, these studies show that increased access and proximity of trails to neighborhoods increase the amount of time residents spend outside and the amount of exercise they get in a week. This increase results in improved health, both physical and mental. Additionally, in a 2011 study, the American Heart Association found that with each \$1 of trail construction directly results in \$3 of medical cost savings.

The process of trail planning, construction, and use is a catalyst for community building on many levels. Neighborhoods rally around public infrastructure improvement, trails connect residents to nearby gathering spaces and businesses, trail-based events attract nearby residents plus city wide citizens, and trail beautification art projects and even trail maintenance days bring the community together in a positive manner. Opponents sometimes say “trails bring crime to our neighborhoods” and, while trails are not absent of crime, studies show that they discourage illegal activities rather than increase them.

YOUTH ENGAGEMENT & EQUITABLE ACCESS

Equity is one of the guiding lenses of other strategic plans and this feasibility study. Trails in proximity to neighborhoods, schools, public gathering spaces, and business districts are a driver of youth engagement, equitable access, activities that embrace inclusion, and new trail users. In addition to developing park and trail infrastructure close to neighborhoods, trail use education and programming eases the barrier to entry when new trail users feel welcome and encouraged to engage in trail-based activities.



YOUTH BENEFITS AND THE NEXT GENERATION

There is concern regionally and nationally about fewer children engaging in lifelong healthy activities like bike riding. Between 2014 and 2018, the number of children between 6 and 17 who rode their bikes more than 25 times per year — either neighborhood rides or competition and fitness cycling — fell by more than 1 million, according to the Sports & Fitness Industry Association. Other research has found bike riding among kids has dropped almost 20 percent since 2007 per Bicycle Retailer and Industry News. Facilities in this feasibility study serve as recreation amenities for all trail users, but serve essential functions for youth development. With safe and fun off-road bike infrastructure that are close to home and accessible, youth have the opportunity to access trails on an every-day basis and build healthy habits of physical activity. Trail-based activities, like running and mountain bicycling, help youth build confidence, strength, and a sense of camaraderie and community. These skills and experiences on the trails serve youth in all parts of life.

TRAIL OPPORTUNITIES FOR OMAHA NICA TEAMS

This feasibility study seeks to create trail opportunities for student athlete training, team practices, and potentially a race venue. NICA, the National Interscholastic Cycling Association, has grown in popularity over the past 5 years with new teams developing throughout the Omaha Metro Area. As of 2021, these teams have 104 student athletes and 78 associated coaches that are in need of training venues close to their home schools and neighborhoods.

The league's mission is to build strong minds, bodies, character, and communities through cycling with the values of fun, inclusivity, equity, respect, and community. Unlike some youth programs, there are no bench warmers. Every athlete participates, and the league offers a multitude of benefits: getting kids outside; promoting healthy lifestyles; exposing kids to cycling and outdoor advocacy; and providing social interaction, leadership opportunities, and life lessons such as self-awareness, discipline, success, failure, empathy, humility, and sportsmanship. In 2018, NICA launched GRiT (Girls Riding Together), a program focused on engaging more girls and women as student-athletes, volunteers and coaches. They also updated their Teen Trail Corps advocacy program to promote stewardship of the trails. Some leagues include Elevate programs for student-athletes with mental and physical challenges, making the sport more inclusive and integrated than many other high school activities. NICA is also helping to fuel more collegiate varsity cycling programs and clubs.



Example bicycle playground



Starting corral of a NICA race

ECONOMIC GROWTH

Trail connectivity and quality outdoor recreation contribute to economic growth.

A well-designed natural surface trail system can stimulate economic growth by increasing activity within the local population as well as attracting visitors from outside. Trails generate business in retail sales and services, support jobs, provide sustainable growth in communities, and produce tax revenue. Access to trails also correlates to a higher quality of life, thus making the community more desirable and capable of attracting new businesses and workers to an area.

Communities throughout North America are looking at increasing bicycling tourism as a sustainable, renewable source of economic development. A bike experience-based destination is one that attracts tourists to an area for the benefits of the trails, providing visitors with all of the amenities needed to compliment, ease, and enhance their visit. This demand in turn creates word of mouth about the community that will draw new and repeat visits.



Mountain bike event

TYPES OF BIKE TRAILS AND FACILITIES

TRAIL TYPES

Modern trail systems use specific trail types as a way of managing users and providing them with the best possible visitor experience. Various types of trails and trail planning strategies are explained below. These narratives are meant to provide a brief description of the experience created by each type of amenity, the intended user, construction considerations, and approximate ranges of construction costs. The construction costs reflect the cost of retaining a professional trail builder and are provided for financial planning purposes only. The cost ranges do not include planning, design, and permitting needed to develop the facilities, typically estimated at 10-20% of construction costs.

Note: Since the focus of this project is natural surface trails and recreational bike facilities, hard surface multi-use paths and commuter paths are not detailed in this section.

TRADITIONAL SHARED USE SINGLETRACK

These trails can serve walkers, hikers, runners, cyclists, and equestrians. They are constructed and maintained according to sustainable trail construction practices and employ techniques that minimize user conflict. As all user types travel these routes, care should be taken to avoid obstacles such as jumps, rollers, or water bars which may lead to an undesirable trail experience for an allowed user type. Turns are constructed sustainably but are not cambered like bike-optimized turns that improve cornering traction. Keeping trail grades within certain ranges ensures both a positive trail experience for users and proper stormwater drainage with minimized erosion. Depending on soil conditions, these trails may need surface hardening techniques to provide a durable four-season trail.

- Approximate Construction Costs: \$30,000-\$60,000 per mile



Family enjoying a natural surface singletrack trail

MOUNTAIN BIKE OPTIMIZED SINGLETRACK / FLOW TRAILS

These trails are purpose-built to optimize the experience of riding a mountain bike. The trails can either be unidirectional or bidirectional depending on the type of trail, preferred circulation of users, and management decisions. This type of trail is constructed with features such as rock gardens, berms, grade reversals, cambered turns (typically wider than turns on traditional singletrack trails), and modest jumps. These trails should make use of gravitational forces and, where possible, be managed to enhance trail flow for descending riders. These trails may need surface hardening to provide a durable four-season trail. They should be designed for a range of users from beginner to advanced skill levels. Optional advanced features can be located along the side of the trail to provide challenges for intermediate and advanced riders. This allows many skill levels to experience the full trail mileage, while providing for skill progression within a smaller trail footprint.

- Approximate Construction Costs: \$50,000-\$100,000 per mile

A relatively new trend in this style of trail construction is adding a layer of "chip seal" as a finished trail surface. The texture mimics a coarse natural riding surface that allows riders to enjoy the trail during inclement weather.

- Approximate Construction Costs: \$115,000-\$220,000 per mile depending on trail width.



Bermed turn on a mountain bike optimized singletrack trail

MOUNTAIN BIKE SKILLS TRAIL

These are trails that have been specially designed for mountain bikers to develop the skills necessary for enjoying more challenging trails. This type of trail is built with different routes and features for a range of skill levels, allowing users to progress their skills with repetition and experience over time. Beginner riders and kids are especially fond of this type of purpose-built bike facility. They are typically constructed on nearly flat or gently sloping terrain and take up relatively little space. Features may include rocks, bridges, drops, rollers, and more. Typically, installed features include a mix of prefabricated structures and those built on-site with locally sourced materials.

- Approximate Construction Costs:
 - \$8-\$12/linear foot for trail surface
 - \$1,500 - \$5,000 for prefabricated features



Rider enjoying a balance skill feature



A rock skills feature example



Boardwalk skills feature example

BIKE OPTIMIZED “BIKE PARK” COMPONENTS

The features explained to this point are designed and optimized for linear bike-based experiences. A bike park uses linear trails for connections while combining a selection of the following features to create an amenity that appeals to a wide range of riders and ability levels. The type and scale of features is dependent on the community interest, ridership needs, goals of the project, the site’s opportunities and constraints, and available funding. Bike parks range from small parks at 1-2 acres, medium sized parks of 5-15 acres in size, to larger parks over 15 acres. Bike parks serve local, regional, and destination ridership by offering a hub of activity to the cycling community by providing progressive facilities that are designed for riders to build skills and confidence while promoting a healthy, active lifestyle.

TOT TRACK AND BICYCLE PLAYGROUND

A tot track is designed for smaller bicycles and beginner ability level users. The track consists of reduced-sized rollers as well as low-angle bermed turns that can accommodate balance bicycles as well as regular bikes with short wheelbases. These are essentially small versions of pump tracks, both of which can be constructed with dirt or hardened surfaces. Asphalt is the recommended surface material for tot tracks. Asphalt is more expensive to install, but greatly reduces maintenance costs. Most importantly, asphalt provides a consistent high-quality experience for the users.

Bicycle playgrounds incorporate play features such as prefabricated structures, rocks, berms, tunnels and other challenges to create a fun loop for children to practice skills and improve bike handling. The bicycle playground can range in size and configuration to best fit the site and desired features.

- Approximate Construction Costs:
 - \$15 - \$25 per square foot (asphalt tot tracks)
 - \$3,000 - \$4,000/feature + \$8- \$14/ linear foot for tread (bicycle playgrounds)



Tot track example



Elements of a bicycle playground

PUMP TRACK AND PUMP PARKS

A pump track is designed to encourage cyclists of all skill levels to improve their riding skills in a manner that is fun and repetitive. Pump Tracks are typically a bidirectional closed circuit or series of closed circuits made up of rollers and berms. Pump parks have an open design with a larger area of hard surfaces that allow users to create their own multidirectional routes through the rollers, berms, and jump features. A pump park will foster more organic and creative riding that stimulates both novice and skilled riders. Riding these facilities is an extremely anaerobic activity, so it is recommended that suitable seating and shade structures be installed for users to rest between sessions. Like the tot track, pump tracks and pump parks are recommended to have asphalt surfaces. With an asphalt surface, the track will allow users to enjoy year-round.

- Approximate Construction Costs: \$25 - \$35/square foot

SKILLS DEVELOPMENT FEATURES

Skills features can be made out of natural root resistant wood and/or stone. Pre-fabricated steel structures with wood decking are common also. Skills features include: skinnies, ladder bridges, rolling ramps, kinked boardwalks. Widths vary from 10" to 48" wide, heights range from 6" off the ground to 6' off the ground.

- Approximate Construction Costs: \$2,500-25,000/feature

PROGRESSIVE DROP ZONE

"Drops" are advanced features that can be experienced along backcountry trails and in urban settings. Progressive Drop Zones are designed to allow riders to "session" (repeatedly loop) drops that increase incrementally from 12" off the ground to as much as 6' off the ground or more. Design of approaches to drops and landing zones need to be built by a trail industry professional who can not only build the features, but also ride them.

- Approximate Construction Costs: \$10,000-25,000/feature



Paved pump track example



Progressive drop zone example

FREE-RIDE AND SLOPE-STYLE TRAILS

Typically found in a Resort Bike Park setting, these highly bike optimized trails incorporate gravity features like jumps, hips, cannons, camel backs, step ups, step downs. It is now becoming a common feature at destination bike parks. The trail can be up to 8' to 10' wide along average trail grades of 7-8%. Comfortable length can range from 1,000' to 4,000'. These can be designed and constructed for intermediate to expert riders with built-in skills progression.

- Approximate Construction Costs: \$12-\$25/linear foot

DIRT JUMPS AND PROGRESSIVE JUMP LINES

Riders looking to practice jump skills in a low-consequence environment enjoy bike parks and dirt jumps. These consist of beginner to advanced, skill progression-oriented features through a mix of dirt jumps, berms, and prefabricated "slopestyle" features. These facilities are optimized for mountain bike and BMX riders of all levels. Dirt jumps provide a great workout, and an excellent practice area for building solid bike jumping skills.

Dirt jumps consist of features ranging in height from 3 to 6 feet, spaced to maximize a rider's ability to flow from one jump to the next without having to pedal. Dirt jump areas are designed with a start hill that provides enough gravity to propel riders into the jump lines. They are designed to be ridden in one direction, eliminating potential cross traffic conflicts. Dirt jumps require soil with a high percentage of clay (60-70%) that compacts very hard, minimizing rolling resistance while standing up to heavy use and high shear forces.

- Approximate Construction Costs: \$35 - \$50/linear foot



"Whale-tail" feature on a free-ride / slope-style trail



Riders on a progressive jump line

NICA TRAINING AND RACING FACILITIES

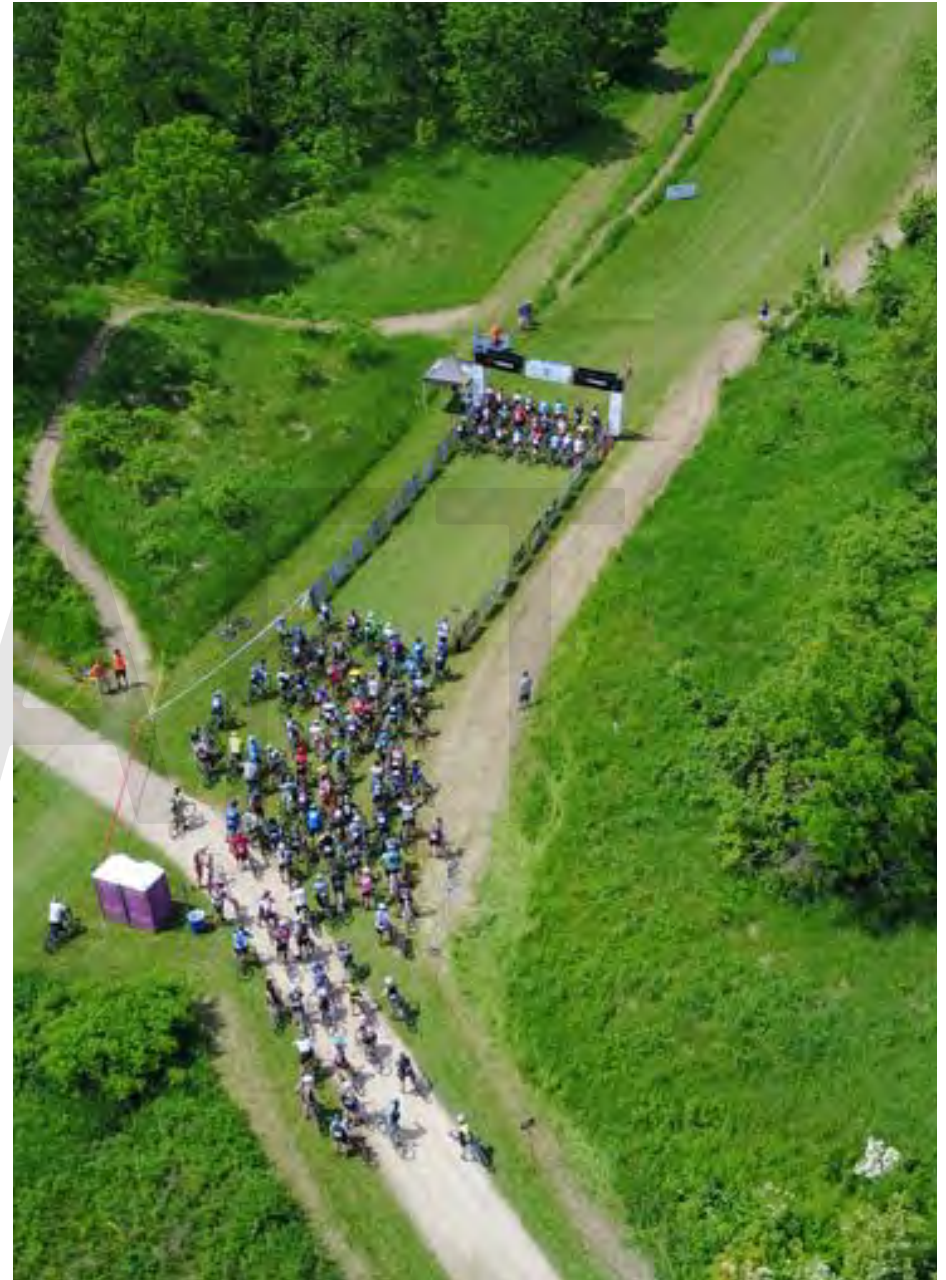
NICA, the National Interscholastic Cycling Association, develops mountain biking programs for student-athletes and coaches across the United States. Over 19,000 student-athletes in junior high and high-school participate in 31 state and regional leagues supported by over 9,000 volunteer coaches and 10,000 additional volunteers. Participant numbers continue to grow. In the last ten years, student-athlete participation has averaged 48% annual growth, and coach participation has averaged 75% annual growth.

As participation grows, so does the demand for trails and bike amenities. Teams need trails for training and racing. NICA racecourses require 4- to 6-mile loops of combined singletrack and double track with 300–600 feet of climbing per lap. Throughout the country, communities are building NICA racecourses from scratch or modifying existing trails. Along with the trails, the racecourses require venues that can accommodate, in some cases, thousands of spectators and participants who generate business in lodging, travel, restaurants, bikes stores, and other retail sales and services.

The Omaha metro area is in need of skills development areas and training trails for local NICA teams. This feasibility study sets the foundation for NICA projects within neighborhood and destination-sized sites.



High school athletes finishing a NICA race



NICA race start



4

PROJECT APPROACH

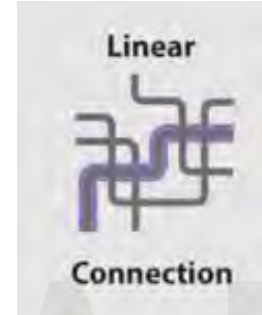
OBJECTIVES

PLAN OBJECTIVES

- 1** IDENTIFY PARKS AND PUBLIC SPACES MOST FEASIBLE AND OF HIGHEST PRIORITY FOR IMPLEMENTATION OF TRAILS AND BIKE PARK FACILITIES
- 2** LOCATE CONNECTING TRAILS, BOTH PAVED AND NATURAL SURFACE, TO CREATE AN INTERCONNECTED NETWORK OF TRAILS AND PARKS/PUBLIC SPACES
- 3** CREATE A LIST OF PRIORITY PUBLIC SPACES TO SERVE AS A GUIDE FOR IMPLEMENTATION

INFRASTRUCTURE TYPES

LINEAR CONNECTIONS



Omaha contains a vast network of paved trails with future alignments at various stages of planning. In the early stages of the project, the planning team gathered the latest data of existing and proposed trail alignments to understand major circulation routes. Major destination data such as parks and schools were layered to identify recreational hubs. With this base information, the planning team identified gaps in the existing trail network and has provided recommendations for natural surface singletrack and paved/on-street connections where relevant.

PUBLIC SPACES

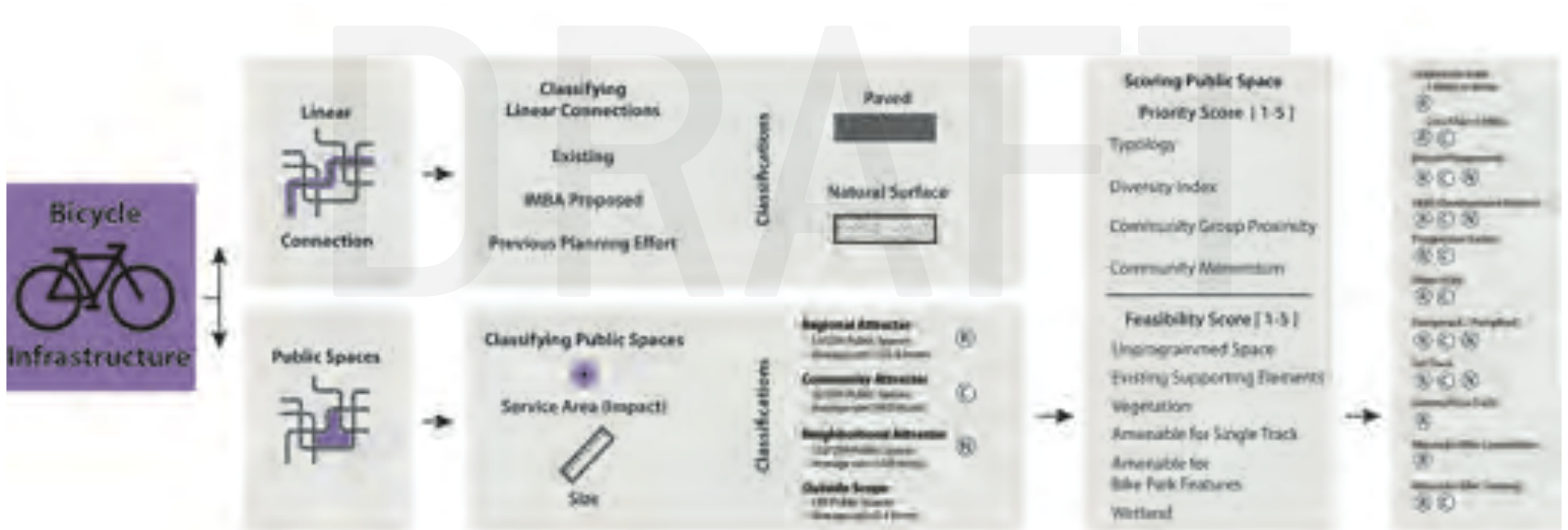


Parks and public spaces within Omaha range from formal parks with extensive programming to more “wild”, expansive recreational spaces, primarily located around many of the reservoirs. Some parks feature dense forests, landscapes that offer unique opportunities for trail development and create new experiences. While most of the larger public spaces exist outside of the urban core, public spaces within the core of Omaha have much potential and opportunities for singletrack trails and bike park amenities.

ANALYSIS PROCESS

The planning team utilized this decision process to arrive at initial conclusions of suitability and prioritization of locating trails and bike park amenities. The first step is the proposition of bike infrastructure to a site in the form of either a linear connection (trail or path) or a node (park / public space). The linear connections represent where a trail could be located with the goal of creating an interconnected trail network. Linear connections are classified as paved or natural surface.

Public spaces are representative of where trail networks and bike park amenities could be possible. The parks are classified into three typologies: regional, community, and neighborhood attracter. Each typology is suitable for a certain range of trail types and bike amenities. Each park was assessed for its level of priority by accounting for the community's diversity index, the park's proximity to community groups, and momentum from the community. Feasibility was determined by the amount of unprogrammed space, existing supporting elements, vegetation diversity, and suitable slopes for trails for bike amenities.



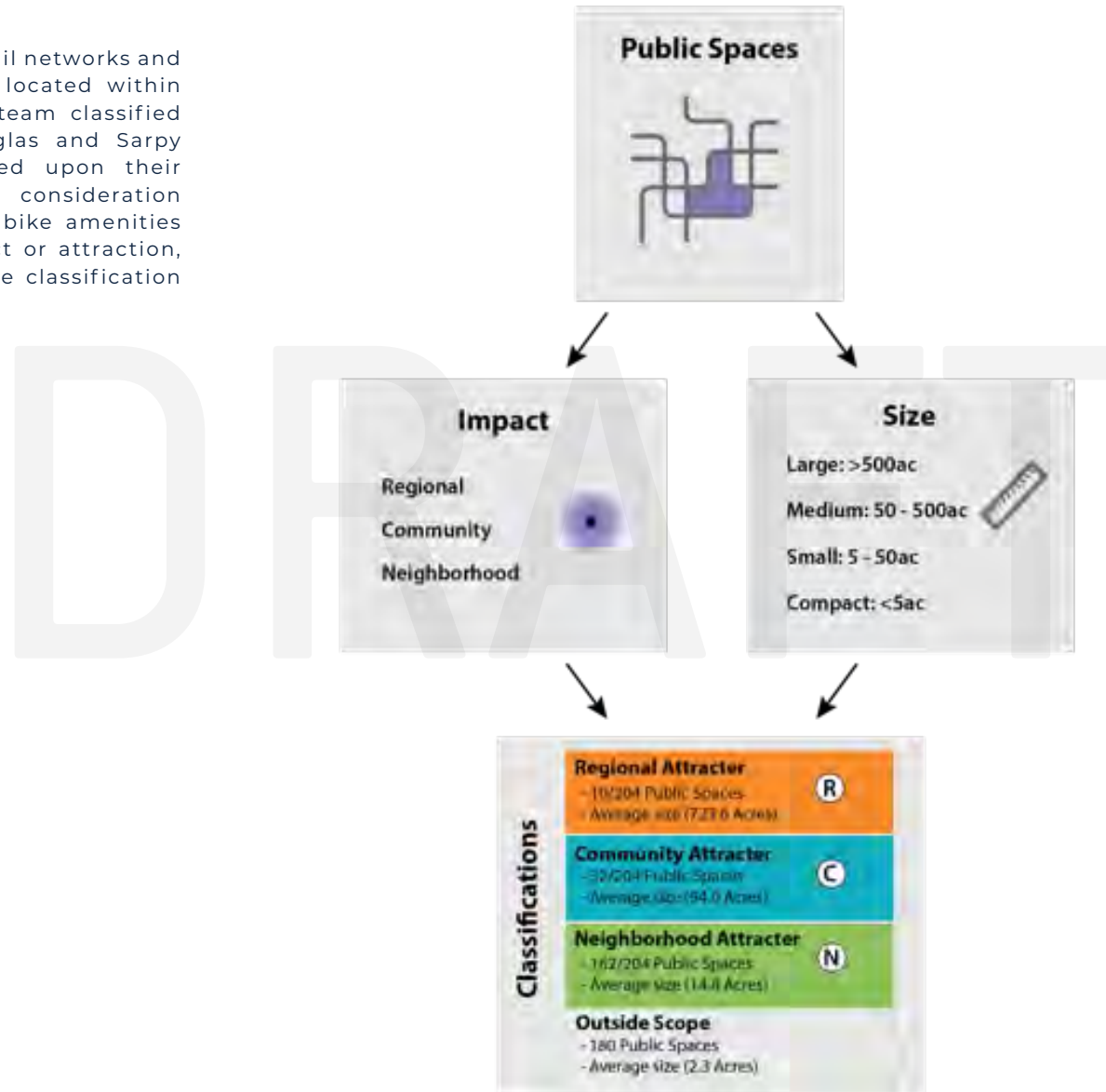
Project analysis process

CLASSIFICATION TYPOLOGIES

TYOLOGIES

To identify where singletrack trail networks and bike park amenities could be located within parks and public spaces, the team classified nearly 400 parks within Douglas and Sarpy Counties into typologies based upon their size and impact. Taking into consideration the size needed for mountain bike amenities and the scale of desired impact or attraction, nodes were classified into three classification typologies:

- Regional Attractor
- Community Attractor
- Neighborhood Attractor



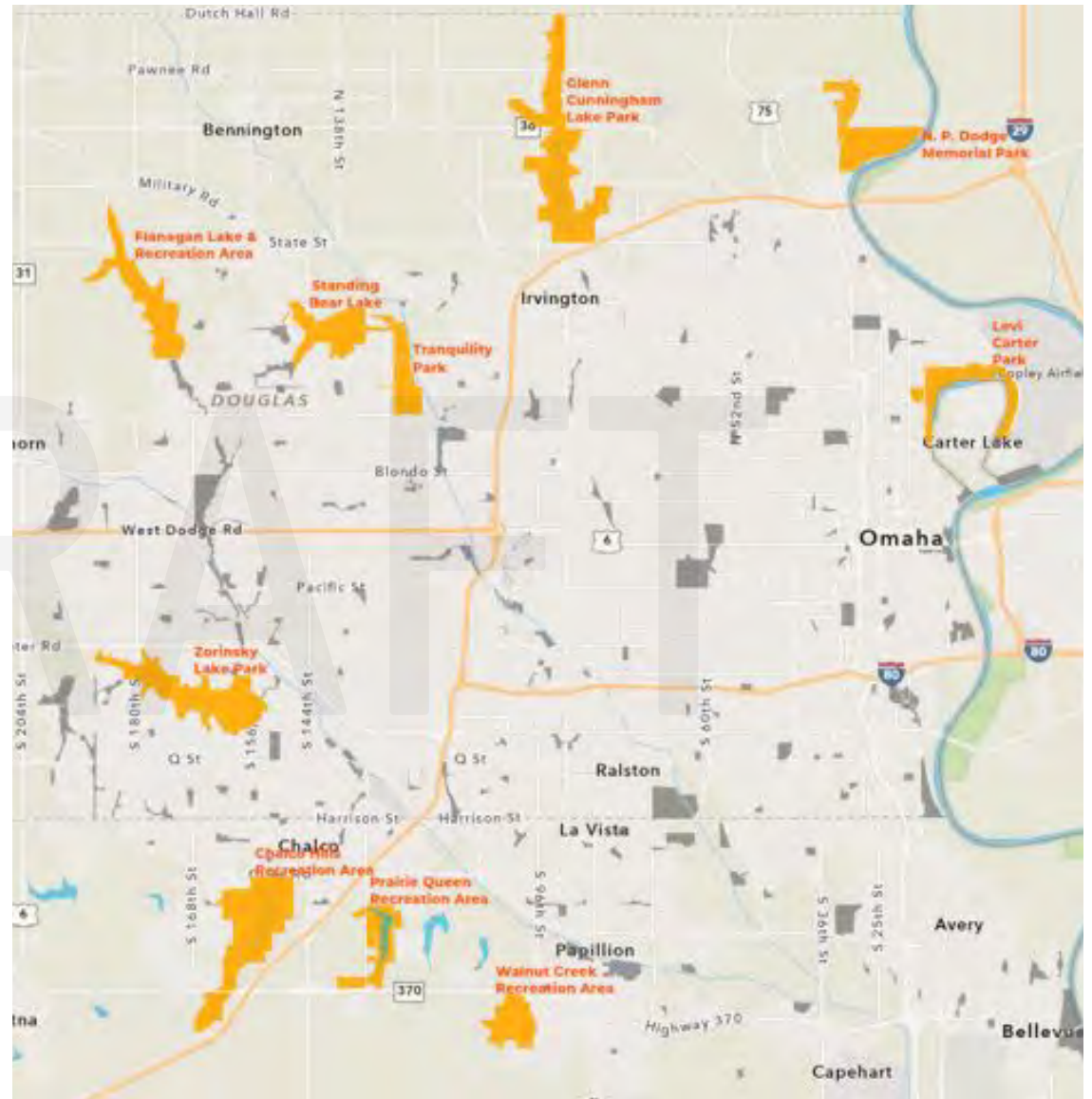
Classification Typologies

TYOLOGY 1: REGIONAL

SIZE: 400 ACRES AND ABOVE
DISTRIBUTION: 10/204 PUBLIC SPACES
AVERAGE SIZE: 723.6 ACRES

These locations serve community members and draw visitors throughout the region. These locations are suitable for the development of singletrack trail networks of greater than 5 miles and include a diversity of trail styles, both traditional and mountain bike optimized flow trails. They would serve a wide range of skill levels from beginner to expert, providing progression and skill building opportunities. Along with singletrack trails, regional destinations would also have a mixture of bike park amenities such as pump tracks, skills trails, and jump lines to offer a wide diversity of experiences to visitors.

At the regional attracter level, bike park amenities are expected to be large in size, thereby providing a signature experience. These locations need a significant amount of space to accommodate the amenities, supporting infrastructure, and the volume of users attracted to these destinations. Supporting infrastructure includes sufficient visitor parking, maintenance facilities, restrooms, shelters, and complimentary recreation amenities. When combined with appropriate supporting elements, a regional attracter can serve as a site for competitions, festivals, and other events.



Distribution of Regional Attracters

TPOLOGY 2: COMMUNITY

SIZE: 50-400 ACRES

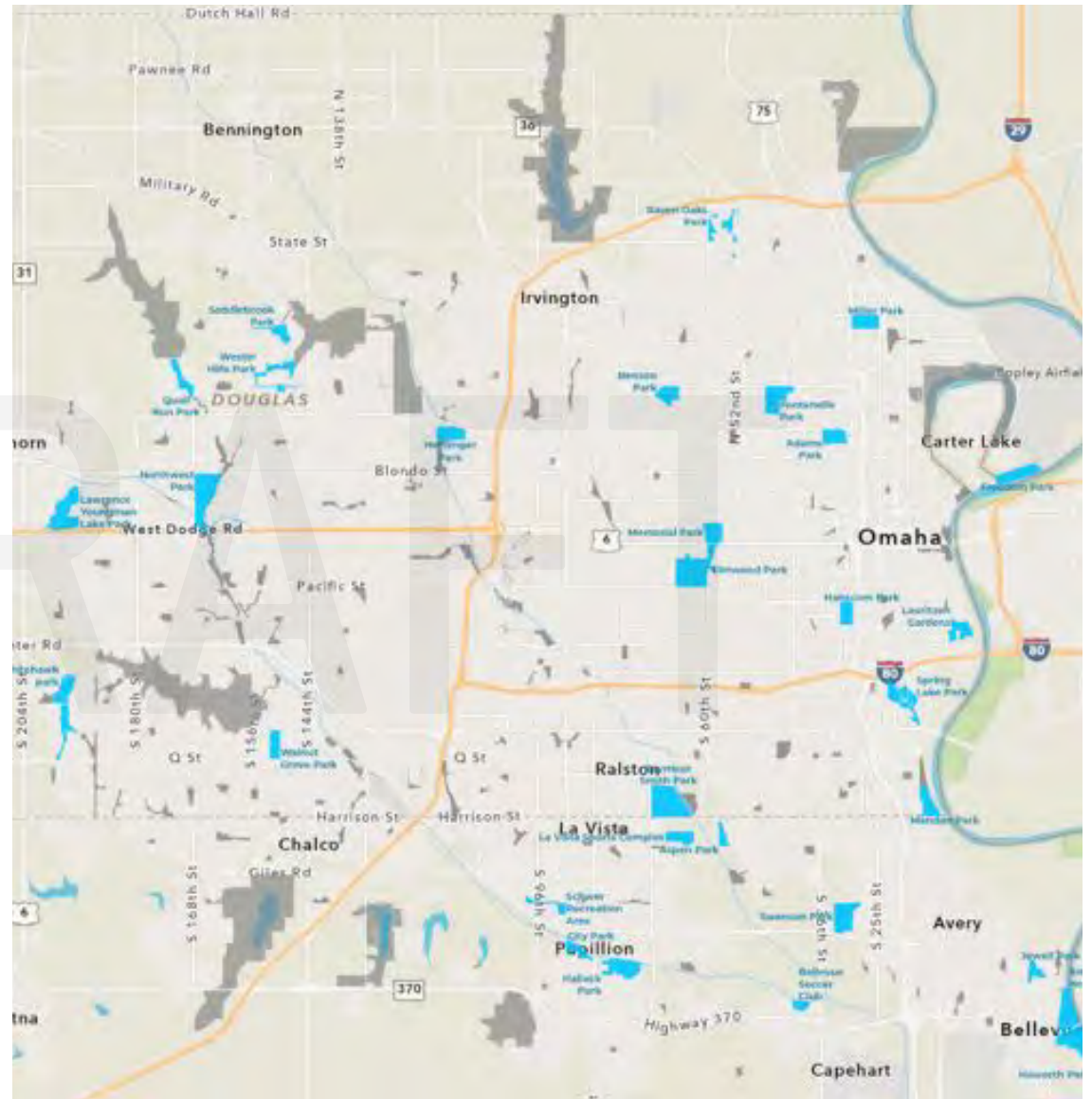
DISTRIBUTION: 32/204 PUBLIC SPACES

AVERAGE SIZE: 94.0 ACRES

Community attracters are diverse in nature and serve large populations of the community, attracting users from multiple neighborhoods. Community attracters range in size from 50 to 400 acres as their ability to meet the needs of the nearby neighborhoods depends on the surrounding urban density and availability of green spaces. For example, smaller spaces in dense urban areas may serve as a community attracter, whereas larger spaces are more likely to be located in less densely urbanized areas.

Omaha's existing community attracters often have densely programmed areas, therefore limiting the amount of available terrain for singletrack trail development and potentially limiting the development of bike park amenities. Singletrack trails are suitable at community attracters, but since their potential length will be limited, the trails will need to be designed to provide a specific, high-quality experience. Examples include dynamic flow trails, "shred-to-school" trails, and skills trails. The siting and design of the trails requires strategic planning to maximize value to visitors and the community. Trail amenities can be most effectively "activated" by locating them in proximity to other recreational amenities and necessary supporting infrastructure. Bike park amenities are highly-suitable for community attracters as they will be highly engaging activities for a broad range of residents and visitors. The size and themes of the bike park amenities can be adjusted based on input from the surrounding community.

Community attracters are anticipated to draw users from nearby neighborhoods who may choose to, ride a bike, walk or drive. As users are anticipated to drive to these public spaces, supporting infrastructure such as parking and restrooms, are recommended.



Distribution of Community Attracters

TYOLOGY 3: NEIGHBORHOOD

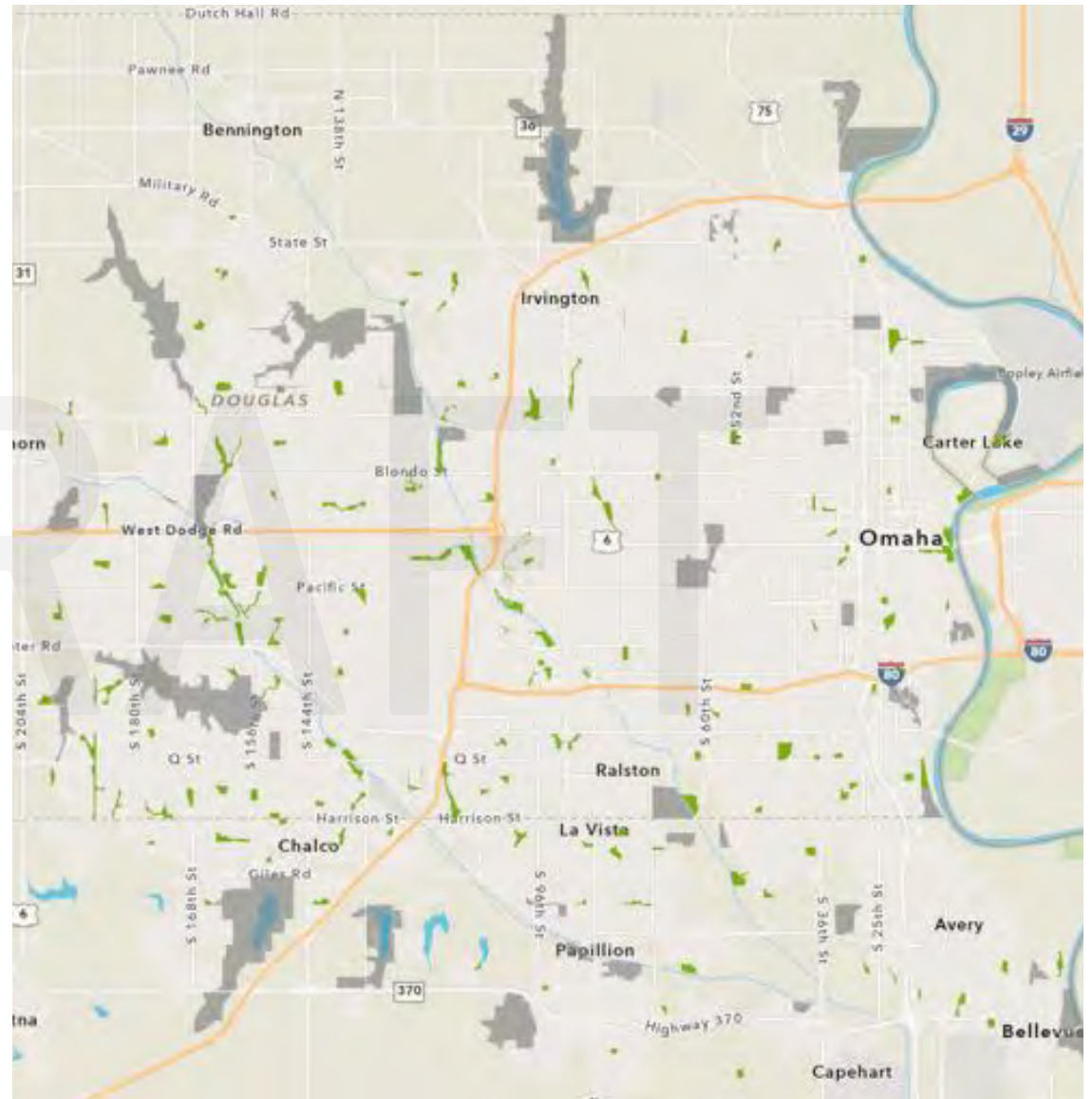
SIZE: 5-50 ACRES

DISTRIBUTION: 162/204 PUBLIC SPACES

AVERAGE SIZE: 14.8 ACRES

These locations cater to residents within the surrounding neighborhood and provide focused recreation activities. These are usually designed within a compact space but can offer highly valued recreational amenities to nearby residents. The space should be easily accessible and uninterrupted by major roads or other significant barriers that limit safe access and use.

Due to their limited size, neighborhood attracters are not highly suitable for providing miles of singletrack trails, yet they may serve as essential connectivity singletrack between trail networks. Bike park amenities on the smaller scale are appropriate. Neighborhood mountain bike amenities will be chosen to provide targeted programming to best serve the neighborhood in which it is situated.



Distribution of Neighborhood Attracters

AMENITIES

AMENITY TYPES

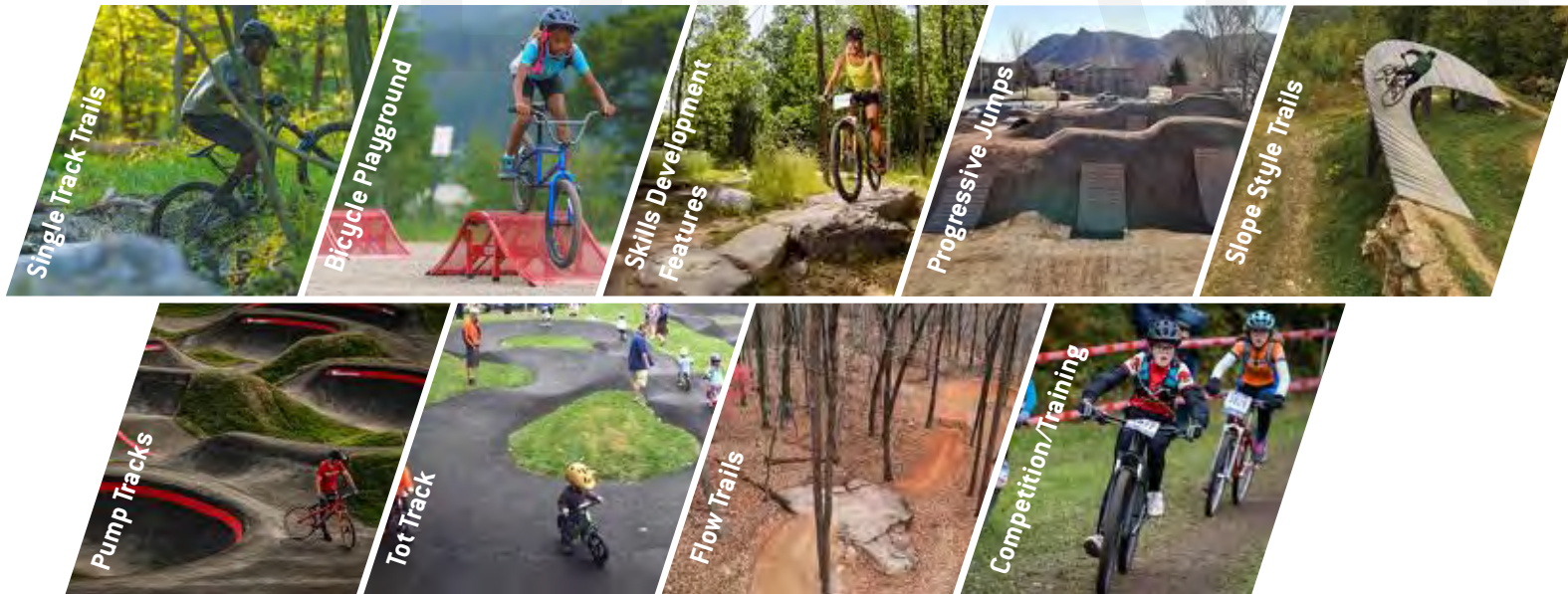
Each classification typology is suitable for certain mountain bike amenities as their scale and potential impact will dictate appropriate mountain bike amenities or sizes of trail networks. Feasible amenities, either trails or bike park features, were identified as suitable or not suitable for each classification typology.

Amenities considered in this study include:

- Singletrack trails (less than 5 miles)
- Singletrack trails (greater than 5 miles)
- Bicycle playgrounds
- Skills development features
- Progressive jumps
- Slope style trails
- Pump tracks
- Tot tracks
- Gravity / flow trails
- Mountain bike competition

A regional attracter, the largest of the public spaces, is potentially suitable for all of the mountain bike amenities. On the other hand, the neighborhood attracter, with its smaller amount of size and smaller target audience, is suitable for a smaller range of mountain bike amenities.

Singletrack trails 5 Miles or More	(R)
Less Than 5 Miles	(R) (C)
Bicycle Playgrounds	(R) (C) (N)
Skills Development features	(R) (C) (N)
Progressive Jumps	(R) (C)
Slope Style	(R) (C)
Pumptrack / PumpPark	(R) (C) (N)
Tot Track	(R) (C) (N)
Gravity/Flow Trails	(R)
Mountain Bike Competition	(R)
Mountain Bike Training	(R) (C)



Types of amenities considered in this study

PUBLIC SPACE SCORING

After classifying the parks into various classification typologies, each site was assessed based upon its priority and feasibility for development.

PRIORITY

Each public space was given a “Priority Score” based upon the following:

- Typology
- Diversity index
- Proximity to Community Groups
- Community Momentum

The priority score was ranked between 1-5, with 5 being the highest level of priority.

FEASIBILITY

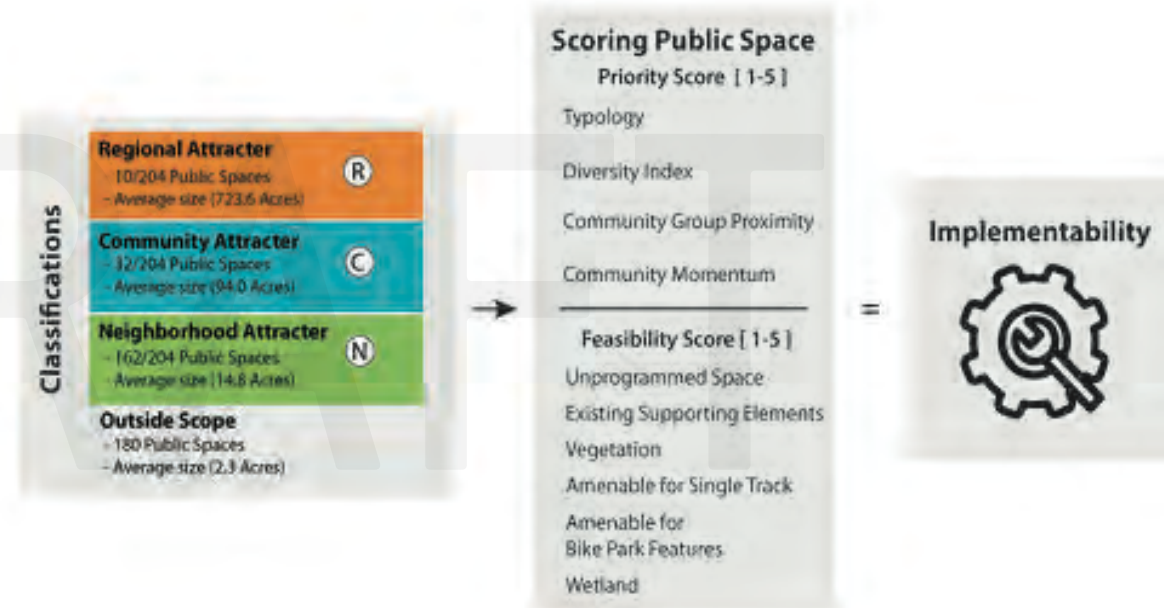
A site’s feasibility for the development of bike amenities and trails was determined by assessing the following:

- Amount of unprogrammed space
- Availability of existing supporting elements
- Amount and diversity of vegetation
- Suitability of the environment for singletrack trails and/or bike park features
- Presence of wetlands

Each of these elements were scored between 0-2, with 2 representing the most amenable conditions. When wetlands were present, this reflected in a deductive score.

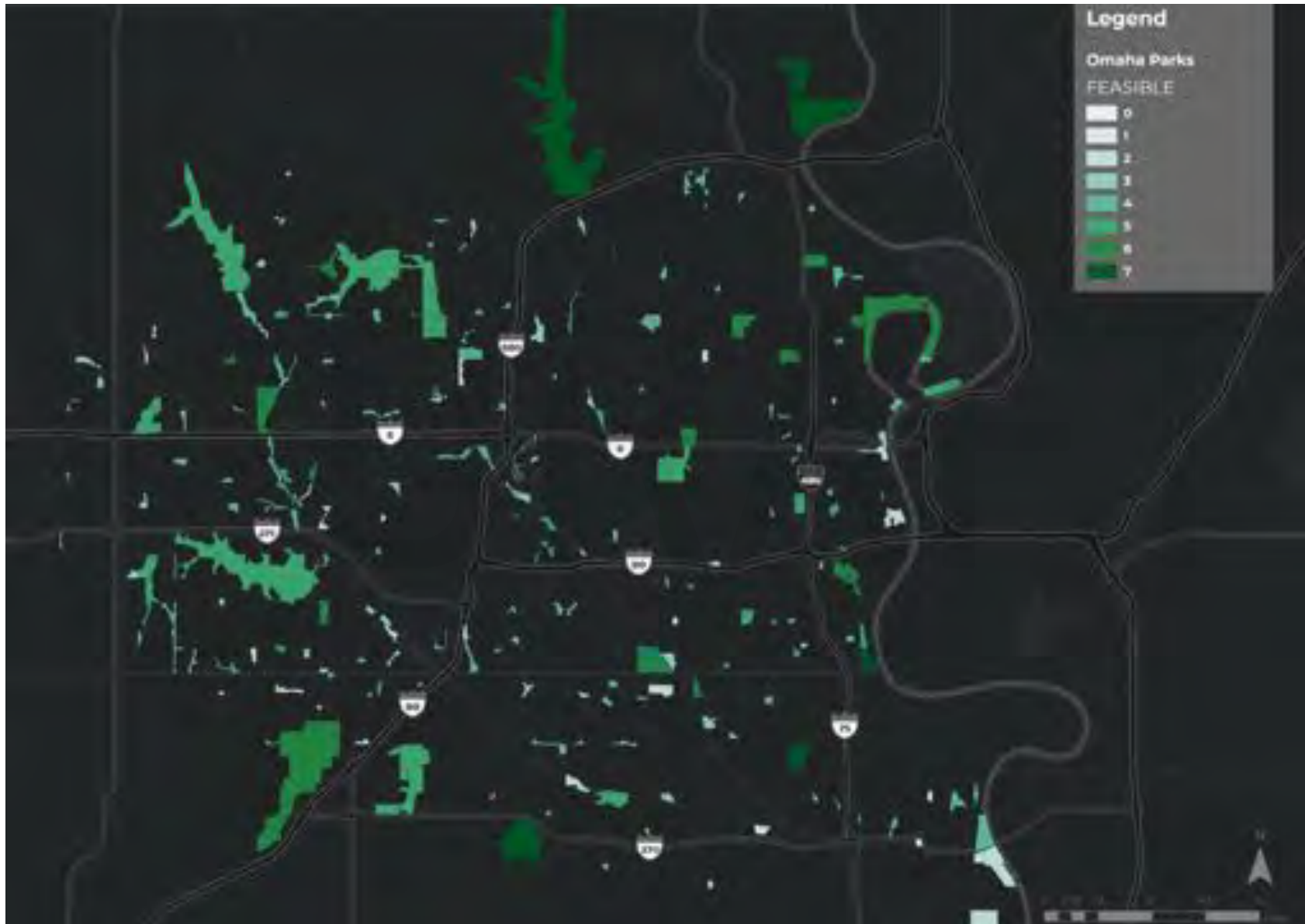
IMPLEMENTABILITY

The priority and feasibility scores were then totaled to create the “Implementation Score”. Public spaces with the highest implementability represent spaces that are the most feasible for trails and mountain bike amenities combined with the most potential to serve the community. The scores range from 1-12, with 12 being the highest level of Implementability.



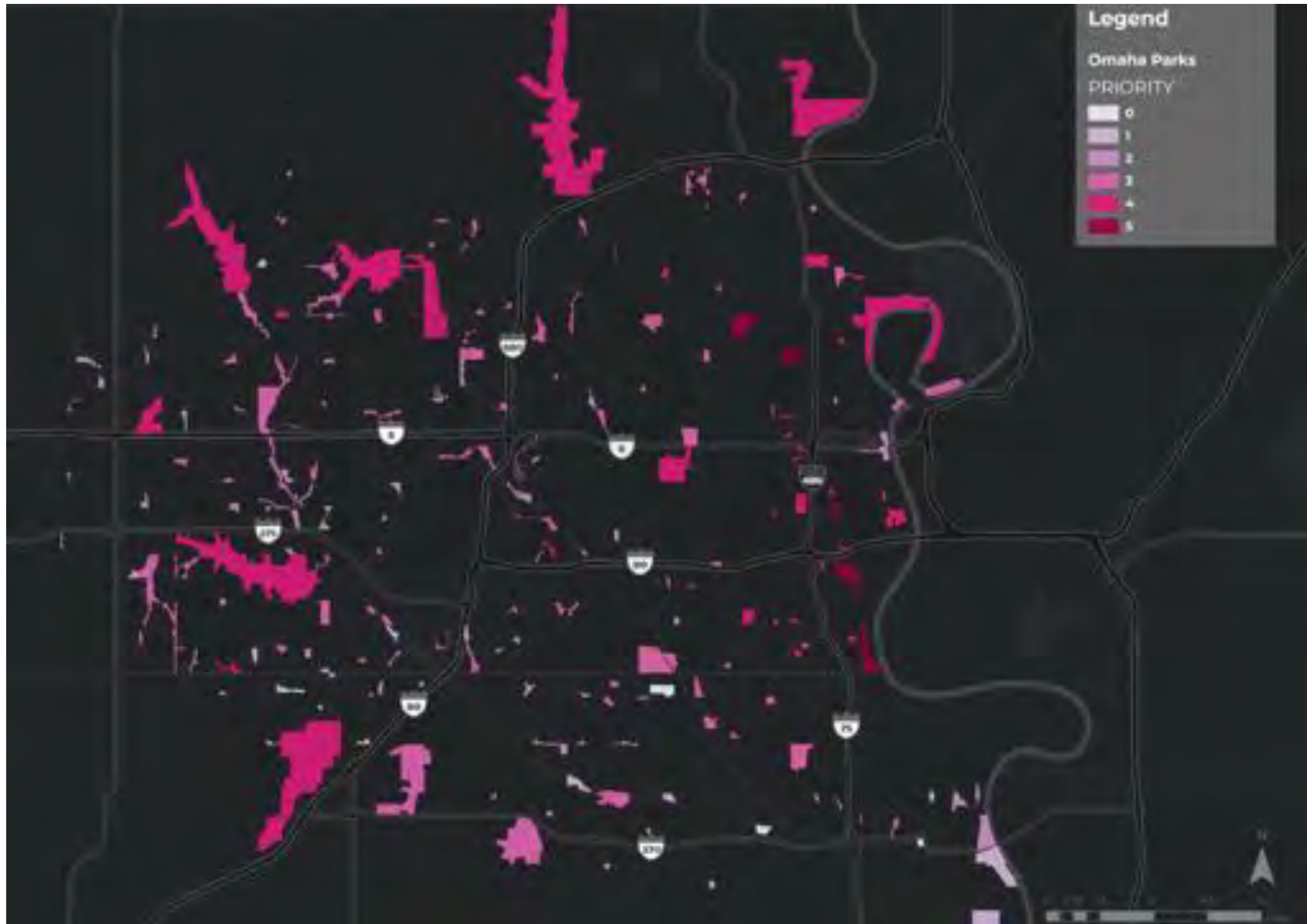
Public space scoring process

FEASIBILITY SCORE MAP



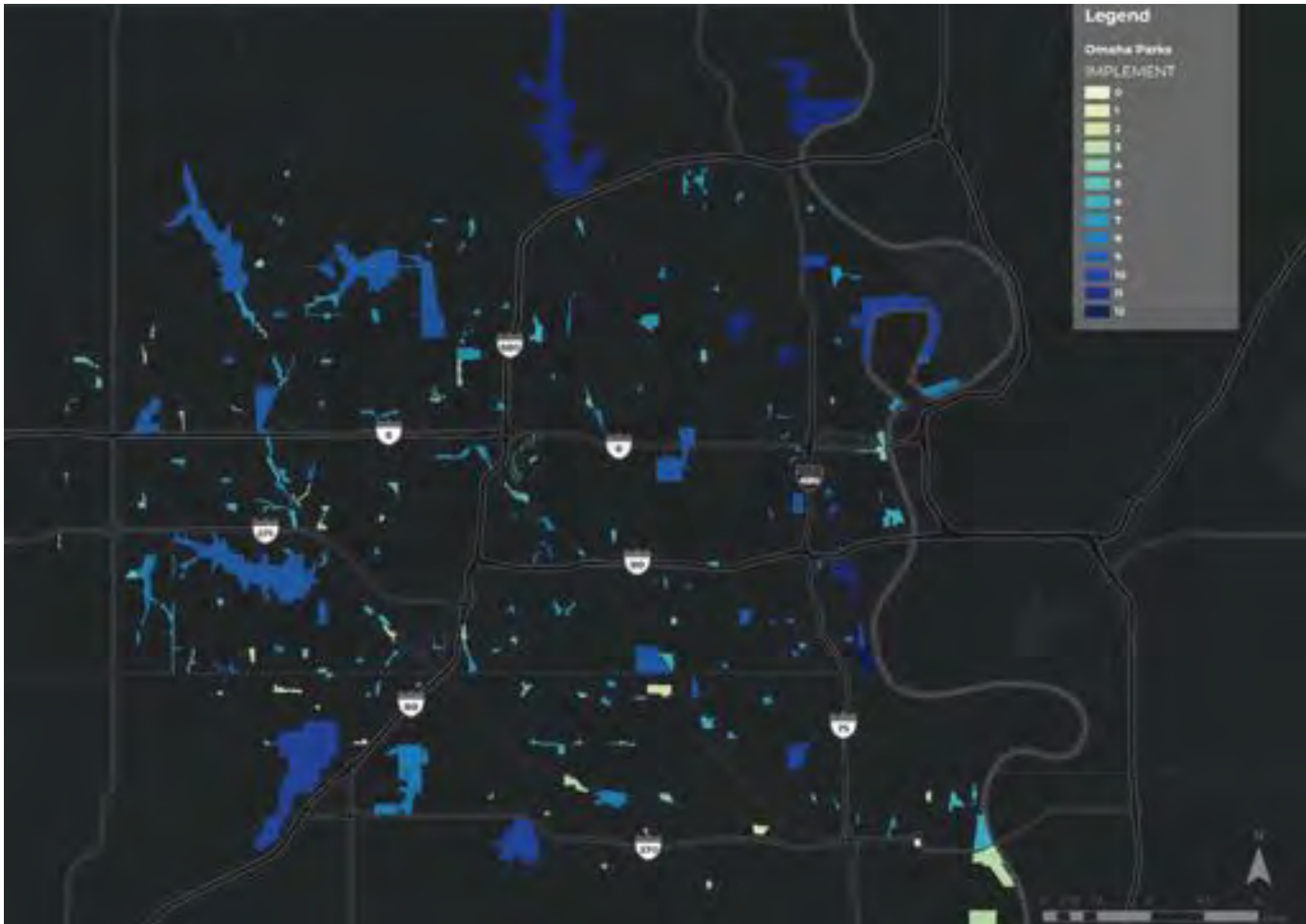
Public space feasibility: The most feasible locations for natural surface singletrack trails and bike park amenities are shown in the darkest green.

PRIORITY SCORE MAP



Public space prioritization: The highest priority locations for natural surface singletrack trails and bike park amenities are shown in the darkest pink.

IMPLEMENTABILITY SCORE MAP



Public space implementability: The most implementable locations for natural surface singletrack trails and bike park amenities are shown in the darkest blue.

COMMUNITY ENGAGEMENT

As the feasibility study progressed through various stages, the planning team sought feedback from local partners to understand their values, interests, goals, and concerns. This study employed various engagement tools to connect with community members including the following:

5 STEERING COMMITTEE MEETINGS

OUTREACH TO 5 YOUTH ORGANIZATIONS

263 RESPONSES FROM 3 SURVEYS

STEERING COMMITTEE PARTNERS

YOUTH SERVING AND COMMUNITY ORGANIZATIONS

THE BIKE UNION
GIRLS INC
LATINO CENTER OF THE MIDLANDS
OMAHA HOME FOR BOYS (OHB)
OUTWARD BOUND OMAHA
NORTHSTAR FOUNDATION
POLICE ATHLETICS FOR COMMUNITY ENGAGEMENT (PACE)
SPARK CDI

BIKE AND PEDESTRIAN FOCUSED ORGANIZATIONS

BIKE / WALK NEBRASKA
NATIONAL INTERSCHOLASTIC CYCLING ASSOCIATION (NICA)
NEBRASKA DEVO
NEBRASKA NICA
TRAILS HAVE OUR RESPECT (THOR)

REGIONAL AGENCIES AND ORGANIZATIONS

CITY OF OMAHA
CITY OF PAPIILLION
METROPOLITAN AREA PLANNING ASSOCIATION (MAPA)
NATIONAL PARK SERVICE - RTCA
NEBRASKA GAME AND PARKS
OMAHA CHAMBER OF COMMERCE
OMAHA PARKS FOUNDATION
PAPIO-MISSOURI RIVER NATURAL RESOURCES DEPARTMENT (NRD)

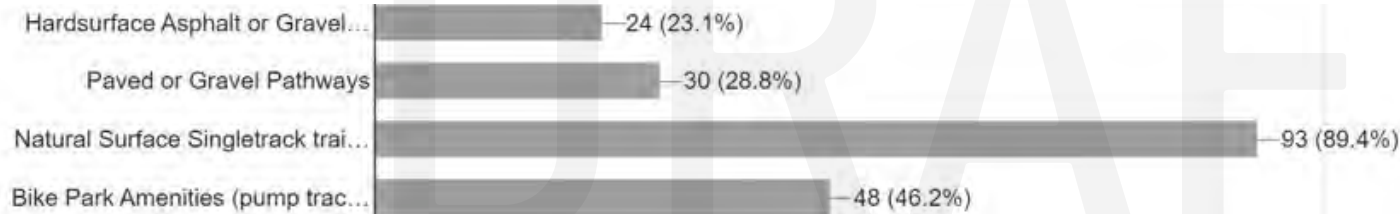
TRENDS AND RECREATIONAL INTERESTS

SURVEY RESULTS: AMENITIES

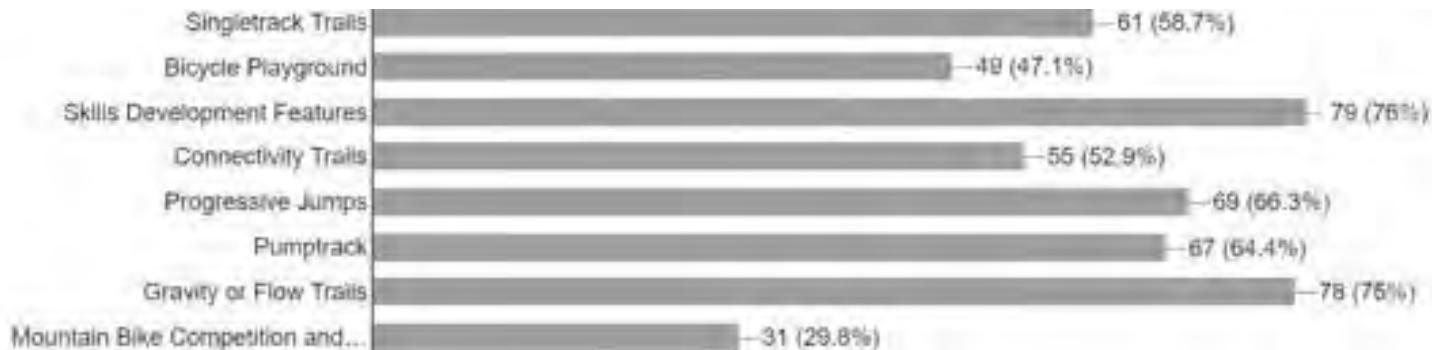
At the beginning stage of the feasibility study, the steering committee and local partners were asked to rank their current trail-related interests and what types of bicycle amenities they would like to see added. The graphs below demonstrate major trends in current use and desired recreational amenities.

(Note: Other data on respondent demographics, their feedback on the current types of trails offered, and free responses were gathered.)

WHERE DO YOU MOST ENJOY RIDING?



WHAT KINDS OF MOUNTAIN BIKE-OPTIMIZED EXPERIENCES ARE NEEDED IN THE OMAHA METRO AREA?



The charts illustrate frequently-used and most desired mountain bike recreation by survey respondents

MAJOR TAKEAWAYS

From surveys and meetings, local stakeholders communicated the following priorities for new connections, bike amenities, and trail systems.

CONNECTIONS

1 CONNECTING EXISTING NATURAL SURFACE TRAILS TO PAVED TRAIL NETWORKS

- Papio Trail to Tranquility Park and Standing Bear Lake
- West Papio Trail to Flanagan lake
- Keystone Trail to Lake Cunningham
- Keystone Trail to Swanson Park

2 CONNECTING EXISTING AND FUTURE NATURAL SURFACE TRAILS NETWORKS

- Swanson - Jewell Park - Walnut Creek
- Chalco - Prairie Queen - Walnut Creek - Zorinsky Lake
- Tranquility - Standing Bear - Flanagan
- Keystone Trail to Lake Cunningham
- West Papio Trail to Flanagan lake

3 URBAN ACCESS TO TRAILS AND PARKS

- Downtown to Lake Cunningham
- Downtown to Carter Lake
- North and South Omaha access to the Riverfront Trail

TRAIL NETWORKS AND BIKE AMENITIES

1 TRAIL NETWORKS

- Singletrack and bike optimized trails at Mandan Park
- Singletrack trails at Adams Park
- Singletrack trails and NICA training at Chalco Hills

2 BIKE AMENITIES

- Pump track at Levi Carter Park
- Pump track and skills features at Tranquility Park
- Bike Park at Swanson Park

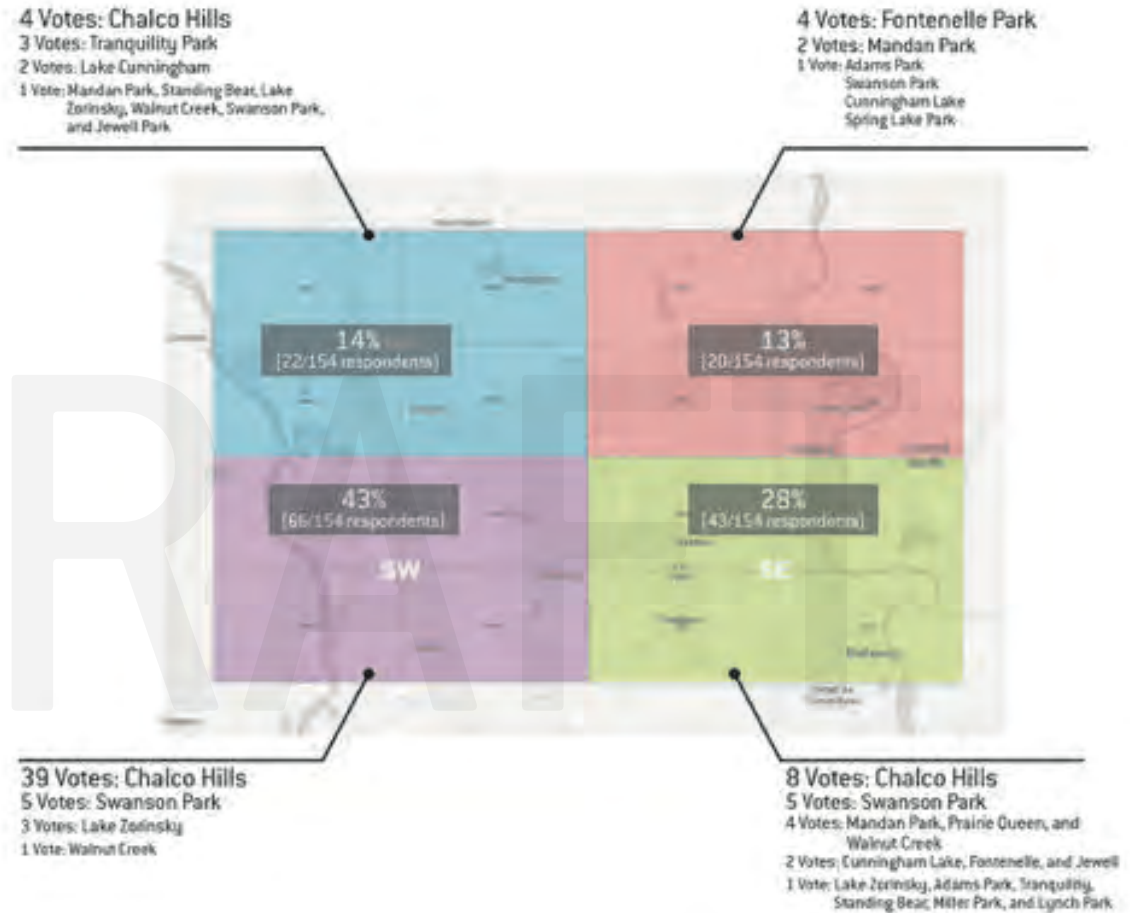
RAFT

MAJOR TAKEAWAYS

TOP PRIORITY PUBLIC SPACES:

Upon the presentation of the draft feasibility study, stakeholders were asked to rank priority public spaces for trails and bike amenities. Top-ranking parks include:

- Fontenelle Park
- Adams Park
- James F Lynch Park
- Mandan Park
- Chalco Hills Recreation Area
- Glenn Cunningham Lake
- Tranquility Park
- Standing Bear Lake
- Swanson Park
- Lake Zorinsky
- Prairie Queen Recreation Area
- Walnut Creek Recreation Area
- Jewel Park



Top-ranking public spaces for natural surface trails and bike park facilities by survey respondents



5

FINDINGS

SUMMARY OF FINDINGS

PLAN OBJECTIVES

MAJOR FINDINGS

1

IDENTIFY PARKS AND PUBLIC SPACES MOST FEASIBLE AND OF HIGHEST PRIORITY FOR IMPLEMENTATION OF TRAILS AND BIKE PARK FACILITIES

Through the analysis process, the most feasible and highly-prioritized parks were identified by scoring. These scores were added to create the "Implementability Score" to highlight which public spaces and parks to implement first. The map on the following page illustrates the top ranking parks for trails and bicycle infrastructure.



2

LOCATE CONNECTING TRAILS, BOTH PAVED AND NATURAL SURFACE, TO CREATE AN INTERCONNECTED NETWORK OF TRAILS AND PARKS/PUBLIC SPACES

Over 90 segments of either natural surface singletrack trails or paved (on-street) connections were identified. See Pages 58 - 62 for the conceptual connectivity corridors. The prioritization of these corridors will be dependent on a variety of factors presented on Page 57.



3

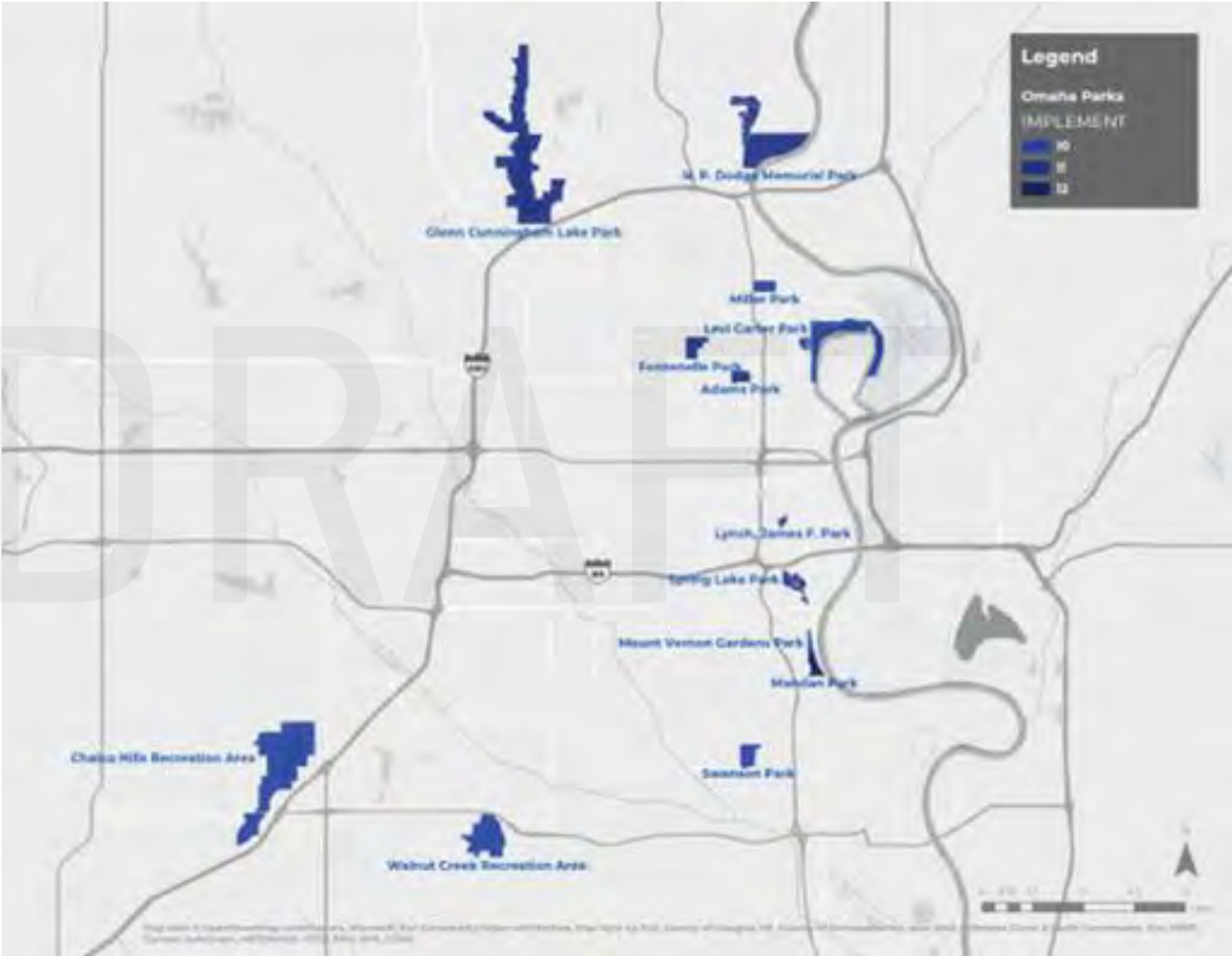
CREATE A LIST OF PRIORITY PUBLIC SPACES TO SERVE AS A GUIDE FOR IMPLEMENTATION

The top parks with the highest Implementability Scores are presented on Page 49. The suitable bike infrastructure for each park is provided along with recommendations and next steps for implementation.



TOP IMPLEMENTABILITY

The parks with the highest implementability scores are illustrated by the map on the right. The highest ranking scores (Scores of 10-12) are identified. See Pages 53 and 54 for Recommendations and Next Steps for each park.



Top-ranking public spaces for implementability of natural surface trails and bike park facilities

TOP IMPLEMENTABILITY SCORING

PARK NAME	TYPOLOGY	Scoring		
		FEASIBILITY SCORE	PRIORITY SCORE	IMPLEMENTATION SCORE
Mandan Park and Mt. Vernon Gardens Park	Community	7	5	12
Adams Park	Community	6	5	11
Glenn Cunningham Lake Park	Regional	7	4	11
Fontenelle Park	Community	6	5	11
Spring Lake Park	Community	6	5	11
N. P. Dodge Memorial Park and Hummel Park	Regional	7	4	11
Walnut Creek Recreation Area	Regional	7	3	10
James F. Lynch Park	Neighborhood	5	5	10
Levi Carter Park	Regional	6	4	10
Swanson Park	Community	7	3	10
Miller Park	Community	6	4	10
Seymour Smith Park	Community	6	3	10
Chalco Hills Recreation Area	Regional	7	3	10

TOP IMPLEMENTABILITY RECOMMENDATIONS

PARK NAME	TYOLOGY	IMPLEMENTATION SCORE	NOTES AND NEXT STEPS
Mandan Park and Mt. Vernon Gardens Park	Community	12	<p>Pros: Central to South Omaha, opportunities for programming with local organizations like PACE and Girls Inc. Diverse terrain, woodlands, and views of the Missouri River.</p> <p>Next Steps: A trails concept plan has been developed and provided in this plan. The next steps is the creation of a Memorandum of Understanding (MOU) between PACE and the City of Omaha to establish roles and responsibilities concerning operations and maintenance. Procure the services of a professional builder.</p>
Adams Park	Community	11	<p>Pros: Central to North Omaha, immediately adjacent to schools, gentle terrain for beginner trails, connectivity to nearby trails, and future programming opportunities with the community center.</p> <p>Next Steps: A trail concept plan has been developed. Continue to build community momentum around the trails concept plan and engage the nearby neighbors to communicate recreational needs to the land manager.</p>
Glenn Cunningham Lake Park	Regional	11	<p>Pros: Over 1,400-acre, regional park offering diverse recreational amenities and terrain highly-suitable for trails. Connections to North Omaha via existing and planned trails with future programming opportunities for local organizations.</p> <p>Next Steps: Revisit the trails masterplan and consider incorporating other bike-based recreational amenities.</p>
Fontenelle Park	Community	11	<p>Pros: Open space for bike amenities and trails with immediate connectivity to existing paved trails. Very close to NorthStar and Omaha Home for Boys for future programming.</p> <p>Next Steps: A trail concept plan has been developed. Continue to build community momentum around the trails concept plan and engage the nearby neighbors to communicate need to land manager.</p>

TOP IMPLEMENTABILITY RECOMMENDATIONS

PARK NAME	TYOLOGY	IMPLEMENTATION SCORE	NOTES AND NEXT STEPS
Spring Lake Park	Community	11	<p>Pros: Highly-suitable terrain and relief for trails, connectivity to exiting paved trails and future trails at Mandan Park.</p> <p>Next Steps: Develop a trails concept plan and present to land manager to integrate into the park's master plan.</p>
N. P. Dodge Memorial Park and Hummel Park	Regional	11	<p>Pros: Woodlands and terrain for a 10-15 mile network of singletrack trails and open spaces for a diversity of park features. Great potential as a NICA venue with open space for events and future programming with summer camps and local organizations.</p> <p>Next Steps: A trail concept plan has been developed. Continue to build community momentum around the trails concept plan and engage the nearby neighbors to communicate need to land manager.</p>
Walnut Creek Recreation Area	Regional	10	<p>Pros: Large, regional-scale park with potential to serve as a NICA venue or trails programming for local organizations. Immediately adjacent to Papillion - La Vista High School and close to Liberty Middle School. Potentially connectivity to the West Papio South Trail.</p> <p>Next Steps: Develop a trails concept plan and present to land manager to integrate into the park's master plan.</p>
James F. Lynch Park	Neighborhood	10	<p>Pros: Park in need of redevelopment with users currently skateboarding and biking, demonstrating a need for skate/bike infrastructure. Central to South Omaha in an area that lacks recreational activities for children</p> <p>Next Steps: Communicate need for bike infrastructure and integrate bike amenities into the revised park masterplan.</p>
Levi Carter Park	Regional	10	<p>Pros: Open space for a wide range of bike amenities and trails. Park is close to the residents of North Omaha with future trail connections that ease access to the park.</p> <p>Next Steps: Develop a trails concept plan and present to land manager to integrate into the park's master plan.</p>

TOP IMPLEMENTABILITY RECOMMENDATIONS

PARK NAME	TYOLOGY	IMPLEMENTATION SCORE	NOTES AND NEXT STEPS
Swanson Park	Community	10	<p>Pros: Open space and gentle terrain for bike amenities and more trails. Strong existing base of trail users and future connectivity to the Keystone Trail</p> <p>Next Steps: A draft trails and bike park plan has been created, but is awaiting adoption by the community. Continue to build community momentum around the trails concept plan and engage the nearby neighbors to communicate need to land manager.</p>
Miller Park	Community	10	<p>Pros: An actively programmed park located immediately adjacent to the Nelson Mandela Elementary School. While much of the park space contains established recreational amenities, pockets of the park are suitable for bike park features.</p> <p>Next Steps: Collaborate with City of Omaha park planners to understand the park's masterplan and future planning. Coordinate with local youth-serving organizations and schools in the area to assess recreational needs and assess the feasibility for future programming by their organizations.</p>
Seymour Smith Park	Community	10	<p>Pros: Large park with a skate park and connectivity via the Big Papio Trail. Lots of opportunity to add a pump track and skills area next to the skatepark and/or natural surface trails in the forested areas of the park.</p> <p>Next Steps: Collaborate with City of Omaha park planners to understand the park's masterplan and future planning of the park.</p>
Chalco Hills Recreation Area	Regional	10	<p>Pros: Large areas of unprogrammed forested areas and prairies with opportunity for a 5+ mile network of natural surface trails. Significant community momentum for trails by existing NICA coaches and student athletes.</p> <p>Next Steps: Coordinate with the Army Corp of Engineers to understand the park's masterplan and schedule for planning efforts/community feedback. Develop a conceptual trails plan, establish a trails working group to build momentum and support, and develop an advocacy plan to share the plan with land managers and stakeholders.</p>

CONNECTIVITY CORRIDORS

OBSERVATIONS AND FINDINGS

1. East-west connections:

Through the steering committee meetings, conversations with local cycling enthusiasts, and the survey responses, the need for increased east-west connections came to the top as priorities for improved connectivity. This feasibility study identified key east-west corridors to connect existing paved trail infrastructure to each other along with schools, parks, and other public spaces. As illustrated by the graphic to the right, many of these paved or on-street connections are proposed in the very urban locations of North and South Omaha.

100 series segments: These segments provide increased access to Fontenelle, Park, Adams Park, and Carter Park along with connecting North Omaha residents to the Riverline Trail.

200 series segments: Creating a connection between downtown Omaha and Big Papio South, this primary east-west connection allows residents of central and South Omaha to access Elmwood Park, Hanscom Park, James Lynch Park, and the Riverline Trail.

400 series segments: South of I-80, these on-street connections provide South Omaha residents with access to Spring Lake Park, Mandan Park, Swanson Park while connecting to the Keystone Trail.

700 series segments: In the municipalities of Ralston and La Vista, these segments connect residents to the Big Papio Trail and West Papio Trail.

At this stage, the corridors are identified without specific treatments. During the next stages of planning, working with local agencies and regional planning organizations (MAPA) will be necessary to refine these alignment and begin to specify signage and wayfinding types, bike lanes, and separated pathways within existing right-of-ways.



2. Natural surface trail opportunities:

The feasibility study focused on where to local natural surface trails within the densely-populated urban core where conditions were favorable with available open space and treed corridors. Establishing natural surface trails in the urban core creates “more trails close to home”, increasing their every day use and accessibility by urban residents.

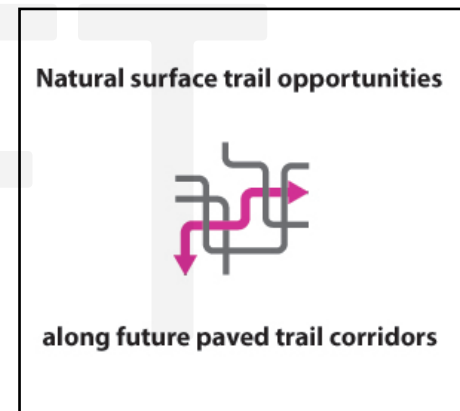
Mostly notably, a natural surface trail corridor (Segments 104-107) is shown in North Omaha that follows the North Omaha trail in instances and optimizes the use of the treed corridor. This creates a 7.4-mile natural surface trail experience for North Omaha residents for recreational use and active transportation options.



3. Natural surface trail opportunities along future paved trail corridors

Many of the future and proposed alignments by local and regional planning organizations follow stream corridors on the fringes of the metro area. These stream corridors contain treed areas and natural areas that are highly-suitable for natural surface trail experiences. Many of these stream corridors also connect to large public spaces (Walnut Creek, Chalco Hills, etc.). Considering that the land around the reservoirs represents some of the largest, continuous public space, these are unique opportunities for urban natural surface trail systems. Connecting the stream corridors and future natural surface trails around the reservoirs creates the potential for 10-20 mile trail loops.

As the findings of this study move to the next steps of planning, consider natural surface trails along the same corridors where future, paved trails are planned to provide both trail experiences to residents. Locating natural surface trails in conjunction with greenway and paved trails have been successful in many urban trail networks.



4. Loop opportunities northwest Omaha

As mentioned, many proposed trail alignments are located along stream corridors that connect existing mountain bike trail networks. In North Omaha, the stream corridors are also highly suitable for a looped trail network (Segments 1101 - 1103) between Tranquility Park and Lake Cunningham.

Additionally, Segments 301 through 303 create a looped trail experience with the existing and proposed paved trails, providing residents with long distance trail experience.



TRAIL CORRIDORS: MILEAGE SUMMARY

92 MILES OF NATURAL SURFACE SINGLETRACK TRAILS

45 MILES OF PAVED / ON-STREET CONNECTIONS

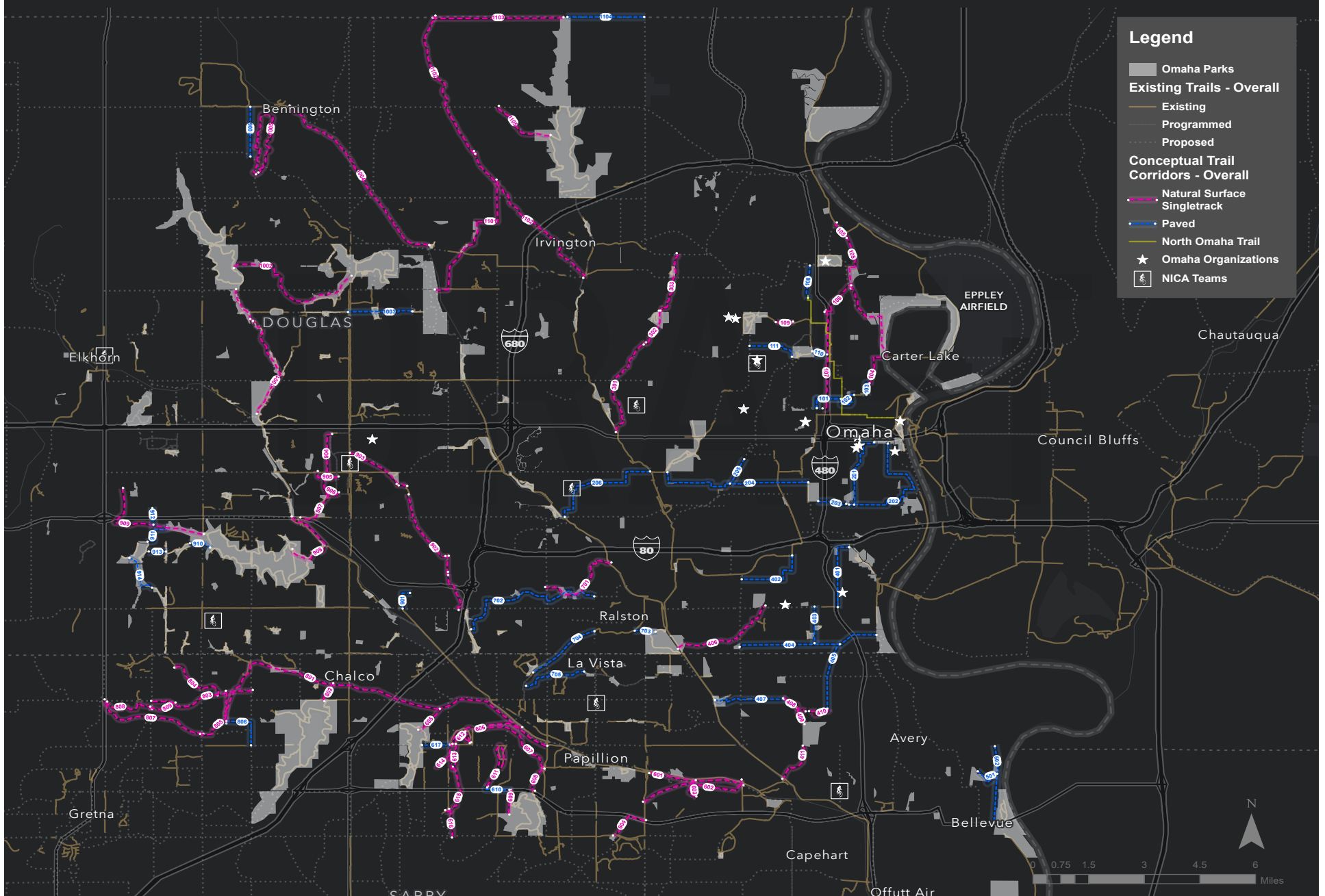


RECOMMENDATIONS

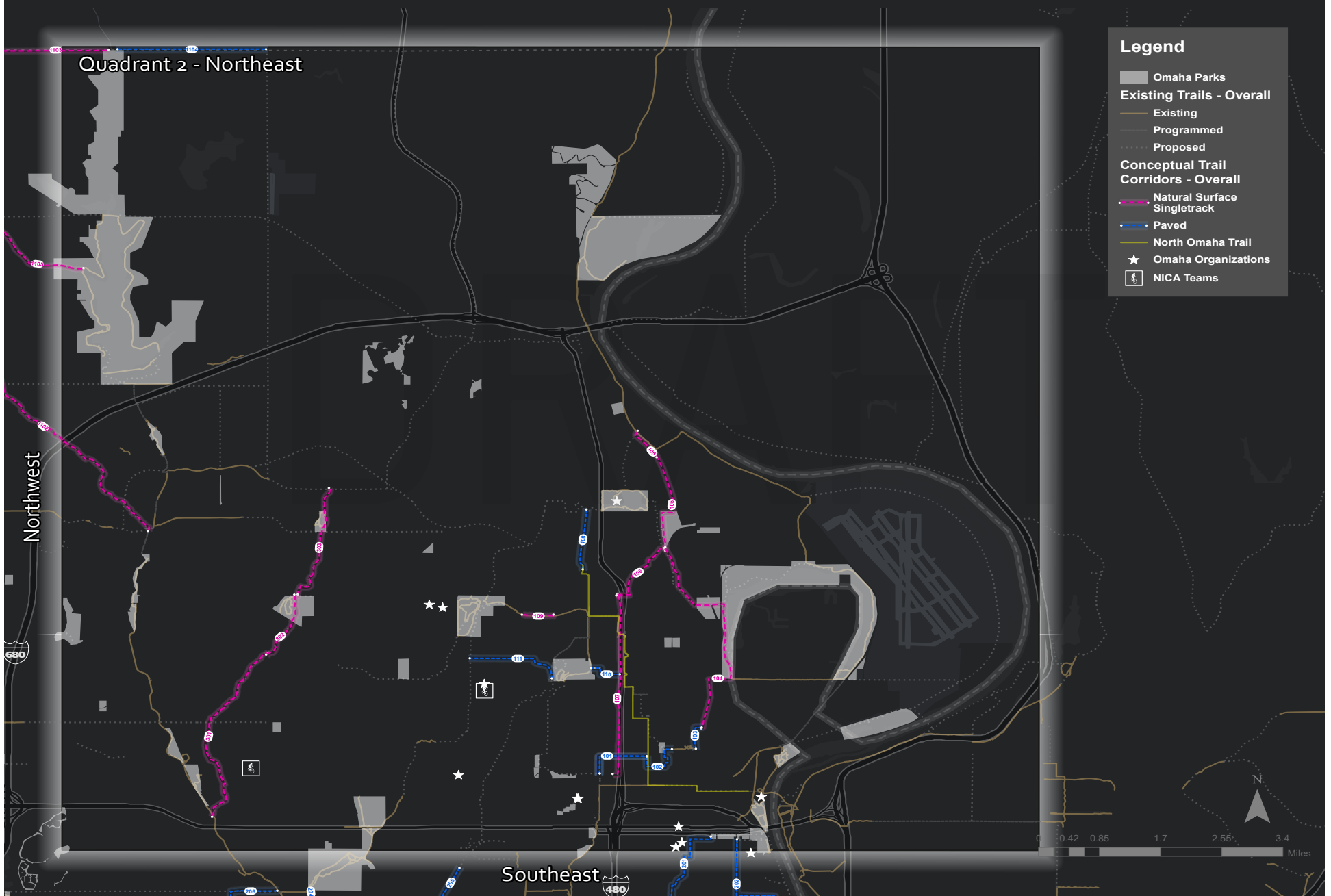
When considering the prioritization of these connectivity corridors, the following factors are listed as guidance to direct where to allocate resources to implement corridors. These factors are listed in order of priority and meant as generalization of hierarchy. Prioritization of corridors will be dependent on context, nearby projects, and opportunities for connections to other trails.

- **Recreation access for an area of the city classified as underserved**
- **Connectivity to schools**
- **Connectivity to high-priority public spaces**
- **Connectivity to existing natural surface trail systems**
- **Create a loop**
- **Connectivity to paved trails**
- **Natural surface singletrack prioritized over paved where applicable**

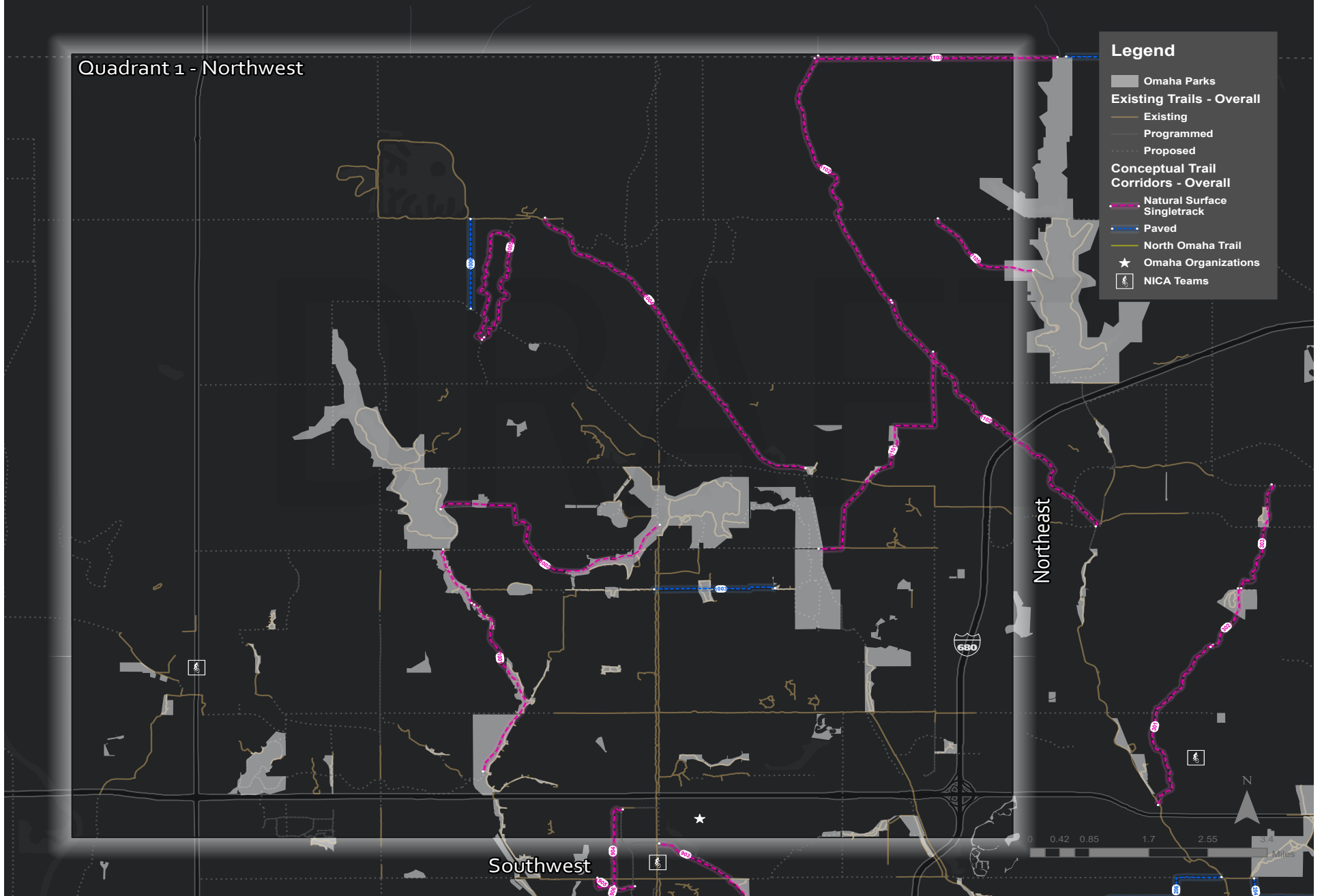
CONNECTIVITY CORRIDORS: OVERALL



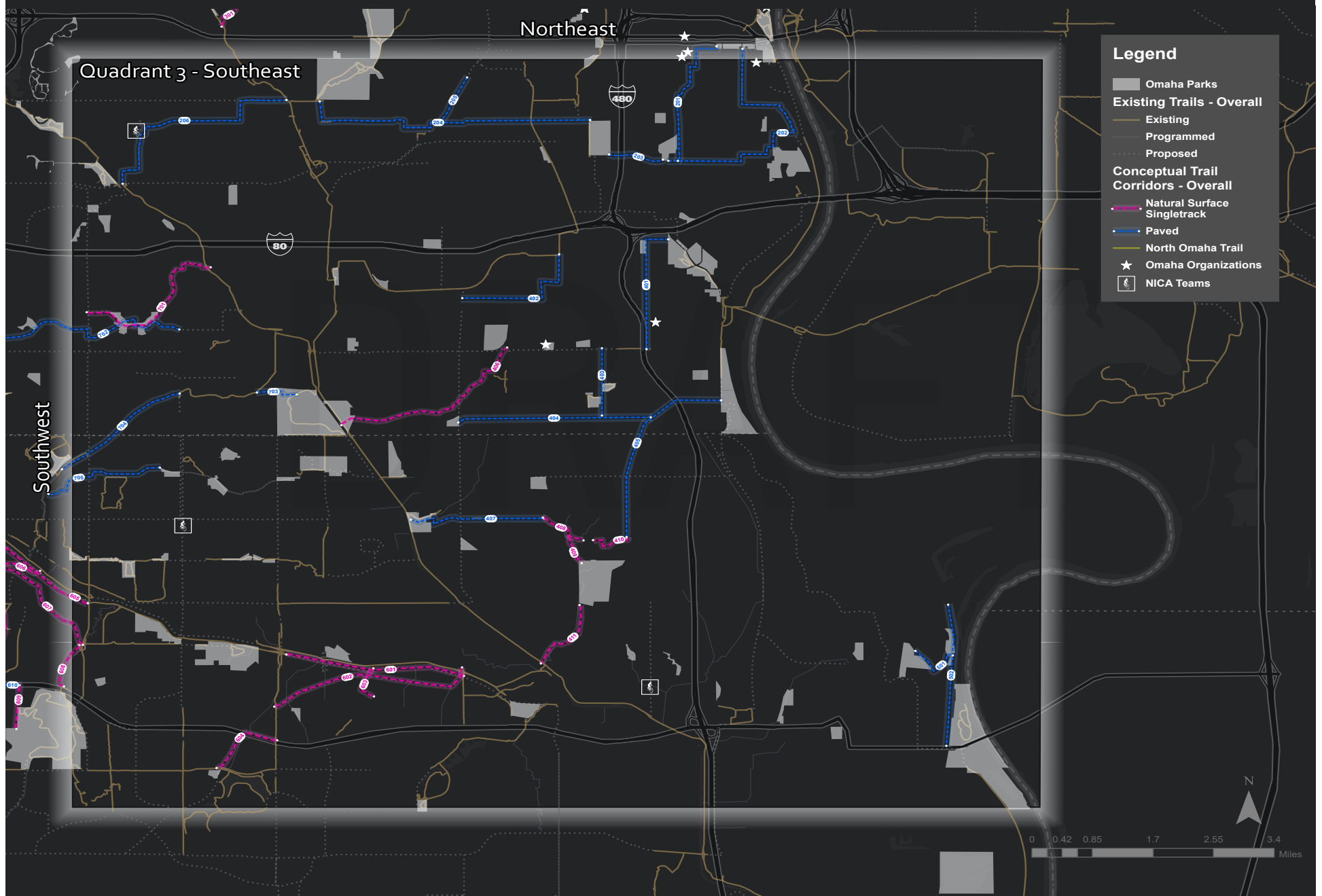
CONNECTIVITY CORRIDORS: NORTHEAST



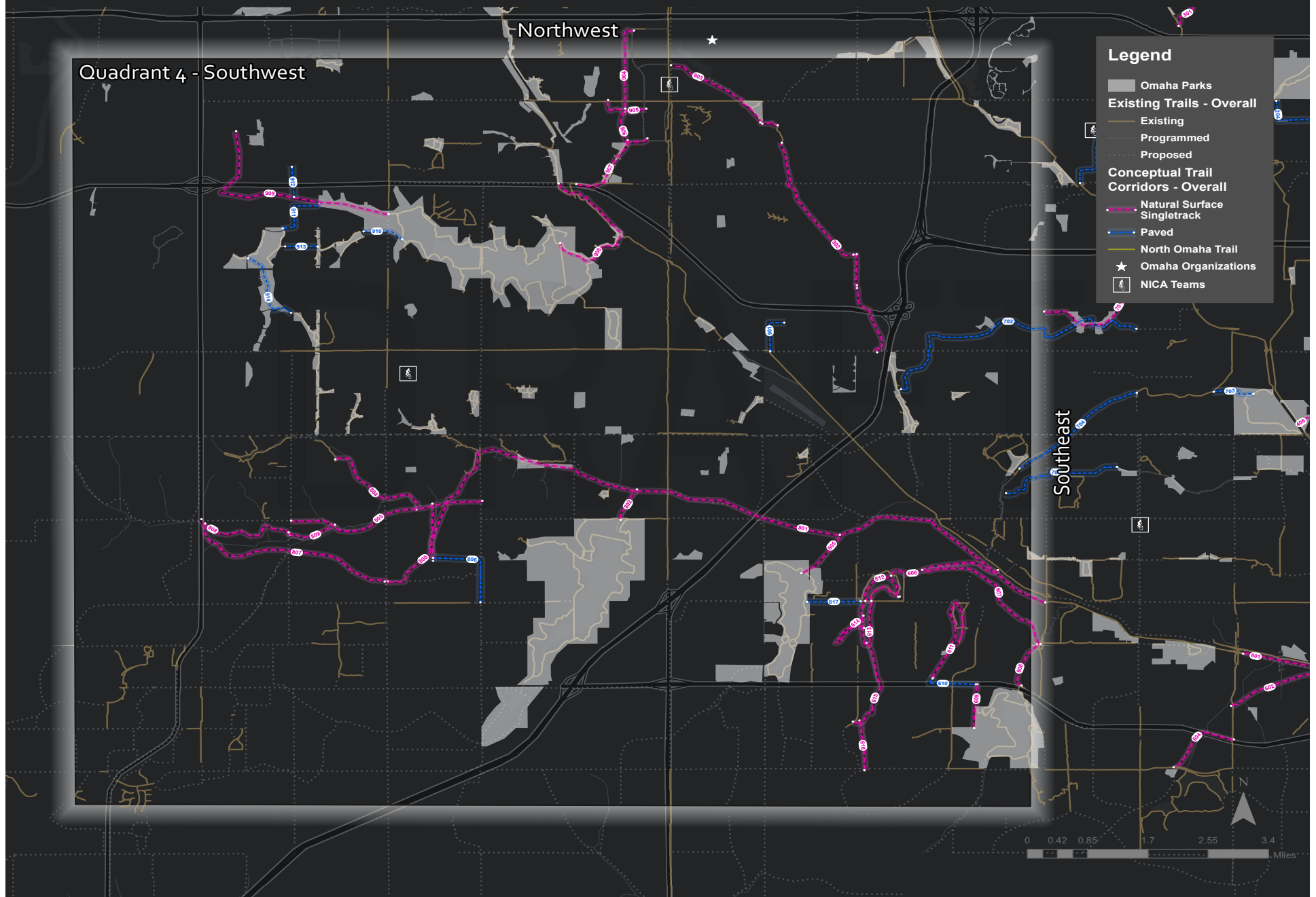
CONNECTIVITY CORRIDORS: NORTHWEST



CONNECTIVITY CORRIDORS: SOUTHEAST



CONNECTIVITY CORRIDORS: SOUTHWEST





6

CONCEPTUAL PLANS

CONCEPTUAL PLANS OVERVIEW

The following pages include conceptual trail and bike amenity plans for five (5) parks identified as top-ranking for implementation. These plans are meant to illustrate the potential for trail and bike amenity development at each park. They are preliminary at this stage before review and acceptance by the community. The parks selected include:

- Adams Park
- Fontenelle Park
- Dodge Park
- Hummel Parks
- Swanson Park*

**Note: The Swanson Park plan was developed in 2019 in collaboration with THOR.*

Introducing additional trails to the Omaha metro will provide natural surface singletrack trail experiences for all community members, increasing accessing to the outdoors and promoting a healthy, engaging activity. The project takes into account the interests of all potential user groups, including pedestrians and cyclists to create plans that are inclusive of all trail users. Overall, the concept plans were guided by the following objectives:

- Introduce youth and family-focused gateway trails and bike amenities to Omaha
- Integrate and expand access to natural surface trail amenities in historically underserved communities
- Introduce additional bike optimized trails to create an engaging riding experience for mountain bikers
- Incorporate trails with a broad range of difficulty levels and technical challenges to create a progressive system of trails which allows all mountain bikers the opportunity to grow their skills



ADAMS PARK

SITE SUMMARY

Adams Park, located between Bedford and Maple Streets, is a 67-acre urban park that serves the South Omaha community. The park is home to the Adams Park community center that features a diversity of youth and adult activities along with an array of park amenities including a playground, walking path around the stormwater pond, and tennis courts. The site is an urban oasis featuring gentling rolling terrain with large trees among wide stretches of grass and pockets of forest. The park is divided by John A. Creighton Boulevard with existing park programming located on the northern end and a natural space to the south. Overall, the site is highly amenable to trail development as much of the park is unprogrammed and features natural landscapes with forested slopes among gentle terrain.



Existing paved trails at Adams Park



Gentle slopes with large trees

KEY OPPORTUNITIES

- Adams park serves over 4,285 residents within a 10-minute walk¹.
- The park offers space and terrain for natural surface trails that provide recreational amenities for many user groups, including hikers, runners, dogwalkers, bird watchers, and bikers.
- Multiple schools are located in the vicinity of the park, including Nebraska Early Child Collaborative, Howard Kennedy Elementary School, and King Elementary. With the density of residents and schools, the parks offer significant potential for programming.
- As the site features patches of forested areas, providing access to this landscape through trail development creates a unique, nature-focused experience, especially unique considering the surrounding urban environment.
- The terrain features gentle slopes, which provide suitable conditions for varying trail styles and bike features. The gentle slopes allow for trail corridors that can support the development of adaptive mountain bike trails.
- The grassy open space adjacent to the basketball courts contains flat terrain to support bike features, such as a pump track and skill development trail. Alternatively, the open space just north of the tennis courts and playgrounds is also suitable for these amenities. These trails and bike-focused amenities are popular among youth and align with the existing youth-focused amenities.
- The open space between the Nebraska Early Child Collaborative and Howard Kennedy Elementary School is well-positioned to provide a bicycle playground that can serve as an engaging play space for both schools.
- Currently, walking is provided as an activity of the community center. Providing paved and natural surface trails can provide improved and additional recreational amenities to support existing programs.
- Future trail alignments identified by previous planning efforts including *Omaha Masterplan Transportation Element (2012)* and *the North Omaha Development Project* pass through or connect to the site, adding to the trail connectivity and access to the site.



Adams Park Community Center with basketball courts



Open space just north of the community center and adjacent to the basketball area can be programmed with a pump track and skills area. A paved trail is conceptualized along the perimeter of this space as a short loop. This short loop could serve as a walking path for many of the current community center users.

KEY CONSTRAINTS

- The site is nearby North Freeway (75) which reduces the ease of accessibility to the residents of adjacent neighborhoods.
- While parking is provided on site, trail users will expect amenities such as changing stations, restrooms, and water.
- Adding natural surface singletrack trails to the park will require maintenance. Open, grassy areas require regular vegetation management to keep the trail corridor clear especially during the growing season.



Existing benches and grill stations at Adams Park



Open space of the southwest corner of the site (south of John Creighton Blvd)

CONCEPTUAL TRAIL NETWORK AND BIKE FEATURES

This concept plan seeks to provide an engaging, nature-based activity for park visitors of all ability levels and trail users including pedestrians and bikers. Conceptual natural surface trails include easier (green) and more-difficult (blue) trails and range from traditional singletrack to mountain bike optimized trails. In total, the plan includes 6.2 miles of conceptual singletrack alignments along with 1.3 miles of a future paved pathway, bicycle playground, and pump track along with a skills development area.

Most of the trails are conceptualized as shared-use, bidirectional traditional singletrack for pedestrians and bikers. This shared-use system provides trails for multiple user groups and creates varying loops. Where conditions allow, bike-specific trails are located to provide riders with sought-after descending trails. This approach reduces user conflicts as riders are provided with a designated, descending experience away from the shared-use trails. The majority of the trails are proposed as easier (green) trails to provide introductory and approachable trails for new trail users. These trails are sited along gentle slopes that can support corridors wide enough for the development of adaptive mountain bike trails. As the park is located in a dense urban area, the site is well-positioned to offer bike-based recreational amenities that will serve all members of the community.

Two potential locations for a small pump track and skills development areas are shown on the conceptual plan as “Option 1” and “Option 2”. Both areas provide very gentle terrain and are located by parking and existing recreational amenities that are already destinations for families and children. Paved pump tracks are enjoyed by riders of all ability levels along with those on scooters, skateboards, and balance bikes. Oftentimes, pump tracks become a hub of activity for children and families but also a magnet for more advanced mountain bikers looking for this unique amenity. The skills development trails offer skill development play features that provide an engaging activity for children and riders of all ability levels. In between the Nebraska Early Child Collaborative and Howard Kennedy Elementary School, a bicycle playground is provided as a feature that can be enjoyed by students as a programmed activity during the school day as well as on their way to and from school.



Small paved pump track envisioned for Adams Park



Bicycle playground with skills features envisioned for Adams Park

CONCEPTUAL PLAN SUMMARY

SURFACED TRAILS

- 0.33 miles (mileage does not include future alignments by other planning efforts)

SHARED-USE, TRADITIONAL TRAILS

- 12 segments of green (easier) trails: 3.54 miles
- 2 segments of blue (more-difficult) trails: 0.55 miles
- = Total distance of traditional trails: 4.1 miles

MOUNTAIN BIKE OPTIMIZED TRAILS

- 1 green (easier) trail: 0.25 miles
- 2 segments of blue (more-difficult) trails: 0.90 miles
- = Total distance of bike optimized trails: 1.15 miles

BICYCLE FEATURES

- Bike playground: 0.24 miles
- Pump track and skills development area



Natural surface singletrack trail



Natural surface singletrack trail



Wooden skills feature

TRAIL SEGMENT DATA

TRAIL SEGMENT	TYPE	STYLE	DIFFICULTY	USER	DIRECTION	DISTANCE (FT)
101	WIDE SURFACED PATHWAY	PATHWAY	WHITE	HIKE / BIKE	BIDIRECTIONAL	0.33
102	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.25
103	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.17
104	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.65
105	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.27
106	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.08
107	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.51
108	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.41
109	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.05
110	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.13
111	SINGLETRACK	BIKE-OPTIMIZED	GREEN	BIKE	DOWN	0.25
112	SINGLETRACK	BIKE-OPTIMIZED	BLUE	BIKE	DOWN	0.29
113	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.68
201	SINGLETRACK	SKILL	GREEN	BIKE	ONE-WAY	0.24
202	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.34
203	SINGLETRACK	TRADITIONAL	BLUE	HIKE / BIKE	BIDIRECTIONAL	0.11
204	SINGLETRACK	BIKE-OPTIMIZED	BLUE	BIKE	DOWN	0.62
205	SINGLETRACK	TRADITIONAL	BLUE	HIKE / BIKE	BIDIRECTIONAL	0.43
TOTAL CONCEPTUAL TRAIL MILEAGE:						5.81 MILES*

**NOTE: Mileage does not include future paved alignments by other planning efforts.*

FONTENELLE PARK

SITE SUMMARY

Fontenelle Park is a 106-acre urban park within the Northwest Community Club neighborhood. The park attracts many visitors with its splash pad, tennis courts, ball fields, picnicking sites, and paved path network. Central to the park, the Fontenelle Lagoon is a favorite among locals for fishing and walking along the lake. Previously home to a golf course, the park features large areas of unprogrammed, gently rolling terrain among large trees. As the park is currently a recreational hub for many residents and features open, gentle terrain, site is highly amenable to bike park feature and singletrack trail development.



Open space of Fontenelle Park just west of the splash pad and playground. This mostly level location with highly visibility and ease of access to parking is highly amenable for a large scale pump track and skills features.

KEY OPPORTUNITIES

- Fontenelle Park serves over 8,193 residents within a 10-minute walk¹. As the park is connected to neighborhoods by a network of paved pathways, the site can be accessed by walking or biking.
- Previous planning efforts propose trail or on-street bike connections along many of the streets bordering Fontenelle Park, increasing access and connectivity to the park.
- Located just a block to the west, the NorthStar Foundation and Omaha Home for Boys are actively working towards developing bike-based programming as part of their curriculum. Locating the bike infrastructure close to these youth-serving organizations ensures ease of access by staff and youth.
- The park features gently-sloping terrain with forested sections which are highly feasible for the development of singletrack trails.
- The flatter, undeveloped open spaces are suitable for developing bike park features.
- Parking is currently provided at three locations: at the main entrance along Fontenelle Boulevard and two locations along North 48th Street. These parking facilities can serve as future trailheads to conveniently access singletrack trails and bike park amenities.



Gentle slopes of Fontenelle Park

KEY CONSTRAINTS

- Portions of the site contain very flat areas with evidence of slowly-draining areas of turf. As some of the conceptual trails traverse through these areas, special trail construction techniques will be needed to ensure a high-quality trail experience for users.
- The park is divided by Paxton Boulevard and Fontenelle Boulevard, reducing connectivity options between trails of the east and west sides of the park. Clearly marked crossings with signage and striping to warn both motorists and trail users will be required.
- While parking is provided on site, trailhead amenities such as restrooms, bike repair stations, and water will be necessary to serve trail users.
- Adding natural surface singletrack trails to the park will require maintenance. Open, grassy areas require regular vegetation management to keep the trail corridor clear especially during the growing season.



Low-lying areas of Fontenelle Park



Trail crossing at Paxton Blvd

CONCEPTUAL TRAIL NETWORK AND BIKE FEATURES

As Fontenelle Park is located nearby youth-serving organizations and serves thousands of nearby residents, it is a high priority site for the development of new and engaging recreational amenities. The existing bike infrastructure and future planned corridors in the adjacent neighborhoods offer increased mobility options to the park. With gentle slopes and elevation relief, the site is highly suitable for both bike park amenities and natural surface trails.

The gently-sloping terrain and open space next to the park's splash pad and playground provide highly suitable conditions for a pump track and skills area. The pump track adds a complementary use to the existing family-focused amenities of this zone and is easily accessed by two existing parking locations. As was noted in the Adams Park Concept Plan, paved pump tracks are enjoyed and accessible by users on all types of wheeled devices and become gateway amenities for the newest of riders. The scale of pump track depicted the plan is nearly 40,000 square-feet, representing a regional-scale amenity. As the pump track would be large to host events, a space is shown on the plan as a flexible zone for event needs. Adjacent to the pump track, a skills area is shown that would feature "easy" to "advanced" routes with features for riders to practice bike handling skills.

On the northeast corner of the park, a bike park zone is conceptualized between the existing ball fields. This open, nearly-flat space is suitable for a range of bike features including a bicycle playground, skills development features, and jump lines. This area can also provide an alternative space for the pump track and skills area. Understanding parking capacity and needs of the adjacent neighborhood are recommended before prescribing specific bike infrastructure.

Conceptual natural surface trails are shown as easier (green) trails to provide gateway experiences for those new to mountain biking. The trail styles range from traditional singletrack to mountain bike optimized trails. A perimeter, shared-use trail bordering the park is provided with pockets of bike optimized, descending trails which offer desired experiences for riders. In total, the plan includes 4.5 miles of singletrack alignments.



Large scale pump track envisioned for Fontenelle Park



Family-focused skills features

CONCEPTUAL PLAN SUMMARY

SURFACED TRAILS

- 0.3-mile

SHARED-USE, TRADITIONAL TRAILS

- 3 segments of green (easier) trails: 2.69 miles

MOUNTAIN BIKE OPTIMIZED TRAILS

- 4 segments of green (easier) trails: 1.78 miles

BICYCLE FEATURES

- Large pump track
- Skills development zone
- Event space
- Bike park area



Traditional natural surface singletrack trail



Large scale pump track example



Mountain bike optimized trail with bermed turn

TRAILS CONCEPT PLAN Fontenelle Park

Omaha, NE
September 2021



TRAIL AND BIKE FEATURE EXPERIENCES



TRAIL SEGMENT DATA

TRAIL SEGMENT	TYPE	STYLE	DIFFICULTY	USER	DIRECTION	DISTANCE (MI)
101	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.64
102	SINGLETRACK	BIKE-OPTIMIZED	GREEN	BIKE	DOWN	0.41
103	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	0.86
104	SINGLETRACK	BIKE-OPTIMIZED	GREEN	BIKE	DOWN	0.55
105	SINGLETRACK	BIKE-OPTIMIZED	GREEN	BIKE	DOWN	0.24
201	SINGLETRACK	TRADITIONAL	GREEN	HIKE / BIKE	BIDIRECTIONAL	1.19
202	SINGLETRACK	BIKE-OPTIMIZED	GREEN	BIKE	DOWN	0.58
TOTAL CONCEPTUAL TRAIL MILEAGE:						4.5 MILES

**NOTE: Mileage does not include future paved alignments by other planning efforts.*

DRAFT

DODGE AND HUMMEL PARK

SITE SUMMARY

Dodge Park and Hummel Parks, located at the northeastern edge of Omaha, are large parks (655 acres total) that feature both riverside access and expansive views from the river bluff. Hummel Park is home to a summer camp activity site with an environmental education center. The park also includes a network of hiking trails and disc golf area. From the Hummel Park's highest points, visitors can view the expansive open space and Missouri River below. Dodge Park is known for the marina, ballfields, and trailhead to the Riverfront trail. These parks combine to offer a diversity of terrain type from gentle at Dodge Park to steep and undulating at Hummel Park.



Trail along the Missouri River (Dodge Park)

KEY OPPORTUNITIES

- The existing 22-mile Missouri Riverfront trail passes through Dodge Park and is a popular amenity for many residents. Many trailhead users were observed at the intersection of John J Pershing Drive and Dodge Park Road. The trail serves as a connection corridor between the parks and North Omaha residents.
- Dodge Park includes large areas of unprogrammed forested space that provides suitable conditions for trails. The amount of forested area is not available at many parks within Omaha's metro area.
- Dodge Park contains numerous parking locations with capacity for new trail users. Additionally, wide open space around the sport fields can be utilized as event space for trail-based fundraisers, training, and racing. As more high school racing teams are formed, Dodge could become a key location for mountain bike athlete training and National Interscholastic Cycling Association (commonly known as NICA) events.
- As Dodge Park borders the Missouri River, the park is uniquely positioned to offer riverside experiences to trail users.
- Hummel Park features dynamic, undulating terrain among a forested landscape. This steeper, more complex terrain allows for more advanced and challenging trails for riders to progressively build skills
- Majority of the southern part of Hummel Park is unprogrammed without existing trails with the potential to offer new trail experiences for both pedestrian and bike users.



Open space for bike events at Dodge Park



Existing access roads and forested areas of Dodge Park

KEY CONSTRAINTS

- As Dodge Park is located in the floodplain, the park experiences times of standing water and complete inundation during major events. Trails will require special construction techniques in sensitive areas.
- Some areas of dead trees at Dodge Park were observed. Removal of dead trees in trail areas will be necessary.
- The north end of Hummel Park is comprised of hiking trails along the bluff top along with a network of user-created, non-system trails. Many trails exhibit signs of erosion which indicates a need for assessment, planning, and optimization of the network. An assessment of the entire network is recommended to identify user experience goals and major circulation routes.
- As both parks contain a network of roads, carefully-placed trail crossings with appropriate signage and striping are necessary to inform both motorists and trail users.



View from Hummel Park



Occasional dead trees at Dodge Park



Steep hiking trail at Hummel Park

CONCEPTUAL TRAIL NETWORK AND BIKE FEATURES

The combined acreage of Dodge Park and Hummel Park create a unique opportunity for diverse trail experiences and significant trail mileage. They are located in close proximity by vehicle to the urban core and connected by bike via existing pathways to North Omaha, a historically underserved area. Dodge Park has the unique potential to host competitions and events as the site features open space and numerous parking/access locations. Hummel Park features highly-varied, steep terrain that is unique when compared to other parks and can support more-difficult, progressive trails.

The conceptual plan for Dodge Park includes both easier (green) trails closer to the park entrance and more-difficult (blue) trails as visitors move towards the river. All singletrack trails at Dodge Park are conceptualized as shared-use and bidirectional. Just south of the soccer fields, a 3.5-mile training or event loop is conceptualized in the plan. The terrain of this area along with the adjacent open space and parking area creates high-suitable conditions for middle school and high school races. These conditions to host events are unique to Dodge Park and should be considered when moving into next steps of design. Coordination with local youth programs and NICA teams is recommended to assess the feasibility of the site for their current and future programming needs. The conceptual plan includes a new trailhead location at the north-central edge of the park. This allows ease of access to the riverside trail network. Overall, Dodge Park provides natural surface singletrack experiences for new riders and access to the Missouri River.

Hummel Park includes a network of more-difficult (blue) and more-difficult (black) trails and introduces mountain bike optimized, downhill trails designed for bike users. The steepness and undulations of the terrain lends itself well for these trail experience types. Two trailheads are shown on the plan for mountain bikers and pedestrians to access the conceptual trails and existing hiking trails. At this time, Trail Solutions recommends an assessment of the existing hiking trail network; many trails were observed as exceeding sustainable grades and not suitable for bike users. The plan includes a crossing of Copper Hollow Road; this serves as a vital link between the trails on either side of the valley. This will require signage and striping to inform both trail users and motorists of the crossing location.



Mountain bike race



Rider getting air on a mountain bike optimized trail

CONCEPTUAL PLAN SUMMARY

SHARED-USE, TRADITIONAL TRAILS

- 6 segments of green (easier) trails: 8.23 miles
- 7 segments of blue (more-difficult) trails: 4.48 miles

MOUNTAIN BIKE OPTIMIZED TRAILS

- 2 segments of blue (more-difficult) trails: 0.73 miles
- 2 segments of black (most-difficult) trails: 0.78 miles

BICYCLE FEATURES

- Bike training or event loop
- Event space



Traditional singletrack trail



Riders enjoying mountain bike optimized elements



Family bike ride on a natural surface trail

TRAIL SEGMENT DATA

TRAIL SEGMENT	PARK	TYPE	STYLE	USER	DIFFICULTY	DIRECTION	DISTANCE (MI)
101	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	GREEN	BIDIRECTIONAL	3.49
102	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	GREEN	BIDIRECTIONAL	0.44
103	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	GREEN	BIDIRECTIONAL	0.68
104	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	GREEN	BIDIRECTIONAL	0.64
105	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	GREEN	BIDIRECTIONAL	0.51
106	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	GREEN	BIDIRECTIONAL	2.45
107	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.93
108	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.87
109	DODGE PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.92
201	HUMMEL PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.47
202	HUMMEL PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.38
203	HUMMEL PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.38
204	HUMMEL PARK	SINGLETRACK	BIKE-OPTIMIZED	BIKE	BLUE	DOWN	0.32
205	HUMMEL PARK	SINGLETRACK	BIKE-OPTIMIZED	BIKE	BLACK	DOWN	0.24
206	HUMMEL PARK	SINGLETRACK	TRADITIONAL	HIKE / BIKE	BLUE	BIDIRECTIONAL	0.53
207	HUMMEL PARK	SINGLETRACK	BIKE-OPTIMIZED	BIKE	BLUE	DOWN	0.41
208	HUMMEL PARK	SINGLETRACK	BIKE-OPTIMIZED	BIKE	BLACK	DOWN	0.53
TOTAL CONCEPTUAL TRAIL MILEAGE:							14.21 MILES

SWANSON PARK

SITE SUMMARY

Swanson Park is located approximately 2.5 miles west of the center of Bellevue, 4.25 miles east of Papillion, and 6.75 miles south of Omaha's downtown core. At 115 acres, the park features an open-air shelter, small playground, two minimally-maintained baseball diamonds with backstops, one porta potty, and a parking lot with 60 spaces (including 6 accessible parking spaces). The formal park provides a nice setting for family outings and an outdoor escape for passive recreation.

Across the developed park zone, there is nearly 70 feet of vertical drop from 1075 feet above sea level to 1008 feet in elevation. Currently there are 4.9 miles of existing singletrack that primarily serve mountain bikers while trail runners and hikers also share the trails.

The park's current conditions, with limited built park amenities, modest topographic relief and wide-open spaces, are prime for the development of a full spectrum bike park facility. Creating a suite of bike-optimized features, including a pump track, beginner skills area, flow trails and a jump zone and freeride area, will provide a wide range of riding opportunities to the nearby residents, families, local bike organizations and regional visitors. The features will appeal to new and seasoned riders of all ages and ability levels.



Gently rolling terrain of Swanson Park

KEY OPPORTUNITIES

- Swanson Park serves over 1,920 residents within a 10-minute walk¹.
- The park offers space and terrain for bike-specific features and skills areas, as well as connectivity to existing trails.
- With three high schools nearby, students and NICA/NICL athletes would have quick access to a facility designed to boost their skills.
- The bike park would be unique to the region and fills the need to provide a setting where riders, young and old, can improve their bike handling skills and become more confident riders.
- The existing grassy area around the baseball diamonds can be used as a multi-purpose and flexible space supporting events of all kinds. Race events can use the flat area for their start/finish zones, staging, team pits, vendor set up, and spectators. The space can also be utilized for a cyclocross course and event support. Its proximity to the parking lot makes vehicle access easy, with no impact to the bike park facility.
- Connecting new trails and an event venue to the existing trails will provide ample opportunity for riders to expand their mountain bike experiences, while allowing for programming and events for everyone.



Existing skills feature



Open space for high school and middle school races and other events

KEY CONSTRAINTS

- The park's visibility needs to be improved with signage, as does the existing trail system.
- While parking is provided on site, trail users will expect amenities such as restrooms and water.
- Adding bike park facilities will require maintenance and extra attention to risk management (including specific signage on the features themselves). Budgeting for, operationalizing, and performing regular maintenance will be a key component of fundraising and implementation of the park.



Existing trails



Main trail kiosk

CONCEPT PLAN OVERVIEW

A tot track will create a space for young children on balance bikes and youth-sized bikes separate from more advanced features. The adjacent Intermediate/Advanced Pump Track will have built-in progression that will encourage bike handling skills development and creativity. These pump tracks provide a place for riders to improve maneuvering skills, challenge themselves, and have fun in a bike-optimized environment. Two skills trails are planned with a variety of features that may include rocks, logs, bridges, tunnels, and berms that create an engaging and exciting experience for riders of all ages while building their confidence and bike-handling skills. The beginner skills loop will feature wider and easier features, and the intermediate skills trail will include narrow and more challenging features. By creating two different trails based on ability levels, users can choose the trail most suitable for them and can progressively build skills.

As an introduction to trail flow, cornering, braking, and bike handling at gravity fed speeds, two flow trails (beginner and intermediate skill level) are planned for the southern end of the park between Cornhusker Road and the existing parking lot. Fed by a return trail, these trails will have smooth surfaces, undulating rollers, and sweeping berms that descend 20-30 feet in elevation. Compared to the beginner flow trail, the intermediate flow trail will be set at a slightly steeper trail grade with tighter radius corners and taller rollers and berms.

The free ride and slope style trails assist with developing the technique and skill associated with jumping. Three trails, beginner, intermediate and advanced, will begin from a shared start ramp, traverse the hillside at the northern end of the developed park, and drop 40-50 feet in elevation. Each trail will have appropriately sized rollers, doubles, and berms for the ability level trail they are placed on. Additional segments of singletrack trail will tie together all these bike-optimized components, while providing a framework for trail-based events.

An event venue located in the zone that encompasses the existing baseball diamonds will then be connected to the network of existing singletrack farther to the north. Combined, these features will activate the park and provide a variety of new bike amenities that will meet the needs of the existing bike community, provide a healthy activity for children and their families, and create a place for the community to come together.



Beginner skills trail



Rider getting air on a mountain bike optimized trail

CONCEPTUAL PLAN SUMMARY

MOUNTAIN BIKE OPTIMIZED TRAILS

- Flow trails (beginner and intermediate): 0.42 miles
- Flow return trail: 0.17 miles
- Free-ride trail (beginner): 0.18 miles
- Free-ride/slope-style trail (intermediate and advanced): 0.34
- Singletrack additions and realignments: 0.26 miles

BICYCLE FEATURES

- Bicycle playground
- Beginner skills loop: 0.12 mile with 6 pre-fabricated skills features and 2 rock features
- Intermediate skills trail: 0.17 mile with 4 pre-fabricated features and 4 rock features
- Tot track: 4,300 square feet (asphalt surface)
- Pump track (Intermediate / Advanced) : 14,000 square feet (asphalt surface)



Tot track



Slope-style trails



Rocky technical trail feature envisioned for the skills trail

SWANSON PARK BIKE PARK CONCEPT PLAN



- Zone Legend**
- 1 Trailhead - Entrance - Gathering Space
 - 2 Flat Track (Honor Pumptrack)
 - 3 Pump Track (Intermediate and Advanced)
 - 4 Bicycle Playground - Beginner Skills Loop
 - 5 Intermediate Skills Development
 - 6 Free Ride and Slope Style Zone
 - 7 Flow Trails and Skills Features
 - 8 Event Venue
 - 9 Existing Parking



- Trail Legend**
- Existing
 - Planned
 - Beginner
 - Intermediate
 - Advanced



Notes:
Plans prepared for planning purposes only.
Property boundaries shown are approximate.
Do not use for design development or construction.



SWANSON PARK BIRDS EYE VIEW



NEXT STEPS

These conceptual plans serve as visioning documents to demonstrate the potential for bike and trail development at Adams, Fontenelle, Dodge, Hummel, and Swanson Parks. Community engagement with local partners and stakeholders is recommended as the next step to gather feedback and support for the plans. At this stage, the plans have not been reviewed or adopted by the City of Omaha. Currently, many of these parks are undergoing planning process and master planning exercises among city staff and park planning consultants. As such, Trail Solutions recommends coordinating with City of Omaha staff early-on to identify the process for plan approval and adoption. Researching local, state, and federal permits will be necessary to ensure the future construction complies with laws and best practices. To bring the plan to fruition, a variety of federal, state, and local grants are available that support trail development and recreational amenities. As mentioned in the latest Statewide Comprehensive Outdoor Recreation Plan (SCORP) for the state of Omaha, natural surface trails were identified as a priority recreational amenity for the area and would be eligible to apply for funding as part of the Land and Water Conservation Fund (LWCF).

SUMMARY

Adams, Fontenelle, Dodge, Hummel, and Swanson Parks each offer unique existing conditions and terrain for a wide range of trail types and bike park features. As the parks are located close to youth-serving organizations and within the urban core, these parks are priority locations for trail and bike infrastructure. The existing trails, bike boulevards, and future corridors for increased bike infrastructure allow of ease of access, connectivity, and every day use of the parks. Introducing trails at these parks will provide life-long, healthy recreational activities ranging from hiking, walking, running, and biking. The bike park infrastructure, like the pump track and skills development areas, create destinations and serve as gateway features for youth and families, exposing residents to the spectrum of mountain biking.





7

IMPLEMENTATION

NEXT STEPS

The outcomes of this feasibility study identify key parks for the development of trails and bike amenities based upon their feasibility and prioritization. The feasibility plan serves as a metro-wide feasibility assessment with next steps and suggestions for highest priority spaces. To bring these ideas to fruition, the following next steps are outlined to continue the efforts of this plan.

TRAIL TASK FORCE AND TRAIL CHAMPIONS
CONCEPTUAL PLANS
COMMUNITY ENGAGEMENT
PARTNERSHIPS
FUNDING

DRAFT



Volunteer trail building day

TRAILS TASK FORCE AND TRAIL CHAMPIONS

The ideas presented in this plan are meant as big-picture visions to illustrate the potential for natural surface singletrack trails and bike features. To bring these ideas to fruition, the formation of a trail task force, a collective of supporters and trail champions, creates a community of stewards, organizers, and advocates to work in tandem to create a collective vision and implementation strategy. The formation of this task force with clear leadership and roles will provide structure and tasks that can be followed through by members. This ensures all natural surface trail and bike amenity projects are happening with an agreed upon approach and allows members to stay up-to-date on developments, communicate lessons learned, share resources, identify funding opportunities, and support each other.



Building connections and partnerships with local advocates will create the support and momentum to move projects forward.

CONCEPTUAL PLANS

The “Top Implementability Scoring” charts provide guidance for the implementation of trails and bike facilities at the most feasible and high priority public spaces. To create a vision for all parks, the development of conceptual plans is necessary to communicate ideas to all audiences and build consensus on the parks’ future planning. Currently, many of Omaha’s parks are undergoing a master planning process to update their park master plans. Working closely with City of Omaha Parks, Recreation, and Planning staff is recommended to understand the parks’ planning process and build a consensus on where and when to locate trails and bike features in tandem with other park needs.



Creating conceptual trail plans for the parks illustrates the vision and potential. Through the review/feedback process, the plan is revised to reflect community input.

COMMUNITY ENGAGEMENT

The development of conceptual plans are communication tools to share with the community, gather feedback, and build project support. While developing conceptual plans, coordinating with local neighborhood associations and community organizations is necessary to understand their specific recreational interests. By collaborating with neighborhood associations and community organizations, the plans help communicate to decision makers the interests of the community served by the parks. Providing evidence and demonstrating a significant need from the community for trail and bike features will help move projects forward to refined planning stages and implementation.



Skills development youth program

Currently, many natural surface trails are located on the outskirts of the city, and new bike amenities, such as skills trails and pump tracks, would be new recreational offerings to the community. As such, this type of infrastructure may be unfamiliar to community members, leaders, and decision makers. Scheduling field trips to trail networks and hosting educational sessions are way to showcase the value of this infrastructure and creating connections within the community. Youth skills clinics and after school activities are a great and fun way to introduce youth to bicycling.

PARTNERSHIPS

Many of the goals presented in this project are important to a variety of local organizations. Identifying and fostering relationships among local organizations builds project support which can open doors to resources and funding. As this feasibility study moves to the next steps, continuing to form relationships with youth-serving organizations, local businesses, recreation planning organizations (various municipalities, MAPA, the National Park Service, etc.), the Chamber of Commerce, neighborhood associations, schools, among other community organizations grows community consensus and momentum for future projects.

D



Partnerships among local organizations, agencies, and land managers demonstrates a strong foundation of community input and consensus. The establishment of partnerships is often a key element that funders consider when awarding grants.

YOUTH PROGRAMMING

To activate the future natural surface trail and bike amenity infrastructure and provide opportunities for community members to learn about these new amenities, establishing programming for youth and adults will allow community members to discover the fun and benefits of these new recreational features. Creating in-school and after-school bike programs are ways to introduce youth to bicycling. Many times, youth may not have a bike available at home or an environment to practice and learn introductory skills. Along with providing bikes, having a step-by-step guide and training for educators ensures youth are gradually introduced to bike handling skills in a progressive nature.

The All Kids Bike program as part of the Strider Education Foundation provides curriculum resources and grants to equip schools with bikes for kindergarten classes. <https://allkidsbike.org/learn-more/>



Volunteer instructor guiding a youth rider over a skills feature



"Take a Kid Mountain Biking Day" Festivities

ADULT PROGRAMMING

The trails could be programmed with guided and interpretive hikes and outdoor education. Mountain bike skills clinics and/or scheduled and guided rides can be provided to help introduce the sport to new riders and help them improve skills. Many times, local clubs and bike shops will schedule weekly rides that can be tailored for beginners, intermediate, or advanced riders. These rides encourage mountain bikers to connect with the local riding community. Additionally, having scheduled volunteer days keeps the community engaged, invested in their local trails, and helps improve the conditions of the trails while reducing the maintenance workload of land managers.

Riding or running races, charity events, and bike festivals would greatly attract riders. Hosting a race regularly can attract visitors year after year. The bike facilities, especially the pump tracks and jump lines, could host local or regional competitions. Events and programming could help keep visitation numbers high throughout the year.



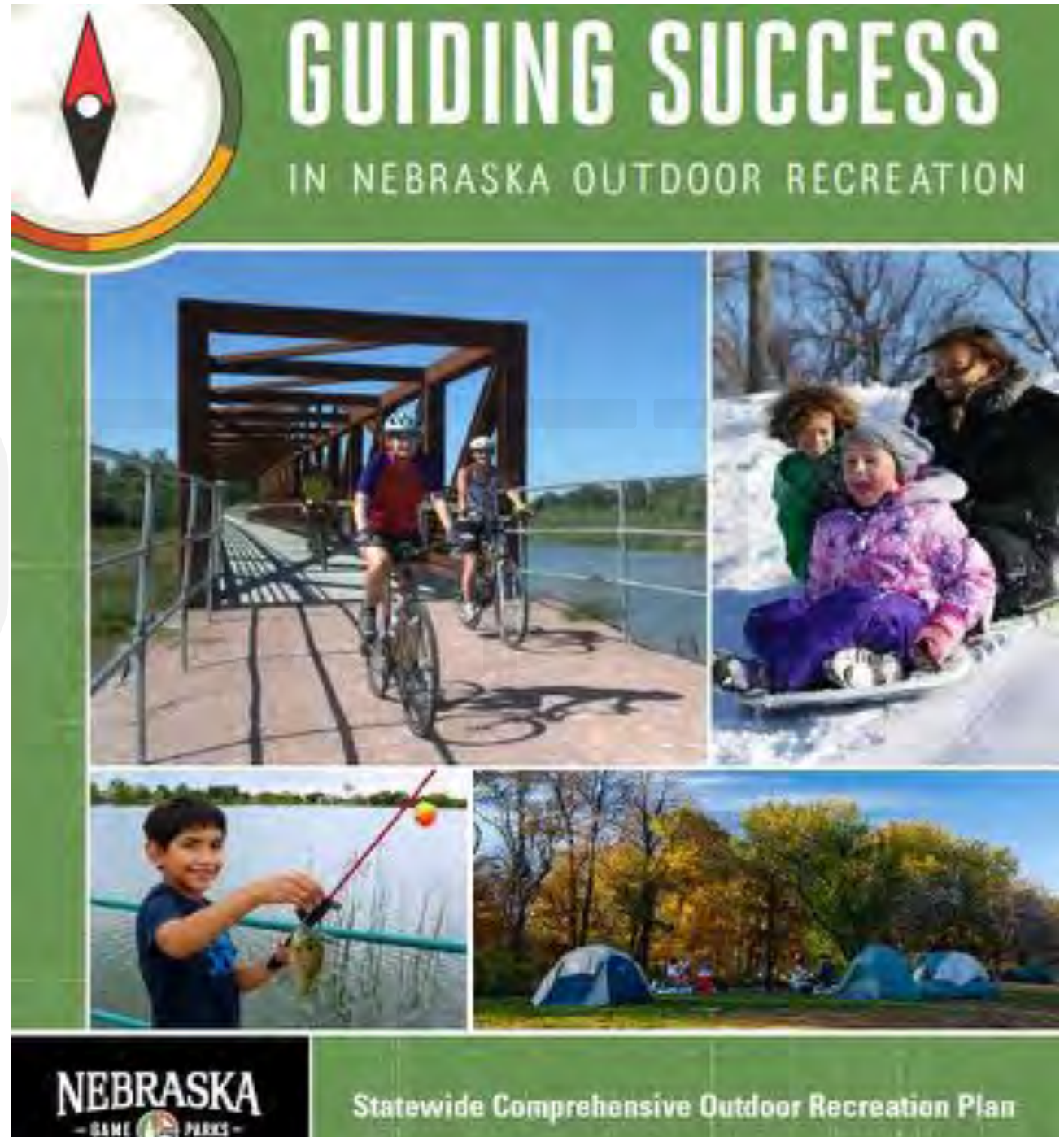
Adult skills instruction course

FUNDING AND RESOURCES

To implement trail and bike facility projects, a variety of funding sources are available. The availability of funding for the bike facilities will vary among public land agencies. Planning for these amenities in yearly recreational budgets will begin the process of designating funds for future bike facility projects. Some municipalities employ a voter-approved recreational and trails sales tax to generate funding specifically for recreation improvements.

In addition, a range of federal, state, and local grants are available that support trail development and recreational amenities. The Statewide Comprehensive Outdoor Recreation Plan outlines various state and federal funding opportunities and provides resources to communities. (<http://outdoornebraska.gov/CommunityResources>). Trail projects may be eligible for Recreational Trails Program (RTP) funding or Land and Water Conservation Fund (LWCF) grants.

Lastly, collaborating with local organizations, business, and benefactors with allied interests and goals may offer financial support while increasing the base of supporters.



RECOMMENDATIONS

INTEGRATION WITH REGIONAL PLANNING EFFORTS

The final outputs of this plan are meant to support other planning efforts (including the Neighborhood Expanded Access to Trails (NEAT) through Papio NRD, the Bicycle Pedestrian Master Plan through the City of Omaha, and forthcoming City of Papillion Natural Surface Trails Connectivity Concept Plan) to contribute to creating an interconnected trail network. This project is intended to be implemented over the long-term. Opportunities to incorporate the identified trail corridors and bike amenities should be considered along with other capital improvement projects. The community engagement and findings from this report indicate a strong demand and current unmet need for natural surface trail and bike feature infrastructure. When reviewing future public land acquisitions and new recreational developments, consider the applicability and suitability of accessible bike routes and opportunities to incorporate engaging recreational bike-based activities at parks and public spaces.

A well-defined Complete Street policy can help prioritize bike lanes and shared-use paths into urban design. Coordination between several key agencies is necessary to support the development of the trail networks identified in this plan. Creating a unified trails development task force with members of the various municipalities, Douglas and Sarpy County, the Metropolitan Area Planning Agency (MAPA), the Papio NRD, and Nebraska Department of Transportation (NDOT) ensures agencies are working in tandem on trail development projects. As a model example, the City of Omaha's Bicycle and Pedestrian Advisory Committee (BPAC) - recently replaced by the Active Living Committee (ALAC) through the mayors office, was a committee including representatives from local design and engineering consulting firms, the Omaha Police Department, the bicycle merchants' community, the MAPA, and neighboring municipalities.

Currently, the American Rail Trail is designed to pass through Omaha. Omaha will be a major hub and stopping location along the trail. Planning for iconic trail experiences and bike amenities along this corridor will put Omaha on the map as a destination location for trail users. Additional coordination with the Rails to Trails Conservancy is recommended to identify the project's timeline and implementation.



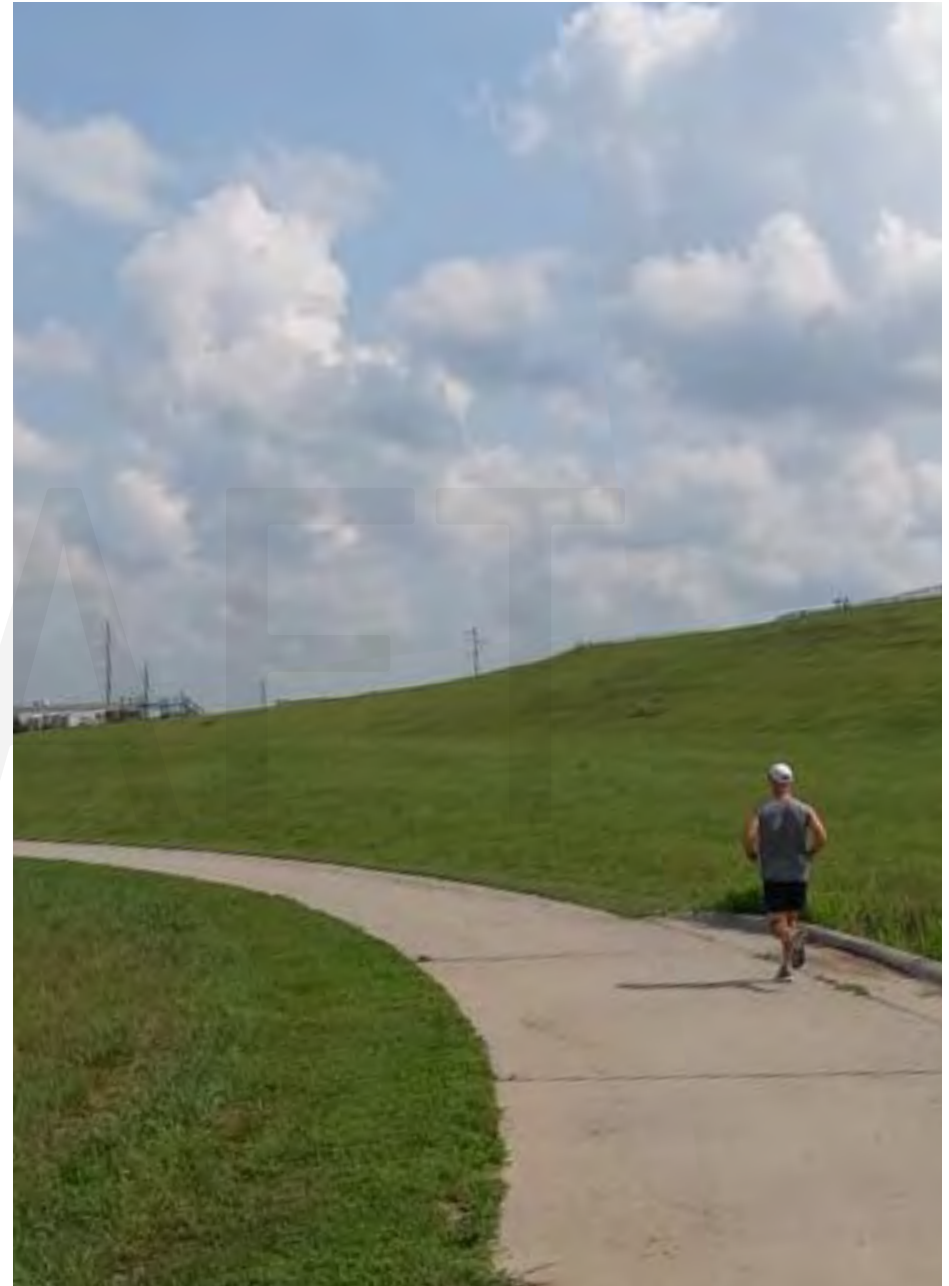
SINGLETRACK IN CONJUNCTION WITH PRIVATE LAND DEVELOPMENT

Omaha continues to see growth as new residential and commercial developments are currently under construction or in the planning process. Singletrack trails and bike amenities are commonly sought-after amenities by future homeowners and families. Encouraging the development of singletrack trails within the open spaces areas of these new residential developments can provide close-to-home amenities for residents while adding increased trail connectivity. For example, the Heartwood development (near Boys Town) is an example of an expansive development with green, open space that can feature singletrack trails for residents.

Additionally, previously agricultural lands are being purchased and developed into new uses. Data centers have been and continue to be located in the western stretches of Omaha. Typically, these plots of land are large with the large portions of undeveloped areas. Adding singletrack trails can provide amenities for staff while adding trail connectivity to the outer stretches of the Omaha metro area.

RE-VEGETATING CORRIDORS ALONG STREAMS AND RESERVOIR LANDSCAPES

Along stream corridors and landscapes surrounding the reservoirs, there are large, continuous areas of mowed grass. Re-vegetating these landscapes with native grasses, shrubs, and trees improves the trail experience for users by providing shade and a variety of landscapes to explore. Adding native plants provides improved habitat for birds, insects, and urban wildlife while creating opportunities for environmental education and interpretive signage.



Grass landscape of Prairie Queen Recreational Area

BLENDING BIKE FEATURES WITH ART AND CULTURE

During the steering committee meetings, our team heard the importance of creating places and infrastructure that are reflective of a community's history and culture. Incorporating context-sensitive design and elements that are relevant to local residents will create an attractive and interesting space. Partnering with local advocates, community leaders, and artists will lead to designs and programming that are reflective of the community and create a greater sense of place. A recent example, the Atlanta Beltline Trail includes murals along the trail. As shown below, the Haulover Pump Track incorporates a mural by a local artist.



Incorporating regional art and design to bike amenities, as is shown here with a painted pump track, adds excitement and reflects the community or area.

OPERATIONS AND MAINTENANCE PLAN

The purpose of an Operations and Maintenance (O&M) Plan is to provide land management agencies with guidelines and tools for day-to-day maintenance and weekly/monthly/annual inspections. The goal of the document is to ensure a consistent experience for trail and facility users. Successful operations will rely on a regular program of inspection and maintenance of the trails, tracks, and associated facilities. O&M documents will not only ensure a quality recreational experience for the trail user, but is also an essential ingredient of a risk management plan for Omaha's land managers. Sufficient staff/volunteer/contractor hours and resources must be devoted to a regular maintenance schedule in order to meet these goals. Trail maintenance is an important program that is related to trail safety, quality of user experience, attractiveness, and image. Agencies risk liability for accidents if maintenance is ignored or negligently executed.

O&M Plans cover topics on inspections, signage, trail/facility building materials, tools, maintenance frequency, risk management, incident/accident reporting, and emergency response. Each park will need their own O&M plan to cover the features specific to each park.

Trails should be managed according to recommended ability level guidelines, trail type guidelines, and respective trail experience narratives.

Maintenance is an ongoing cost and should be planned for. Typical annual maintenance budgets for traditional and mountain bike-optimized trails are 5%-15% of the installation cost, and free-ride/jump trails can be closer to 10%-15% of the construction cost. Some of the annual maintenance for all trails can be performed by adequately managed and trained volunteers. These tasks will include corridor trimming, downed tree removal, general clean up (branches, leaf litter, etc.), and minor drainage work.

Volunteer-assisted maintenance and professional contractor-based upkeep will be required. The frequency of this work will depend upon trail conditions, soil characteristics, weather patterns, and use. Professional contractors will be required every few years for small reroutes, major drainage work, structural modifications, or other large tasks. Free-ride trails can be expected to need a professional touch more often as trails wear through weather and use. This will typically come in the form of rebuilding large dirt features and upgrading trails to provide slightly new experiences which help continue to draw destination riders, give locals something new, and help all riders progress in their skills. Increasingly, destination mountain bike trail systems are funding and hiring part- or full-time staff to provide maintenance to trail systems. Ensuring a quality, consistent riding experience is key to attracting visitors and keeping a local riding community satisfied and growing.

TRAIL MAINTENANCE CREW

Many communities and counties around the nation employ seasonal trail crews to protect, enhance, and maintain their trail investments. A seasonal trail crew can provide substantial maintenance on the existing trail system, while taking the burden off of volunteers.

STRENGTHS TO TRAIL CREW APPROACH:

- Focused and consistent maintenance approach for natural surface trails and facilities
- Ease the burden of maintenance and construction off of volunteers
- Potential to engage Youth Conservation Corps crews

CHALLENGES TO TRAIL CREW APPROACH:

- Acquiring consistent funding
- Finding a nonprofit or municipal managing partner to oversee crews and receive funds
- Need for consistent management, grant writing, and project management



CLOSING

In recent years, Omaha organizations and residents have expressed a significant need for more trail experiences close to home. This feasibility study serves as a vision and road map for future natural surface and bike amenity development throughout Omaha.

Through the efforts of this feasibility study, numerous parks were identified as highly feasible and high priority for new trails and bike feature. Additionally, new trail corridors were located to increase accessibility to walk and bike to these locations. This feasibility study highlights key parks to begin implementing trails and bike amenities. The parks identified bring new trail recreational experiences to neighborhoods that currently lack access to these experiences and serve local youth organizations who have been advocating for trails.

These new recreational offerings will serve all community members across all ages and ability levels. With engaging recreational amenities and increased connectivity, current and future residents can continue to enjoy a high quality of life.

*"Someone's sitting in the shade today because someone planted a tree a long time ago."
- Warren Buffet*



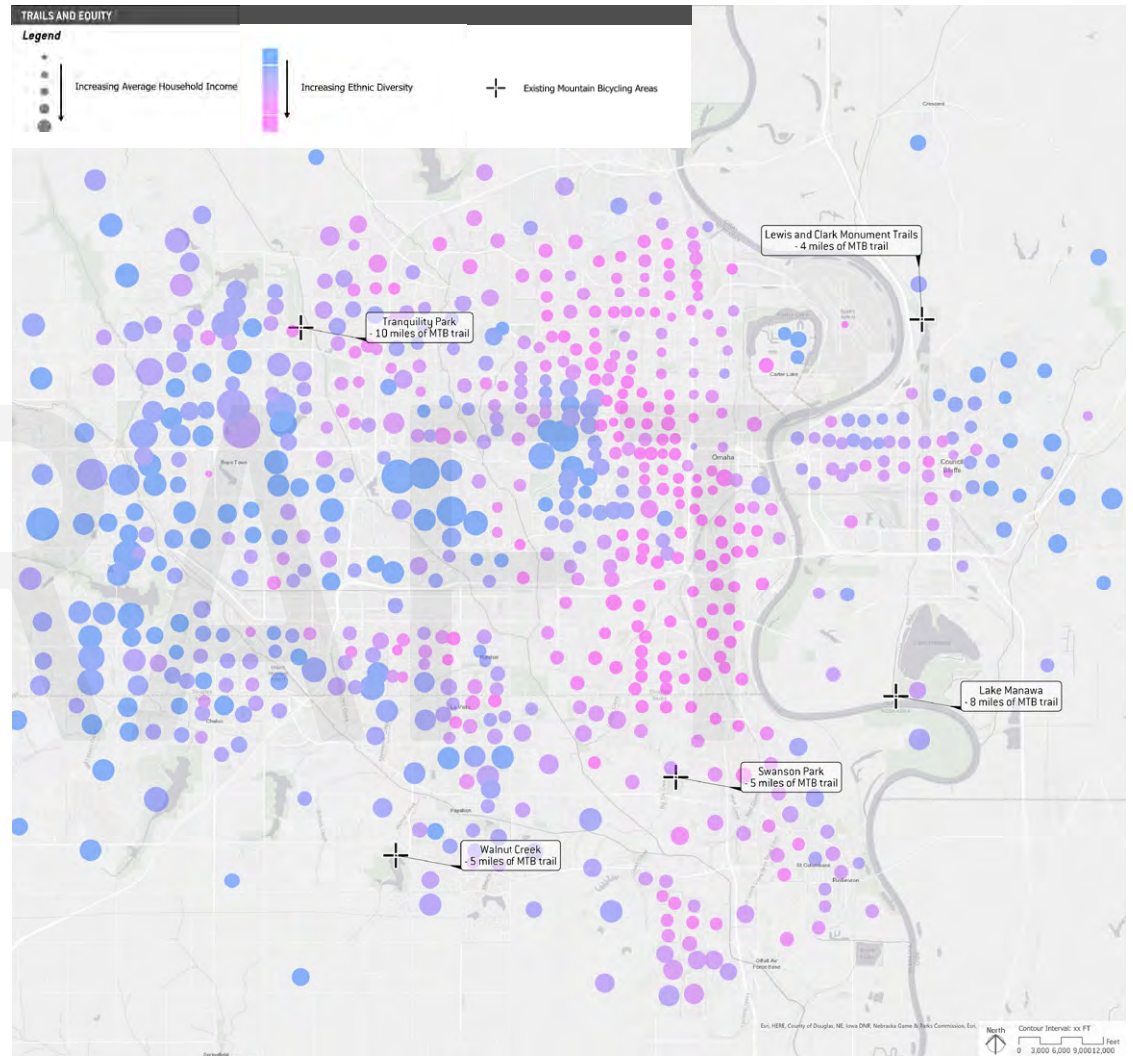
TRAILS AND EQUITY

The map on the right illustrates the distribution of both income and self-reported ethnic diversity in Omaha. Most of Omaha's lower income and most diverse residents live in North and South Omaha.

Most of the existing natural surface trail networks are located in the western and southwestern stretches of Omaha. As such, trails are not easily accessible by residents of North or South Omaha. They are only accessible by car, restricting access to youth who rely on adults for transportation. Additionally, youth have less exposure to the recreational activity of running or biking on trails since they are located out of their reach. This project seeks to bring bike trails and facilities to North and South Omaha residents who currently do not have access to natural surface trails close to home.

The data displayed is from the 2018 ESRI Diversity Index. The ESRI Diversity Index is explained below:

"The Diversity Index from ESRI represents the likelihood that two persons, chosen at random from the same area, belong to different race or ethnic groups. Ethnic diversity, as well as racial diversity, is included in our definition of the Diversity Index. ESRI's diversity calculations accommodate up to seven race groups: six single-race groups (White, Black, American Indian, Asian, Pacific Islander, Some Other Race) and one multiple-race group (two or more races). Each race group is divided into two ethnic origins, Hispanic and non-Hispanic. If an area is ethnically diverse, then diversity is compounded."



The map displays the highest diversity and lowest incomes in North and South Omaha. These residents do not have access to natural surface trails which are located on the western and southwestern fringes of the metropolitan area.



City of Omaha
Jean Stothert, Mayor

**Parks, Recreation &
Public Property Department**

Omaha/Douglas Civic Center
1819 Farnam Street, Suite 701
Omaha, Nebraska 68183-0701
(402) 444-5900
FAX (402) 444-4921

October 6, 2022

RE: Letter of Support: Omaha Natural Surface Trails

To Whom it May Concern:

The City of Omaha Parks & Recreation supports the equitable development of more natural surface trail infrastructure in Omaha.

A well-planned natural surface trail network results in improved public health, equitable access, increased youth engagement and programming, community building, and positive economic impacts.

As demonstrated in the Omaha Natural Surface Trails Feasibility Study, trail networks within the neighborhoods of North and South Omaha are largely unavailable. These proposed trails will serve walking, hiking, running, and cycling in areas presently underserved in their access trails and recreational amenities.

The development of trails in these neighborhoods and communities deserves focus and funding and supports the overall vision of healthy Nebraskans, active youth, and dignified, high-quality life.

Sincerely,

Matthew K. Kalcevich, Director
City of Omaha Parks, Recreation and Public Property



Letter of Support

October 6, 2022

To Whom it May Concern,

The Omaha Parks Foundation supports the equitable development of more natural surface trail infrastructure in Omaha.

Parks are at the heart of every community. A well-planned natural surface trail network results in improved public health, equitable access, increased youth engagement and programming, community building, and positive economic impacts.

As demonstrated in the Omaha Natural Surface Trails Feasibility Study, trail networks within the neighborhoods of North and South Omaha are largely unavailable. These proposed trails will serve walking, hiking, running, and cycling in areas presently underserved in their access trails and recreational amenities. A win-win for the entire community.

The development of trails in these neighborhoods and communities deserves focus and funding and supports the overall vision of healthy Nebraskans, active youth, and dignified, high-quality life. We truly appreciate your consideration.

Kindest regards,

A handwritten signature in black ink, appearing to read "Tiffany Regan", is written over a white background.

Tiffany Regan
Executive Director





October 7, 2022

RE: Economic Recovery Act Proposal – Natural Surface Trails

Dear Nebraska Economic Recovery Committee Members:

I serve as Senior Director of Transportation & Urban Development for the Greater Omaha Chamber. I am pleased to offer this letter in support of the equitable development of natural surface trail infrastructure in Omaha.

In 2019, the Chamber teamed up with private- and public-sector partners to launch the development of a new regional transportation strategy called ConnectGO. In developing the ConnectGO strategy, we connected with well over 8,000 residents through presentations, surveys, and workshops. We've also conducted focus groups of freight haulers, bicyclists, public transit professionals, economic development experts, and public officials from across the entire metro area. The purpose of this engagement was to help us learn more about the primary issues facing our community and to develop transportation projects, policies, and strategies to help us meet our greatest needs.

Through our public engagement, we learned that people are looking for more opportunities to ride bicycles for both recreation and transportation purposes. Offering amenities such as natural surface trails supports public health and offers lifestyle options that people increasingly want, which is critically important as our region looks to attract and retain talent. Unfortunately, to date, many natural surface trails are out of reach for people in North and South Omaha. The trails prioritized in the Omaha Natural Surface Trails Feasibility Study rectify that inequity.

As you consider the many applications for funding through this unique opportunity, I urge you to incorporate natural surface trails into a transformative vision for North and South Omaha.

Sincerely,

A handwritten signature in blue ink that reads "Stephen Osberg".

Stephen Osberg
Senior Director of Transportation & Urban Development
Greater Omaha Chamber

808 Conagra Dr., Ste. 400
Omaha, NE 68102
Phone: 402-346-7050

ConnectGO.org

**A BOLD
TRANSPORTATION
DIRECTION**



METRO SMART CITIES

MAPA



The Sherwood Foundation supports the equitable development of more natural surface trail infrastructure in Omaha.

A well-planned natural surface trail network results in improved public health, equitable access to outdoor spaces, increased youth engagement and programming, community building, and positive economic impacts.

As demonstrated in the Omaha Natural Surface Trails Feasibility Study, trail networks within the neighborhoods of North and South Omaha are largely unavailable. These proposed trails will serve walking, hiking, running, cycling, and additional outdoor activities in areas presently underserved in their access trails and recreational amenities.

The development of trails in these neighborhoods and communities deserves focus and funding and supports the overall vision of healthy Nebraskans, active youth, and dignified, high-quality life.

With support,

A handwritten signature in black ink, appearing to read "Jim Hubbard". The signature is stylized and cursive.

Jim Hubbard

Urban Initiatives Program Officer



PO Box 20280
Boulder, CO 80308
Office: 303.545.9011
Fax: 303.545.9026
www.IMBA.com

To whom it may concern:

The International Mountain Bike Association supports the equitable development of more natural surface trail infrastructure in Omaha.

A well-planned natural surface trail network results in improved public health, equitable access, increased youth engagement and programming, community building, and positive economic impacts.

As demonstrated in the Omaha Natural Surface Trails Feasibility Study, trail networks within the neighborhoods of North and South Omaha are largely unavailable. The Nebraska Statewide Comprehensive Outdoor Recreation Plan (SCORP) shows that hiking and biking trails are the #1 utilized and requested recreational amenity in this region. These proposed trails will serve walking, hiking, running, and cycling in areas presently underserved in their access of trails and recreational amenities.

The development of trails in these neighborhoods and communities deserves focus and funding and supports the overall vision of healthy Nebraskans, active youth, and dignified, high-quality life.

In support of this application for American Rescue Plan Act (ARPA) funding, our team at the International Mountain Bicycling Association is providing subject matter expertise needed to ensure successful project completion.

Sincerely,

Kent McNeill
CEO
International Mountain Bicycling Association



Advisory Board

Ryan Feagan
Chair

Roxzanne Feagan
Founding Member

Mike Michaelis
Founding Member

Steve Barr
Founding Member

Kent McNeil
Founding Member

October 7, 2022

To Whom it May Concern,

The Nebraska Interscholastic Cycling League supports the equitable development of more natural surface trail infrastructure in Omaha.

A well-planned natural surface trail network results in improved public health, equitable access, increased youth engagement and programming, community building, and positive economic impacts.

As demonstrated in the Omaha Natural Surface Trails Feasibility Study, trail networks within the neighborhoods of North and South Omaha are largely unavailable. These proposed trails will serve walking, hiking, running, and cycling in areas presently underserved in their access trails and recreational amenities.

The development of trails in these neighborhoods and communities deserves focus and funding and supports the overall vision of healthy Nebraskans, active youth, and dignified, high-quality life.

The Nebraska Interscholastic Cycling League is dedicated to getting more kids on bikes because we know it supports a healthy mind and body. According to Esther Walker, cognitive scientist and research program manager at Outride, research indicates that "kids who get out for a bike ride at least once a week report higher levels of mental well-being."

In order for youth (and families) in these targeted areas of the Omaha Metro area to be active outside, they need safe and well-planned areas to do this, which is the focus and purpose of Omaha Natural Surface Trails and Trails Have Our Respect (THOR).

Sincerely,

A handwritten signature in black ink that reads "Breanne S. Campbell". The signature is written in a cursive style.

Breanne Campbell
Executive Director
Nebraska Interscholastic Cycling League

THOR ARPA Proposal Project Budget & Schedule

PROJECT & GRANT OVERVIEW						
	Features	Construction	Construction Pro Services	Admin	Programming	Grant Period Totals
Adams Park	IMBA Concept	\$ 980,000.00	\$ 122,500.00	See Detailed Financials	See Detailed Financials	
NP Dodge Hummel	IMBA Concept	\$ 1,185,000.00	\$ 148,125.00			
Glenn Cunningham Lake Park	See Construction Costing	\$ 350,000.00	\$ 43,750.00			
Spring Lake Park	See Construction Costing	\$ 1,085,000.00	\$ 135,625.00			
Mandan Park/Mt. Vernon Gardens	IMBA Concept Phase 2 & 3	\$ 700,000.00	\$ 87,500.00			
Project & Grant Request Totals		\$ 4,300,000.00	\$ 537,500.00	\$ 700,000.00	\$537,855.65	\$ 6,075,355.65
Percentage of Grant Request Budget		70.78%	8.85%	11.52%	8.85%	100.00%
INCOME						
	2023	2024	2025	2026		
Private & Corporate Grants						
Sherwood Foundation	\$175,000.00	\$175,000.00	\$175,000.00	\$175,000.00		\$700,000.00
Other Grants	\$65,000.00	\$85,000.00	\$105,000.00	\$125,000.00		\$380,000.00
Total Private & Corporate Grants	\$225,000.00	\$250,000.00	\$275,000.00	\$300,000.00		\$1,050,000.00
Other Income						
Membership Income	\$20,000.00	\$22,500.00	\$25,000.00	\$27,500.00		\$95,000.00
Donations	\$35,000.00	\$45,000.00	\$55,000.00	\$65,000.00		\$200,000.00
Misc Operating Income	\$5,500.00	\$7,000.00	\$8,500.00	\$10,000.00		\$31,000.00
Total Other Income	\$60,500.00	\$74,500.00	\$88,500.00	\$102,500.00		\$326,000.00
ARPA Grant Admin Request	\$160,000.00	\$160,000.00	\$190,000.00	\$190,000.00		\$700,000.00
Total Private, Operating, ARPA Admin Income	\$445,500.00	\$484,500.00	\$553,500.00	\$592,500.00		\$2,076,000.00

THOR ARPA Proposal Project Budget & Schedule

ADMINISTRATION LABOR EXPENSES						
	2023	2024	2025	2026		
Admin Labor Expense						
THOR Private Grant & Operating Admin						
Executive Director (employee)	\$93,600.00	\$98,280.00	\$103,194.00	\$108,353.70		\$463,941.86
Project Manager (employee)	\$10,660.00	\$11,193.00	\$11,752.65	\$12,340.28		\$52,837.82
Marketing/Design (contractor)	\$10,000.00	\$10,500.00	\$11,025.00	\$11,576.25		\$49,566.44
Accounting Support (contractor)	\$6,000.00	\$10,000.00	\$10,500.00	\$11,025.00		\$43,153.75
Legal/Compliance Support (contractor)	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00		\$6,900.00
Total	\$121,760.00	\$129,973.00	\$136,471.65	\$143,295.23		\$531,499.88
ARPA Grant Admin						
Project Manager (employee)	\$74,620.00	\$78,351.00	\$82,268.55	\$86,381.98		\$369,864.76
Project Consultant (contractor)	\$20,800.00	\$21,840.00	\$22,932.00	\$24,078.60		\$103,098.19
Marketing/Design (contractor)	\$10,000.00	\$10,500.00	\$11,025.00	\$11,576.25		\$49,566.44
Accounting Support (contractor)	\$6,000.00	\$10,000.00	\$10,500.00	\$11,025.00		\$43,153.75
Legal/Compliance Support (contractor)	\$1,500.00	\$5,000.00	\$5,000.00	\$5,000.00		\$18,975.00
Total	\$112,920.00	\$125,691.00	\$131,725.55	\$138,061.83		\$508,398.38
Total Private, Operating, ARPA Admin Labor Expens	\$234,680.00	\$255,664.00	\$268,197.20	\$281,357.06		\$1,039,898.26

THOR ARPA Proposal Project Budget & Schedule

PROGRAMS EXPENSES	2023	2024	2025	2026		
Programs Admin Labor Expense						
THOR Private Grant & Operating						
Programs / Evaluation Director (employee)	\$41,600.00	\$43,680.00	\$45,864.00	\$48,157.20		\$206,196.38
Programs Service & Design Contractors	\$10,000.00	\$10,500.00	\$11,025.00	\$11,576.25		\$43,101.25
ARPA Grant						
Program / Evaluation Director (employee)	\$41,600.00	\$43,680.00	\$45,864.00	\$48,157.20		\$206,196.38
Total Program Admin Labor Expense	\$93,200.00	\$97,860.00	\$102,753.00	\$107,890.65		\$401,703.65
Program Operating Expense						
Programming Hourly Contractors	\$6,600.00	\$7,800.00	\$10,200.00	\$16,200.00		\$40,800.00
Programming Materials	\$2,904.00	\$3,432.00	\$4,488.00	\$7,128.00		\$17,952.00
Gear Libraries			\$47,400.00			\$47,400.00
Special Community Events	\$0.00	\$0.00	\$10,000.00	\$20,000.00		\$30,000.00
Total Program Operating Expense	\$9,504.00	\$11,232.00	\$72,088.00	\$43,328.00		\$136,152.00
Total Program Admin Labor and Program Materials I	\$102,704.00	\$109,092.00	\$174,841.00	\$151,218.65		\$537,855.65

THOR ARPA Proposal Project Budget & Schedule

OPERATING EXPENSES						
	2023	2024	2025	2026		
Trail Work Outside ARPA Projects						
Trail Maintenance	\$15,000.00	\$15,000.00	\$15,000.00	\$15,000.00		\$60,000.00
Trail Construction (Outside ARPA Projects)	\$2,500.00	\$2,500.00	\$2,500.00	\$2,500.00		\$10,000.00
Trail Construction & Maintenance Contract Labor	\$2,500.00	\$2,500.00	\$2,500.00	\$2,500.00		\$10,000.00
Total Trail Work Outside ARPA Projects	\$20,000.00	\$20,000.00	\$20,000.00	\$20,000.00		\$80,000.00
Other THOR Operating Expenses	\$60,000.00	\$65,000.00	\$70,000.00	\$75,000.00		\$270,000.00
Payroll Taxes	\$19,918.08	\$20,913.98	\$21,959.68	\$23,057.67		\$85,849.41
TOTAL EXPENSES	\$437,302.08	\$470,669.98	\$554,997.88	\$550,633.38		
THOR Profitability (Sustainability)	\$8,197.92	\$13,830.02	-\$1,497.88	\$41,866.62		\$62,396.68

THOR ARPA Proposal Project Budget & Schedule

Program Events				
Year	2023	2024	2025	2026
Adams Park				
Leadership			2	2
Youth			3	3
Diversity				
Gender Specific				
Total Events	0	0	5	5
Spring Lake Park				
Leadership				2
Youth				3
Diversity				
Gender Specific				
Total Events	0	0	0	5
NP Dodge Hummel				
Leadership				2
Youth				3
Diversity				
Gender Specific				
Total Events	0	0	0	5
Mandan Park/Mt. Vernon Gardens				
Leadership			2	2
Youth			3	3
Diversity				
Gender Specific				
Total Events	0	0	5	5
Omaha Metro Park TBD				
Leadership	3	3	1	1
Youth	4	6	2	2
Diversity	1	1	1	1
Gender Specific	3	3	3	3
Total Events	11	13	7	7
Grand Total Events	11	13	17	27
Cost Per Event				
Labor Per Event	\$600.00	\$600.00	\$600.00	\$600.00
Total Labor Cost	\$6,600.00	\$7,800.00	\$10,200.00	\$16,200.00
Materials Per Event	\$264.00	\$264.00	\$264.00	\$264.00
Total Materials Cost	\$2,904.00	\$3,432.00	\$4,488.00	\$7,128.00
Grand Total Program Events Cost	\$9,504.00	\$11,232.00	\$14,688.00	\$23,328.00

THOR ARPA Proposal Project Budget & Schedule

Program Materials			
Gear Libraries	QTY	Cost Each	Total Cost
Adams Park			
Shipping Container	1	\$3,000.00	\$3,000.00
Shipping Container Delivery	1	\$1,000.00	\$1,000.00
Shipping Container Outfitting	1	\$1,000.00	\$1,000.00
Shipping Container Art / Paint	1	\$2,500.00	\$2,500.00
Bicycles 5-8 Year Olds	12	\$500.00	\$6,000.00
Bicycles 9-12 Year Olds	12	\$750.00	\$9,000.00
Helmets 5-8 Year Olds	12	\$50.00	\$600.00
Helmets 9-12 Year Olds	12	\$50.00	\$600.00
Total Adams Park			\$23,700.00
Spring Lake Park			
Shipping Container	1	\$3,000.00	\$3,000.00
Shipping Container Delivery	1	\$1,000.00	\$1,000.00
Shipping Container Outfitting	1	\$1,000.00	\$1,000.00
Shipping Container Art / Paint	1	\$2,500.00	\$2,500.00
Bicycles 5-8 Year Olds	12	\$500.00	\$6,000.00
Bicycles 9-12 Year Olds	12	\$750.00	\$9,000.00
Helmets 5-8 Year Olds	12	\$50.00	\$600.00
Helmets 9-12 Year Olds	12	\$50.00	\$600.00
Total Spring Lake Park			\$23,700.00
Total Gear Libraries			\$47,400.00

THOR ARPA Proposal Project Budget & Schedule

Construction Costing		
Costing Estimates Based on IMBA Estimates & Expected Inflation		
Adams		
6 Miles of Trails	\$480,000.00	Green trails that accomodate walkers, runners, hikers, youth mtb, NICA events, running events, more.
Bicycle Playground	\$200,000.00	Primarily dirt surface features accomodating to most human powered vehicles for early learning, progression, challenge, and imaginative play.
Skills Development Area	\$100,000.00	Manufactured and site-constructed features that allow for progression, challenge, and imaginative play. See Progressive Bike Ramps for examples and sourcing.
Pump Track	\$150,000.00	Modular concrete accomodating to most human powered vehicles for learning, progression, fitness, and challenge.
Art / Visual Engagement	\$50,000.00	Visual Engagement & Beautification
Total	\$980,000.00	
NP Dodge Hummel		
10 Miles of Trails	\$650,000.00	Green, primarily flat, trails that accomodate walkers, runners, hikers, youth mtb, NICA events, running events, more.
3 Miles Progressive/Technical Trails	\$360,000.00	Allows for rider progression and challenge. Steep, features, armouring.
Event Zone & Parking	\$150,000.00	Green space to accomodate trail events, overflow event parking area surfacing.
Art / Visual Engagement	\$25,000.00	Visual Engagement & Beautification
Total	\$1,185,000.00	
Spring Lake		
4.5 Miles of Trails	\$360,000.00	Green trails that accomodate walkers, runners, hikers, youth mtb, NICA events, running events, more.
Bicycle Playground	\$50,000.00	Primarily dirt surface features accomodating to most human powered vehicles for early learning, progression, challenge, and imaginative play.
Skills Development Area	\$75,000.00	Manufactured and site-constructed features that allow for progression, challenge, and imaginative play. See Progressive Bike Ramps for examples and sourcing.
Pump Track	\$550,000.00	Premier Velo Solutions Style Pavement, accomodates events and all types of human propelled vehicles
Art / Visual Engagement	\$50,000.00	Visual Engagement & Beautification
Total	\$1,085,000.00	
Mandan		
IMBA Concept Plan Phase 2 & 3	\$650,000.00	
Art / Visual Engagement	\$50,000.00	Visual Engagement & Beautification
Total	\$700,000.00	
Cunningham Lake		
Skills Development Area	\$75,000.00	Manufactured and site-constructed features that allow for progression, challenge, and imaginative play. See Progressive Bike Ramps for examples and sourcing.
4.5 Miles Trails	\$250,000.00	Green trails that accomodate walkers, runners, hikers, youth mtb, NICA events, running events, more.
Art / Visual Engagement	\$25,000.00	Visual Engagement & Beautification
Total	\$350,000.00	

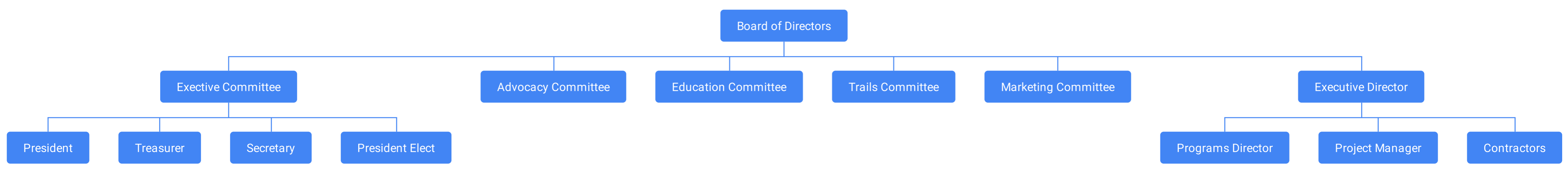
THOR ARPA Proposal Project Budget & Schedule

Design & Construction Schedule																
	2023				2024				2025				2026			
	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
Adams Park																
NP Dodge Hummel																
Glenn Cunningham Lake Park																
Spring Lake Park																
Mandan Park/Mt. Vernon Gardens																
			ARPA Funds Disburst							ARPA Funds Obligated						ARPA Funds Spent
Project Phase Color Key		Quarter Start														
Prefunding Preparation		Q1 January														
Planning		Q2 April														
Design / Engagement		Q3 July														
Procurement		Q4 October														
Construction																
Active Programming																

THOR ARPA Proposal Project Budget & Schedule

Programming Schedule																					
		2023				2024				2025				2026							
		Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4				
	Adams Park	[Yellow]								[Red]	[Orange]	[Blue]	[Green]	[Purple]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]	
	NP Dodge Hummel	[Yellow]								[Red]	[Orange]	[Blue]	[Green]	[Purple]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]	
	Spring Lake Park	[Yellow]								[Red]	[Orange]	[Blue]	[Green]	[Purple]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]	
	Mandan Park/Mt. Vernon Gardens	[Yellow]								[Orange]	[Blue]	[Green]	[Purple]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]		
	Omaha Metro Park TBD	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]	[Orange]	[Green]	[Purple]	[Blue]	[Yellow]
		Project Phase Color Key Planning/Evaluation [Yellow] Marketing/Outreach [Orange] Leadership [Green] Youth [Purple] Diversity [Light Green] Gender Specific [Pink] Grand Opening Event [Light Blue] Community Event [Blue] Gear Library Procurement [Red]				Quarter Begins Q1 January Q2 April Q3 July Q4 October															

Project & Programming Locations
Adams Park
3230 John A. Creighton Blvd.
Omaha, NE 68111
Census Tract 53
Spring Lake Park
4020 Hoctor Blvd
Omaha, NE 68107
Census Tract 25
NP Dodge Park
11001 John J Pershing Dr
Omaha, NE 68112
Census Tract 73.03
Hummel Park
3033 Hummel Rd
Omaha, NE 68112
Census Tract 73.03
Mandan Park
6215 S 13th St
Omaha, NE 68107
Census Tract 28
Mt. Vernon Gardens Park
6011 S 13th St
Omaha, NE 68107
Census Tract 27&28
Glenn Cunningham Lake Park
8305 Rainwood Rd
Omaha, NE 68122
Census Tract 73.17



Grant Application

Row 215

Organization Name (if applicable) Tranquil Transformations LLC

Physical Address TBD

Mailing Address 2221 N 24th Street Omaha, NE 68110

Website

Social Media Accounts

Name Christina Hadley, APRN, PMHNP

Title Founder / CEO

Email Address chadley7@gmail.com

Phone +1 (402) 651-6817

Team No

Organizational Chart The team is still under construction. However, the team will include Christina Hadley as its Executive Director, and Mark Wulff as the Operations Manager. Christina will manage up to two licensed mental health practitioners and up to five peer-to-peer support specialists. Mark will manage the operational aspects of the organization including gardeners, and administrative staff. The Board of Directors consists of well-known community members and mental health practitioners: Terri D. Sanders, Denise Gaines, Traci Warren, Dina Becirovic, Bridgett Belsky, and Tonya Wulff. Dina Becirovic, MA, MPH, Tonya Wulff, Denise Gaines, LIMHP, LADC, and Traci Warren, APRN have experience in the mental healthcare field and bring a plethora of knowledge regarding clinical management, patient care, and operations.

Other Completed Projects and/or Accomplishments Tranquil Transformations is a non-profit agency with the mission to bring healing to the young individuals of Northeast Omaha by instilling hope, promoting optimal mental health, and reassuring fundamental mental health practices. Emphasis is directed toward black participants up to 18 years old, but would not turn any individual away. Tranquil Transformations was founded by Christina Hadley, Board Certified Advanced Mental Health Nurse Practitioner in April 2022. Tranquil Transformations is to become a beacon of light in times of despair. Its mission is twofold: 1) To carry out activities and programming that promote the health and well-being of young adults residing in Northeast Omaha and 2) To promote alternative mental health practices and support individuals through various programming opportunities. Phase One of Tranquil Transformation is a small-scale "mild" crisis intervention and respite center with the

utilization of a Peer Support Specialist, Mental Health Advocates or coaches, and the Garden of Hope and Healing, for the targeted population. Counseling for up to five sessions with a therapist or a certified peer-to-peer specialist will be provided initially at no cost at which point the client will be referred to the appropriate mental health practitioners. The cost of entry to the garden will be free of charge for all youth, and the cost for adults is \$10. Phase Two will include an opportunity to participate in Instilling Hope curriculum comprised of mindfulness and other Cognitive Behavioral Therapy or Dialectical Behavioral Therapy content – for a small fee or stipend. The incorporation of trauma-informed yoga, music therapy, pet therapy, and professional psychotherapy would be available by a Licensed Independent Mental Health Professional and or Licensed Independent Clinical Social Worker on a part-time basis for an arranged fee, up to 4 sessions. Individuals requiring additional services would be referred to other local agencies within the community for a psychiatric evaluation. These services could be available to the general public for a fee. Phase Three will incorporate mental health, nutrition, and fitness seminars, massage therapists, energy healers, float pods, and infrared sauna treatments, all for a fee.

Proposal Title	Hope for Youth - Tranquil Transformations' Healing Garden
Total Budget (\$)	\$3,084,500.00
LB1024 Grant Funding Request (\$)	\$3,084,500.00
Proposal Type	Service/program
Brief Proposal Summary	<p>The high violent crime rate, a higher population of “working poor”, and issues of low income and earning in Omaha are contributing factors to the hostile environment, deteriorating conditions, and inability to retain our youth. Tranquil Transformations LLC proposes a Hope for Youth - Healing Garden to address mental health opportunities in the heart of North Omaha. Research has confirmed the stress-reducing benefits of passively viewing plants. It has demonstrated that people's impressions of a room and their mental well-being can significantly improve when plants are added. It also has shown that productivity and cognitive functioning are improved, and that pain perception can be reduced. Research on the effects of plants on people has shown, in essence, that plants are essential for people to be at their best. (Lohr, 2010). The Trust for Public Land (2013) calculated annual avoided costs of health care associated with levels of physical spaces in 10 U.S. cities and counties; values ranged from \$4 million to \$69.4 million per year. The youth of North Omaha will benefit from a healing garden. The improved mental well-being aspect will be positive, considering some struggle with mental health issues brought on by the stressors and dangers within their environment. The location for this project is to be determined; however, our search identified two potential locations in the Qualified Census Tract, at 2724 N 24th Street, Omaha, NE 68110, and 1021 N 46th Street, Omaha, NE 68132, to be used as an example. The Healing Garden concept will help reduce crime, slightly increase jobs, improve the community, and positively impact business investment. We envision this to be mostly outdoor and with an indoor component. The outdoor garden will be an open space with a water fountain, diverse</p>

plants, rocks, trees, and sitting benches. The indoor garden will have plants, flowers, and a waterfall where a person can sit for 30 minutes or less and find solitude (cry, journal, pray, and meditate). We anticipate the project completion by the summer of 2024. This is a service for underserved youth that will need continuous funding.

Timeline The timeline for the proposal will be 18 month months from start to completion. The proposal will be completed in three phases. Phase I of the project will entail ensuring the availability of the project land plot, land surveying, architectural rendering, and submission. Phase I will start on Jan 2023 and until Jun 2023. Phase II will begin in July 2023 and until December 2023 and will consist of grading, utility line installations, Bio-Swail, landscape, and Visitor Center Construction and assurance of bonds, insurance, general conditions, requirements, overhead, and escalation. Phase III will begin in January 2024 and will involve the completion of construction and visitor's center, warehouse construction, shade structures, landscaping, general conditions, requirements, contractor, overhead, and escalation. The project shall be completed by June 2024. This project will hire and contract with minority-owned businesses predominantly from North and South Omaha - revitalization of the community. (putting money back into the community) and a sense of ownership, improving the quality of living.

Percentage completed by July 2025 100%

Funding Goals Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)

Community Needs Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment Gardens have been known to promote healing, health, and well-being. Research data and case studies prove that Eco-therapy is a simple, cost-effective means of improving people's social, spiritual, physical, and emotional well-being (Mind 2007). According to Fieldhouse (2003), there are particular qualities of the plant-person relationship that promote people's interaction with their environment and hence their health, functional level, and subjective well-being. Fieldhouse concluded this type of immersive interaction in a green space is beneficial as it focuses on skills and aspirations rather than symptoms and deficits. The experience of the garden provides cognitive benefits of enhanced mood, reduced stress, and improved

concentration. C. Hadley Healing Garden aims to bring hope and healing to the youth of Northeast Omaha, a one-of-a-kind project to Northeast Omaha. The Healing Garden is one of the mental health programs of Tranquil Transformations, a youth mental health crisis center. Based on our research and the effects of healing gardens in the community, we are optimistic that this project and programming by Tranquil Transformations will bring about transformational change, the kind of change that will recharge and reenergize the youth of Northeast Omaha and bring about an improved quality of life. It will improve and further enhance the visibility and destigmatization of mental health in the community. The gardens will create more productive citizens of the community. This proposal will lead to temporary construction jobs, permanent jobs, and volunteer opportunities, and partnerships with minority-owned, Northeast Omaha businesses. The organization and its leadership are representatives and allies of Northeast Omaha.

Visioning Workshop Findings Alignment One of the opportunities highlighted in the Visioning Workshop Summary is increased access to mental health. Thus, this proposal directly aligns with the findings in hopes of meeting the needs of the North Omaha community.

Priorities Alignment The Healing Gardens proposal will lead to the transformation of the community. The proposal will create a destination for others to visit the garden and in such a way change the narrative of the North Omaha community. It will improve the quality of life as it preaches mindfulness and quiet space. It will create temporary and permanent for the North Omaha community by the North Omaha community.

Economic Impact 56

6

56

The job wage ranges from \$39000 to \$120000, from gardener to an full time executive director.

The proposal will seek contractors from North Omaha, and will serve North Omaha community. While there is no defined location as of now, the proposal will be located in the Qualified Census Tract, in a location such as 2724 N 24th Street, Omaha, NE 68110 and 1021 N 46th Street, Omaha, NE 68132.

Community Benefit There is no garden like this in North Omaha. The Healing Garden will create a destination, especially for youth. It will add to the recreational playground in North Omaha, and be a refugee and in invite not just for local, but all Omaha residents and beyond.

There is no garden like this in North Omaha. The Healing Garden will create a destination, especially for youth. It will add to the recreational playground in North Omaha, and be a refugee and in invite not just for local, but all Omaha residents and beyond.

Best Practices/Innovation There is no garden like this in North Omaha. The concept of healing gardens addressing mental health specifically for youth is innovative.

Outcome Measurement	# of visits tracking - # tracking for purpose of mental health well being # job creation - building capacity of mental health practitioners by learning about the field and building their skills for a pool
	All data regarding outcomes will be compiled and measured by C. Hadley, the ED.
	Yes, we would be elevating and destigmatizing mental health in North Omaha, with additional training opportunities for new generations.
Partnerships	Yes
	TBD
	TBD
Displacement	No
Displacement explanation	
Physical Location	Location TBD. Locations of interest 2724 N 24th Street, Omaha, NE 68110 and 1021 N 46th Street, Omaha, NE 68132.
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	
Property Zoning	No
Is the project connected to utilities?	
	Yes
	Yes
Design, Estimating, and Bidding	No
	No
	Costs were determined by utilizing examples of a healing garden projects of similar size and type.
General Contractor	No
Request Rationale	This is a new and innovative concept that is seeking funding for

site development and will seek separate funding for ongoing operations. shovel-ready project - that can be completed in 18 months within the timeline for dollar spending

Grant Funds Usage using the funds to acquire property and construct the property project a new construction project a site found with a building in existence - new construction or rehabilitation of an existing site

Proposal Financial Sustainability No

Funding Sources This is a new operation established in April 2022. We are not anticipating funding from other sources for this proposal.

not applicable

Not from this funding source.

Scalability Yes, it is scalable in that the youth and public awareness grows.

See attached spreadsheet.

Financial Commitment This organization is newly founded and is working on securing financial commitments.

ARPA Compliance Acknowledgment

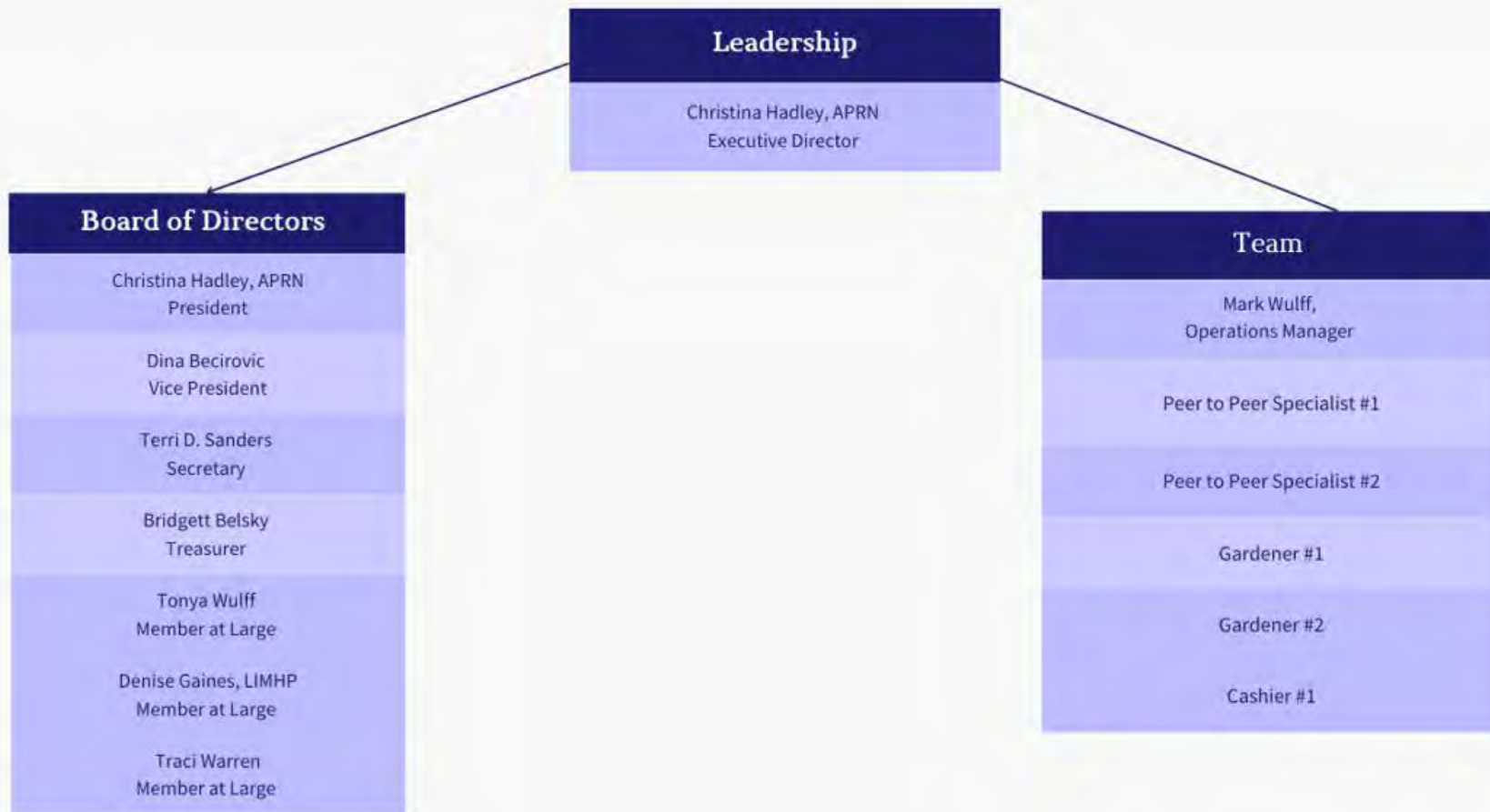
ARPA Reporting and Monitoring Process Acknowledgme

LB1024 Funding Sources Acknowledgment

Public Information

File Uploads Data table of uses (breakdown of how the requested funds will be used for your proposal) Organizational Chart Pro Forma Proposal Budget/Sources and Uses Schedule

Tranquil Transformations



Tranquil Transformations Healing Gardens

3-Year Pro forma

<u>Income</u>	<u>FY1</u>	<u>FY2</u>	<u>FY3</u>
Grants	\$ 196,239	\$ 204,138	\$ 212,314
Donations	\$ 45,641	\$ 46,554	\$ 47,485
<u>Other Income - public visits</u>	<u>\$ 155,520</u>	<u>\$ 158,630</u>	<u>\$ 161,803</u>
Total Income	\$ 397,400	\$ 409,322	\$ 421,602
<u>Expenses</u>			
Office Rent? <i>(none if owned)</i>	\$ -	\$ -	\$ -
Utilities (\$400/mth)	\$ 4,800	\$ 4,944	\$ 5,092
Payroll Expenses	\$ 372,000	\$ 383,160	\$ 394,655
Office Supplies (\$200/mth)	\$ 2,400	\$ 2,472	\$ 2,546
Legal & Accounting	\$ 2,500	\$ 2,575	\$ 2,652
Telephone & Internet	\$ 2,500	\$ 2,575	\$ 2,652
Security (\$300/mth)	\$ 3,600	\$ 3,708	\$ 3,819
Marketing Expenses (\$300/mth)	\$ 3,600	\$ 3,708	\$ 3,819
Landscaping/gardening supplies	\$ 3,600	\$ 3,708	\$ 3,819
Insurance (\$200/mth)	\$ 2,400	\$ 2,472	\$ 2,546
Total Expenses	\$ 397,400	\$ 409,322	\$ 421,602

Notes:

Payroll Expenses include at a minimum of 2 gardeners, 1 nurse practitioner, 1 therapist, 1 mental health professional.
Other income is a way to provide a service to the general public for a fee and thereby generate additional revenue.

Source:

[https://networks.nebraska.gov/vosnet/analyzer/resultsNew.aspx?session=oeswage; \\$62K is median ;](https://networks.nebraska.gov/vosnet/analyzer/resultsNew.aspx?session=oeswage; $62K is median ;)
<https://networks.nebraska.gov/vosnet/lmi/profiles/profileSummary.aspx?valueName=occupation&si>

Grant Application

Row 216

**Organization Name
(if applicable)**

Clarity

Physical Address

1901 Howard Street, Suite 300, Omaha, NE 68102

Mailing Address

Website

<http://www.claritydevco.com/>

**Social Media
Accounts**

Name

Neeraj Agarwal

Title

Principal

Email Address

nagarwal@claritydevco.com

Phone

+1 (402) 981-3735

Team

No

**Organizational
Chart**

Please see the uploaded organizational chart for the 2501 Center project.

**Other Completed
Projects and/or
Accomplishments**

The principals of Clarity have developed and have in progress approximately \$500 million of commercial, residential, and mixed-use real estate projects, including new construction and historic renovations with a primary focus on utilizing tax credits to develop affordable housing. They bring depth and experience from inception to completion and stabilization of the project. Clarity has wide ranging experience with Low Income Housing Tax Credits (LIHTC), Tax Increment Financing (TIF), Historic Tax Credits (HTC) and New Market Tax Credits (NMTC). The principals of Clarity have completed multiple 4% LIHTC projects and are consequently well versed in the 4% LIHTC and tax-exempt bond financing application and approval processes. New construction affordable housing/Low Income Housing Tax Credit (LIHTC) projects include Blair High Residences aka Aspen Grove (192 units), Sorensen Apartments aka Prairie Springs (120 units), Hillside Rows (32 units) and 30 Metropolitan Place (112 units). All of these projects have been successfully been completed and are at or above 93%+ occupancy as of today. New construction market rate projects include Blackstone Corner, Blackstone Depot, and Blackstone Station and Union. Historic projects include the Colonial Apartments, which contributed to the tremendous revitalization of the Blackstone District, and Drummond & Firestone, which is part of the increasing activity on Omaha's historic Automobile Row in Midtown Omaha.

Proposal Title	2501 Center: transforming dilapidated office buildings into affordable 3-bedroom and 4-bedroom row houses
Total Budget (\$)	\$36,382,308.00
LB1024 Grant Funding Request (\$)	\$6,000,000.00
Proposal Type	Capital project
Brief Proposal Summary	<p>LOCATION This transformative project will be located on two adjacent sites located at approximately 2501 Center Street, Omaha, NE 68105. The primary site consists of 2501 Center Street, which currently consists of approximately 3 acres and has two dilapidated and vacant buildings on it- one of these buildings is high-rise office building that once served as the Salvation Army offices. TIMELINE The project will start construction by September 2023 and will be completed by June 2025. OVERVIEW 2501 Center (“project” or “Project”) will serve as the one of the largest ever new construction affordable housing projects in the Midtown Omaha area. The project will consist of 77 row houses that will comprised of (A) 59 3-bedroom units and (B) 18 4-bedroom units. All units will have attached 2-car garages on the rear portion of the each unit. There will also be onsite amenities such as, among other things, (a) a community room where onsite supportive services can be provided (b) a fully equipped fitness center. NOTE: As one of the few minority developers in the state, Neeraj Agarwal is focused on ensuring that (1) at least 10% of the subcontractors for the project are either (a) minority or women-owned businesses and (2) most, if not all, of the commercial tenants are minority or women-owned businesses. The Project is a result of Clarity’s continued dedication to building high quality affordable housing in Omaha combined with its goal of developing such affordable housing in Omaha’s urban core. For too long, affordable housing in Omaha has been essentially limited predominantly to North Omaha. While there is, of course, a need for affordable housing in this area, there has always been a strong need for more affordable housing in Midtown and Downtown Omaha that has grown substantially in the last ten years given that most developers have focused exclusively on producing more market rate apartments in these areas and this has resulted in the vast majority of individuals between 18-40 years old who work in Downtown and Midtown being unable to afford the increasingly high rent of market rate apartments. 2501 Center will be an answer to this problem and will serve as the first of multiple affordable housing projects Clarity is planning to develop in Midtown and Downtown Omaha as part of its larger effort to address the strong demand for affordable housing in Omaha’s urban core.</p>
Timeline	The project will start construction by September 2023 and will be completed by June 2025.
Percentage completed by July 2025	100%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Transformational (i.e.,

a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)

Community Needs	Other Infrastructure (i.e., develop or improve broadband, business districts, roadways, sewer, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
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"other" explanation

Proposal Description and Needs Alignment	The proposed project, 2501 Center, will specifically address the identified community needs below: SUSTAINABLE COMMUNITY 2501 Center will address this specific community need as it will result in the creation of 77 newly constructed, high-quality affordable housing row houses with 3 and 4-bedrooms that will be ideal for families. These row houses will be essentially identical relative to the exteriors of two market row house projects the developer, Neeraj Agarwal, is developing in Omaha: (a) Juniper Rows at Deer Creek (120th and Military Road and (b) Juniper Rows at Olde Towne (204th and Main Street in Elkhorn). There is an undeniable need for more affordable housing in Omaha. This has been increasingly more necessary in recent years due to the seemingly ceaseless production of market rate housing that, along with recent inflation, is elevating rents to the point that two-bedroom units are frequently on average over \$1,500/month in various parts of Omaha. 2501 Center will help address this need for affordable housing through the addition of 77 affordable/LIHTC row houses that will range from three- to four-bedroom units in the heart of Midtown Omaha with rents starting at approximately \$850/month. The project site is located in a qualified census tract (QCT), specifically tract 33.00. One major objective of the 2501 Center project is to combat the stigma often associated with affordable housing in two specific manners: (1) by elevating the aesthetic and quality of affordable housing apartments to a higher level such that they are aesthetically and qualitatively indistinguishable from market rate apartments and (2) by ensuring that projects like this one are as safe and secure as possible by incorporating numerous security features such as security cameras and daily and nightly security patrols into the project. OTHER INFRASTRUCTURE 2501 Center will address this specific community need as it will result in the creation of outdoor communal spaces/playgrounds.
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Visioning Workshop Findings Alignment	2501 Center aligns with the findings in the Visioning Workshop Summary in the following ways: INUSFFICIENT INFRASTRUCTURE + DEVELOPMENT THAT FITS WITHIN THE CULTURAL CONTEXT: Through the creation of 77 affordable housing row houses, 2501 Center addresses the finding that there is a need for newer and more affordable housing. ACCESS AND TOOLS TO LEVERAGE COMMUNITY RESOURCES: 2501 Center addresses this finding as it is exemplary of the tremendous positive impact leveraging community resources can have relative to directly addressing and helping address the substantial issues like the lack of high quality and safe affordable housing in the Omaha MSA. Specifically, 2501 Center leverages numerous community resources such as (1) Tax Increment Financing (TIF) (2) Property Assessed Clean Energy (PACE) and (3) Low Income House Tax Credits (LIHTCs).
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Priorities Alignment	The proposal aligns with LB1024's strategic priorities because
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the project's creation of 77 high quality and newly constructed affordable row houses in a Qualified Census Tract will result in a fundamental change to a neglected area of Midtown Omaha that will ultimately improve the lives of area residents.

Economic Impact

There will be approximately twenty (20) temporary construction jobs created as a result of 2501 Center. The wages for these jobs are anticipated to range between \$50,000-\$70,000. There will be approximately three (3) permanent jobs created as a result of 2501 Center and specifically related to the leasing and management of the property. The wages for these jobs are anticipated to range between \$40,000-\$60,000.

There will be approximately three (3) permanent jobs created as a result of 2501 Center.

There will be approximately twenty (20) temporary construction jobs created as a result of 2501 Center.

The wages for the permanent and temporary jobs are anticipated to range between \$40,000-\$70,000.

2501 Center will result in immediate and ongoing opportunity to contractors in QCTs given its focus on ensuring that at least 10% of the subcontractors on the project are minority and women-owned businesses that are located in QCTs in the Omaha MSA.

Community Benefit

The project will benefit the community by providing newly constructed, high quality 3-bedroom and 4-bedroom row houses that will specifically satisfy a need for affordable housing that is suitable for families. HIGH QUALITY AFFORDABLE HOUSING: The project will improve the local neighborhood by transforming the primary site of 2501 Center which currently consists of two vacant and dilapidated buildings that will be demolished and an adjacent site into will 77 3-bedroom and 4-bedroom row houses with attached row houses with rents that start at \$850/month. The project will be unique because of the intentional. The project is unique because the developer, Neeraj Agarwal, has made a commitment to utilizing higher-end materials on both the exterior and interior of the building that are often found in luxury market rate projects in the Blackstone District and throughout Downtown Omaha. This commitment is part of greater effort to counteract the stigma often associated with affordable housing projects looking cheap or as if they were constructed from lower quality materials (e.g. primarily vinyl siding). Due to this voluntary election to utilize higher quality materials, the project construction cost is substantial (i.e. in excess of \$220,000 per unit) and in line with what a market rate project would cost to develop.

The project will contribute to community sustainability through the addition of newly constructed, high quality affordable housing. The addition of desperately needed affordable housing to the Midtown area is key because it allows lower-to-moderate income individuals who work in this area and adjacent areas the opportunity and ability to reside nearby where they work. Currently, this is not feasible given the seemingly constant production of luxury market rate apartments with high rents and the lack of newly constructed and high-quality affordable housing in the area.

Best Practices/Innovation	The project will demonstrate innovation primarily through the use of higher-end exterior and interior materials for the development of affordable housing that are often only used in luxury market rate projects.
Outcome Measurement	<p>The project will result in the creation of a number of permanent and temporary high-wage job opportunities.</p> <p>This can be measured by the relevant City and County agencies obtaining data regarding the number of and wages associated with the permanent and temporary jobs the project will create through their respective subagencies and departments.</p> <p>Yes. The project will serve as catalyst for more development in the Midtown/South Omaha area because the successful completion of this \$36MM+ project will provide real estate developers that have held off on developing property to the south of the project site due to the lack of any activity a compelling reason to finally develop newly constructed projects in the area.</p>
Partnerships	<p>Yes</p> <p>The following is a list of current and prospective partnerships and how these partners have or will participate: 1. TRUE PURPOSE: True Purpose is a current partner that is a 501(c)(3) founded and led by an African-American couple, Tashiara and Tyrece Wilson. True Purpose will be supportive service partner that will help provide supportive services relating to employment and life skills and will also coordinate with other supportive service partners that focus on education, health and wellness. 2. MODUS COWORKING: Modus Coworking is a current partner and is a high-end coworking space that is located nearby at 1901 Howard Street. Modus will offer discounted coworking memberships to tenants at the project so that tenants have convenient, affordable and fully-equipped coworking space they can utilize in this new hybrid world when they want to change things up from working at home or need professional meeting space for meetings, workshops, etc.</p> <p>True Purpose</p>
Displacement	No
Displacement explanation	
Physical Location	(1) 2501 Center Street, Omaha, NE 68104 and a nearby parcel without an address and (2) an adjacent site across the street that consists of (a) 1710 S. 25th Avenue (b) 1706 S. 25th Avenue and (c) an adjacent small parcel without an address.
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	Please refer to the uploaded documentation.
Property Zoning	No

Is the project connected to utilities?

No

No

Design, Estimating, and Bidding

No

No

Based on the construction costs utilized for two projects that are identical relative to the exterior design that are finishing construction: (1) Juniper Rows at Deer Creek: \$20MM construction contract for 92 units at 120th and Military in Northwest Omaha where construction will be completed in November 2022 (2) Juniper Rows at Olde Towne: \$22MM construction contract for 101 units at 204th and Main Streets in Elkhorn where construction will be completed in February 2023. Developer will be engaging the same architect (Architectural Offices aka AO) and Lueder that it utilized for the two above projects and has accounted for inflation in its construction budget for the 2501 Center project.

General Contractor Yes

No

Developer selected Lueder to construct the project because Lueder has the expertise and experience to develop the row house projects given it is completing construction on the two abovementioned developments that are essentially identical to the proposed 2501 Center project.

Request Rationale

The rationale for the dollar amount requested is that the amount requested the gap financing required for the project to be financially feasible. Specifically, there is a substantial gap in the project primarily for the following reasons: (1) 4% LIHTC PROJECTS REQUIRE GAP FINANCING: 4% LIHTC projects like 2501 Center always requiring gap financing of some kind. This is because the 4% LIHTC is a relative shallow subsidy compared to its 9% LIHTC counterpart and this results in a need for gap financing to make a 4% LIHTC project financially feasible. This is particularly so when (a) high interest rates result in lower loan proceeds and (b) inflation results in higher construction costs. (2) HIGHER INTEREST RATES RESULTING IN LOWER LOAN PROCEEDS: interest rates having increased substantially over the last 18 months, which has resulted in the project losing over \$1MM in loan proceeds. (3) INFLATION RESULTING IN HIGHER MATERIAL AND LABOR COSTS: inflation resulted in increased material and labor costs which has increased construction costs by millions of dollars.

Grant Funds Usage

Grant funds will specifically be utilized as gap financing mechanism needed to actually construct the proposed affordable housing project.

Proposal Financial Sustainability Yes

The project will function normally after the initial investment, specifically: (1) Construction: the grant funds will be utilized to partially fund the construction of the project. (2) Construction completion and path to economic stabilization: After the project is constructed, the 3rd party property manager, Seldin, will coordinate with the developer to lease up the residential row houses. After the residential row houses are fully leased up such that project is able to pay its permanent loan monthly debt service at a debt service coverage ratio (DSCR) of 1.15 and above for 3 consecutive months, the project will have satisfied the economic stabilization requirements set forth by the LIHTC investor and permanent lender. (3) After satisfying the economic stabilization requirements: After satisfying the economic stabilization requirements, developer and the property manager will coordinate weekly to ensure the project is remains financially successfully and specifically remains above 90% occupancy at all times and is able to service permanent debt without any issues

Funding Sources

LIHTC: applying for an allocation in December 2022 and anticipate an award by February 2023. PNC Bank is anticipated to be the LIHTC investor and has provided a financial commitment. TIF/PACE: Developer will apply for TIF and PACE financing in February 2023 after obtaining a LIHTC allocation and is targeting August 2023 to obtain all related necessary approvals. Developer will not monetize TIF and will monetize the PACE. Developer has a financial commitment from Pace Loan Group. Permanent/Construction loans: The project has received a financial commitment from a national private lender, Redstone. Developer and owner financing: The project has received financial commitments from the developer and ownership.

LIHTC: The developer will submit a LIHTC application in December 2022 and anticipates a decision from the Nebraska Investment Financing Authority (NIFA) by February 2023. TIF/PACE: Developer will apply for TIF and PACE financing in February 2023 after obtaining a LIHTC allocation and is targeting August 2023 to obtain all related necessary approvals. Developer will not monetize TIF and will monetize the PACE. Developer has a financial commitment from Pace Loan Group.

Yes, the requested gap financing funds.

Scalability

While the project can be replicated and arguably be developed on a large scale, it cannot be completed in smaller components.

N/A

Financial Commitment

The organization will be invested approximately \$2,850,000.00 via its developer and owner affiliates through a combination of (1) \$1,000,000 of owner contributions and (2) \$1,850,000 long term investment of development fees.

ARPA Compliance Acknowledgment



ARPA Reporting and



**Monitoring Process
Acknowledgme**

**LB1024 Funding
Sources
Acknowledgment**



Public Information



File Uploads

Additional Location Documents (see application for list)
Documentation of site control (proof of ownership, option,
purchase contract, or long-term lease agreement)
Environmental assessment of subject site. Is the property a
brownfield site? Organizational Chart Plans and detailed
descriptions, including pictures and a map of the site
location/surrounding area Pro Forma Proposal Budget/Sources
and Uses



B2 ENVIRONMENTAL
B2Environmental.com

PHASE I ENVIRONMENTAL SITE ASSESSMENT

**COMMERCIAL/VACANT/RESIDENTIAL PROPERTIES
2501 CENTER STREET, 1710 S. 25TH AVENUE, 1706 S. 25TH AVENUE,
1729 S. 26TH STREET, 1733, S. 26TH STREET, 1737 S. 26TH STREET
AND 1739 S. 26TH STREET
OMAHA, NEBRASKA 68104**

Prepared for:

**CLARITY DEVELOPMENT
3814 FARNAM STREET
OMAHA, NEBRASKA 68131**

Prepared by:

**B2 ENVIRONMENTAL, INC.
4503 SOUTH 90TH STREET
OMAHA, NEBRASKA 68127**

B2E PROJECT NUMBER: 10373.0039

September 07, 2021

Prepared by:

Dillon Dawson

**Dillon Dawson
Project Manager/Report Writer**

Reviewed by:

Brock Flowers

**Brock Flowers
Environmental Manager/Environmental Professional**



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EXECUTIVE SUMMARY						
Report Section	Further Action?	De minimis Condition	REC and/or CREC	Historical REC	ASTM Non-Scope Condition / BER	Description
3.0	User Provided Information	No				
4.1.1	Federal Database Findings	YES		X		See REC Below
4.1.2	State and Tribal Database Findings	YES		X		See REC Below
4.2	Additional Environmental Record Sources	No				
4.3	Historical Use Information	YES		X		See REC Below
5.0	Site Reconnaissance	No				
6.0	Interviews	No				
7.0	Subsurface Vapor Migration	YES		X		See REC Below
10.1	Asbestos-Containing Material (ACM)	No			X	Not Included
10.2	Radon	No			X	Not Included
10.3	Lead in Drinking Water	No			X	Not Included
10.4	Lead-Based Paint (LBP)	No			X	Not Included
10.5	Mold Screening	No			X	Not Included
10.6	Additional User Requested Services	No				

B2E performed a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E 1527-13 of the site located at 2501 Center Street, 1710 S. 25th Avenue, 1706 S. 25th Avenue, 1729 S. 26th Street, 1733, S. 26th Street, 1737 S. 26th Street and 1739 S. 26th Street in Omaha, Nebraska. Any exceptions to, or deletions from, this practice are described in Section 9.0 – Deviations. B2E did identify evidence of *recognized environmental conditions* through a review of historical use information, environmental records review, interviews, and site reconnaissance.



B2E identified the following ***recognized environmental conditions*** through a review of historical use information, environmental records review, interviews, and site reconnaissance.

- The assessment site was identified as a cereal factory with a machine shop and grain bins from at least 1934 to 1969 (35-years). Additionally, the southern portion of the assessment site was identified as being portions of oil companies with large ASTs present from at least 1934 to 1999 (65-years). The presence of the historical uses of the assessment site represents a *recognized environmental condition* based on the known use of petroleum products and common use of petroleum products and hazardous substances in factory operations.
- The adjoining property to the east was identified as various oil companies from at least 1934 to 1999 (65-years). This property contained multiple large ASTs throughout this time period. The presence of the oil companies on the adjoining property to the east represents a *recognized environmental condition* to the assessment site.
- The assessment site is located within the Omaha Lead Superfund NPL area. Several of the assessment site parcels have a status of either test “high” qualifies for cleanup for not tested but does qualify for testing.
- The assessment site contained a 2,100-gallon diesel UST that was removed in 1990. At the time of removal, no confirmation soil samples were submitted to a laboratory for analysis.
- The adjacent property to the west (2623 Center Street) was identified as SHWS, Brownfields, US Brownfields & RCRA-Non Generator in the EDR Radius Map Report. This site operated as a drum cleaning facility until a fire destroyed it. It was noted that 165 drums and three (3) storage tanks were at the facility that contained solvents and chemical residues.
- The adjoining property to the east/south (1920 South 26th Street & 1946 South 26th Street) was identified as multiple LAST incidents and contained multiple ASTs. The status of some the LAST incidents is still open and pending work with the NDEE.

Based on information collected from the Phase I ESA, B2E offers the following recommendations for further action at this time:

- **If the client wishes to confirm or deny the presence of contamination in sub-surface soil, vapor and/or groundwater from historical assessment site and adjacent property uses a Phase II ESA could be performed.**

1.0 INTRODUCTION

1.1 Purpose

B2 Environmental, Inc. (B2E) performed this Environmental Site Assessment (ESA) in general accordance with the scope and limitations of American Society for Testing and Materials (ASTM) E 1527-13, Standard Practice for Environmental Site Assessments: These practices are intended to satisfy one of the requirements to qualify the user for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on Comprehensive



Environmental Response, Compensation and Liability Act, (CERCLA) liability. The goal of ASTM Practice E 1527-13 is to identify, to the extent feasible, *recognized environmental conditions* associated with a parcel of property.

“The term *recognized environmental condition* means the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: (1) due to release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. De minimis conditions are not recognized environmental conditions.”

“The term *historical recognized environmental condition* means a past release of any hazardous substance or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls). Before calling the past release a historical recognized environmental condition, the environmental professional must determine whether the past release is a recognized environmental condition at the time the Phase I Environmental Site Assessment is conducted (for example, if there has been a change in the regulatory criteria). If the environmental professional considers the past release to be a recognized environmental condition at the time the Phase I ESA is conducted, the condition shall be included in the conclusions section of the report as a recognized environmental condition.”

“The term *controlled recognized environmental condition* means a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority), with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls). A condition considered by the environmental professional to be a controlled recognized environmental condition shall be listed in the findings section of the Phase I Environmental Site Assessment report, and as a recognized environmental condition in the conclusions section of the Phase I Environmental Site Assessment report.”

“The term *business environmental risk* means a risk that can have a material environmental or environmentally-driven impact on the business associated with the current or planned use of a parcel of commercial real estate, not necessarily limited to those environmental issues required to be investigated in this practice (ESA, ASTM E1527-13). Considerations of *business environmental risk* issues may involve addressing non-scope considerations.”

1.2 Scope of Services

The scope of the ESA consisted of a preliminary evaluation of the assessment site to include the following:

- Physical setting characteristics of the property through a review of referenced sources such as topographic maps and geologic, soils and hydrologic reports;
- Usage of the property, adjoining properties, and surrounding area through a review of historical sources such as land title records, fire insurance maps, city directories, aerial photographs, prior reports, and interviews;

- Observations and interviews regarding current property usage and conditions including: the use, treatment, storage, disposal or generation of hazardous substances, petroleum products, hazardous wastes, nonhazardous solid wastes, and wastewater;
- Usage of adjoining and surrounding area properties and the likely impact of known or suspected releases of hazardous substances or petroleum products from those properties on the property;
- Information in referenced environmental agency databases and local environmental records, within the specified approximate minimum search distance from the property;
- Potential for subsurface vapor migration in, on or at the property; and
- Reporting the findings of the investigation.

The scope of the assessment also included consideration of the following potential environmental issues or conditions that are beyond the scope of ASTM Standard Practice E1527-13.

- Radon document review, consisting of the review of published radon data with regard to the potential for elevated levels of radon gas in the surrounding area of the property. No radon sampling was conducted.
- Lead in Drinking Water Data review, consisting of contacting the water supplier for information regarding whether or not the potable water provided to the assessment site meets the drinking water standards for lead.
- Wetlands document review, consisting of a review of a current National Wetlands Inventory map of the surrounding area to note if the property is identified as having a wetland.
- Flood plain document review, consisting of a review of a reasonably ascertainable flood plain map of the surrounding area to note if the property is identified as being located within a flood plain.
- Regulatory Agency File and Records Review, consisting of conducting a file review (i.e., via Freedom of Information Act (FOIA) request or alternative method/source) for the property and/or one adjoining property at one regulatory agency, as warranted by the findings of the ESA.

1.3 Significant Assumptions

The findings of this report did not include significant assumptions regarding evidence of recognized environmental conditions in connection with the subject or adjoining properties.

1.4 Limitations and Exceptions

B2E prepared this ESA using reasonable efforts to identify *recognized environmental conditions* associated with hazardous substances or petroleum products at the assessment site. Findings contained within this report are based on information collected from observations made on the day(s) of the site reconnaissance and from reasonably ascertainable information obtained from certain public agencies and other referenced sources.

The ASTM Standard Practice E 1527-13 recognizes inherent limitations for ESA's, including, but not limited to:



- *Uncertainty Not Eliminated* – An ESA cannot completely eliminate uncertainty regarding the potential for *recognized environmental conditions* in connection with any property.
- *Not Exhaustive* – An ESA is not an exhaustive investigation of the property and environmental conditions on such property.
- *Past Uses of the Property* – ESA requirements only require review of standard historical sources at five year intervals. Therefore, past uses of property at less than five year intervals may not be discovered.

Users of this report may refer to ASTM Standard Practice E 1527-13 for further information regarding these and other limitations. This report is not definitive and should not be assumed to be a complete and/or specific definition of all conditions above or below grade. Current subsurface conditions may differ from the conditions determined by surface observations, interviews, and reviews of historical sources. The most reliable method of evaluating subsurface conditions is through intrusive techniques, which are beyond the scope of this report. Information in this report is not intended to be used as a construction document and should not be used for demolition, renovation, or other property construction purposes. Any use of this report by any party, beyond the scope and intent of the original parties, shall be at the sole risk and expense of such user.

B2E makes no representation or warranty that the past or current operations at the property are, or have been, in compliance with all applicable federal, state, and local laws, regulations and codes. This report does not warrant against future operations or conditions, nor does it warrant against operations or conditions present of a type or at a location not investigated. Regardless of the findings stated in this report, B2E is not responsible for consequences or conditions arising from facts not fully disclosed to B2E during the assessment.

An independent data research company provided the government agency database referenced in this report. B2E requested information on surrounding area properties for approximate minimum search distances and is assumed to be correct and complete unless obviously contradicted by B2E's observations or other credible referenced sources reviewed during the assessment. B2E shall not be liable for any such database firm's failure to make relevant files or documents properly available, to properly index files, or otherwise to fail to maintain or produce accurate or complete records.

B2E used reasonable efforts to identify evidence of aboveground and underground storage tanks and ancillary equipment on the property during the assessment. B2E limited "Reasonable efforts" to observation of accessible areas, review of referenced public records and interviews. These reasonable efforts may not identify subsurface equipment or evidence hidden from view by things including, but not limited to, snow cover, paving, construction activities, stored materials, and landscaping.

Estimates of costs or quantities in this report are approximations for commercial real estate transaction due diligence purposes and are based on the findings, opinions, and conclusions of this assessment, which are limited by the scope of the assessment, schedule demands, cost constraints, accessibility limitations and other factors associated with performing the ESA. Subsequent determinations of costs or quantities may vary from the estimates in this report. The estimated costs or quantities in this report are not intended to be used for financial disclosure related to the Financial Accounting Standards Board (FASB) Statement No. 143, FASB Interpretation No. 47, Sarbanes/Oxley Act or any United States Securities and Exchange Commission reporting obligations and may not be used for such purposes in any form without the express written permission of B2E.



B2E is not a professional title insurance or land surveyor firm and makes no guarantee, express or implied, that any land title records acquired or reviewed in this report, or any physical descriptions or depictions of the property in this report, represent a comprehensive definition or precise delineation of property ownership or boundaries.

The Environmental Professional Statement in Section 12.0 of this report does not “certify” the findings contained in this report and is not a legal opinion of such *Environmental Professional*. The *Environmental Professional* Statement is intended to document B2E’s opinion that an individual meeting the qualifications of an Environmental Professional was involved in the performance of the assessment and that the activities performed by, or under the supervision of, the *Environmental Professional* were performed in conformance with the standards and practices set forth in 40 CFR Part 312 per the methodology in ASTM Standard Practice E 1527-13 and the scope of work for this assessment.

Per ASTM Standard Practice E 1527-13, Section 4.0, User Responsibilities, the User of this assessment has specific obligations for performing tasks during this assessment that will help identify the possibility of *recognized environmental conditions* in connection with the property. Failure by the User to fully comply with the requirements may impact their ability to use this report to help qualify for *Landowner Liability Protections* (LLPs) under Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). B2E makes no representations or warranties regarding a User’s qualification for protection under any federal, state, or local laws, rules, or regulations.

In accordance with the ASTM Standard Practice E 1527-13, this report is presumed to be valid for a six month period. If the report is older than six months, the following information must be updated in order for the report to be valid: (1) regulatory review, (2) site visit, (3) interviews, (4) specialized knowledge and (5) environmental liens search. Reports older than one year may not meet the ASTM Standard Practice E 1527-13 and therefore, the entire report must be updated to reflect current conditions and property-specific information.

Other limitations and exceptions that are specific to the scope of this report may be found in corresponding sections.

1.5 Special Terms and Conditions (User Reliance)

This report is for the use and benefit of, and may be relied upon by, Clarity Development and B2E, and their respective successors and assigns in accordance with ASTM Standard E 1527-13. Any third party agrees by accepting this report that any use or reliance on this report shall be limited by the exceptions and limitations in this report, and with the acknowledgment that actual site conditions may change with time, and that hidden conditions may exist at the property that were not discovered within the authorized scope of the assessment. Any use by or distribution of this report to third parties, without the express written consent of B2E, is at the sole risk and expense of such third party.

B2E makes no other representation to any third party except that it has used the degree of care and skill ordinarily exercised by environmental consultants in the preparation of the report and in the assembling of data and information related thereto. No other warranties are made to any third party, either expressed or implied. Unless otherwise agreed upon in writing by B2E and a third party, B2E’s liability to any third party authorized to use or rely on this report with respect to any acts or omissions shall be limited to a total maximum amount of \$50,000.



1.6 Data Gap/Data Failure

Data gaps may have been encountered during the performance of this Phase I ESA and are discussed within the section of the report where they were encountered. However, according to ASTM Standard Practice E1527-13, data gaps are only significant if "other information and/or professional experience raise reasonable concerns involving the data gap. No significant data gaps were identified in this report. It should be noted that an environmental lien search was not performed as part of this assessment.

This assessment was conducted during a period when many private businesses and public agencies were closed, or access was limited, and employees were working remotely due to a pandemic caused by a coronavirus (COVID-19) outbreak. Therefore, research including file reviews were limited because some records were not reasonably ascertainable. While not amounting to a significant data gap, these circumstances did place limitations on the extent of research.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

The assessment site consists of nine (9) various shaped parcels within Omaha, Nebraska. The parcels encompass approximately 5.13 acres of land. An area location map is presented as Figure 1 in Appendix B. General legal description for the assessment site can be found in Appendix A.

2.2 Site and Vicinity General Characteristics

The assessment site and surrounding areas are generally comprised of commercial or residential uses. According to the Douglas County-Omaha Geographic Information Systems (GIS), the assessment site is zoned as Heavy industrial (HI) or Residential (R7). The adjoining properties to the east are zoned as HI and the adjoining properties to the north, west and south are zoned as HI or R7.

2.3 Current Use of the Assessment Site

Following is a table summarizing tenant use of the assessment site. A Site Plan is located in Appendix B.

CURRENT USE OF THE ASSESSMENT SITE			
Parcel #	Address	Type of Use	Comments
0224550003	2501 Center Street	Vacant Commercial Building/Warehouse (one occupied apartment building remains)	Two (2) Buildings - 118,216 total square feet, four (4) to seven (7) stories and constructed in 1945 & 1970.
0224260004	N/A	Vacant Land	0.15 Acres
0224240002	1710 South 25 th Avenue	Vacant/Wooded Land	0.9 Acres
0224220000	1706 South 25 th Avenue	Vacant/Wooded Land	0.14 Acres



CURRENT USE OF THE ASSESSMENT SITE			
Parcel #	Address	Type of Use	Comments
0224550005	N/A	Undeveloped	1.12 Acres
2200260000	1729 South 26 th Street	Detached Garage	720 square feet and constructed in 1986. B2E did not have access into the interior of the garage.
2200240002	1733 South 26 th Street	Residence	936 square feet and constructed in 1967. B2E did not have access into the interior of the residence.
2200230000	1737 South 26 th Street	Undeveloped Land	0.07 Acres
2200220000	1739 South 26 th Street	Undeveloped Land	0.07 Acres

2.4 Site Improvements

The following table provides general descriptions of the assessment site improvements.

ASSESSMENT SITE IMPROVEMENTS	
General Topography of Property	Slopes generally to the southeast.
Adjoining and/or Access/Egress Roads	The assessment site is adjoining and accessed via South 26 th Street to the east & west and Center Street to the north & south.
Paved or Concrete Areas (including parking)	Paved access drives and parking for parcels with structures.
Unimproved Areas	Refer to section 2.3 for unimproved parcels.
Landscaped Areas	Trees, grass and shrubs around some of the parcels.
Surface Water	None
Potable Water Source	Metropolitan Utilities District (MUD)
Sanitary Sewer Utility	City of Omaha
Storm Sewer Utility	City of Omaha
Electrical Utility	Omaha Public Power District (OPPD)
Natural Gas Utility	MUD
Current Occupancy Status	0% - except for one (1) apartment in the 2501 Center Street building.



ASSESSMENT SITE IMPROVEMENTS	
Unoccupied Buildings/Spaces/Structures	Four (4)
Number of Occupied Buildings	None

2.5 Physical Setting Sources

General Topographic Setting and Surface Soils

B2E reviewed the United States Geological Survey (USGS) 7.5-minute series topographic map for the *Omaha South, Nebraska* Quadrangle dated 2021. Based on the topographic map review, the assessment site is located in central Omaha, NE. The map depicts the topography of the assessment site as sloping to the southeast. The elevation of the assessment site is approximately 1,100 feet above sea level. A topographic map covering the assessment site and surrounding areas is presented as Figure 1 in Appendix B.

B2E utilized the EDR Radius Map Report to identify the assessment site surface soils. Surface soils of the assessment site are anticipated to consist of the following:

Soil Component	Soil Surface Texture	Hydrologic Group	Soil Drainage Class
Monona	Silt Loam	Class B – Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.	Well Drained

A copy of the EDR Radius Map Report is included in Appendix C.

Groundwater

B2E anticipates the general groundwater flow direction in the vicinity of the assessment site is to the southeast, based on the topography. Groundwater flow direction in the vicinity of the assessment site may depend on various site characteristics. Accurate groundwater flow direction cannot be determined without the installation of groundwater monitoring wells and actual measurement of groundwater elevations.

Surface Water

B2E did not observe surface water flow during the site visit. B2E anticipates surface water to be directed to the storm drains along street right-of-ways or to percolate into the ground surfaces.

Anticipated Up-gradient Area

Based on the topography and the anticipated groundwater flow directions, B2E anticipates that the areas to the northwest would be in the apparent up-gradient direction. Up-gradient or nearby contaminant sources have the potential to adversely affect the groundwater beneath the subject site. As a result, the estimated up-gradient area and adjacent properties have been of particular focus for B2E’s historical and environmental record research.



Flood Plain Map

B2E reviewed the EDR Radius Map Report which obtained the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), Map Number 3152740050F. According to the flood plain map, the assessment site is not located in flood zone.

Wetlands Map

B2E reviewed the EDR Radius Map Report National Wetlands Inventory (NWI) information for the assessment site and surrounding area. According to the map, no wetlands or portions of wetlands are located on the assessment site or surrounding properties.

2.6 Current Uses of the Adjoining Properties

B2E identified, to the extent that current uses of adjoining properties are visually and/or physically observable by site reconnaissance, interviews, or record review the following:

Direction from Property	Address	Occupant(s) Name	Current Use	Potential Environmental Conditions
North (beyond Center Street)	1745 South 26 th Street	N/A	Residential	None
East	2410 Center Street	N/A	Vacant Commercial Building	None
South	1920 South 26 th Street	N/A	Storage Warehouse	Identified as a Leaking Aboveground Storage Tank (LAST), Aboveground Storage Tank (AST), Brownfield and Resource Conservation and Recovery Act – Non Generator in the EDR Radius Map Report.
South	2110 South 26 th Street	N/A	Parking Lot	None
West	2623 Center Street	N/A	Vacant Commercial Building	Identified as a US Brownfields, Facility Index System (FINDS), State Hazardous Waste Site (SHWS), State Brownfields, Superfund Enterprise Management System (SEMS)-Archive, & Resource Conservation and Recovery Act (RCRA-NonGen) in the EDR Radius Map Report.
West	N/A	N/A	Residential	None

Two (2) of the adjoining properties was identified in the federal, state, and tribal databases searched. This property will be discussed in further detail in section 4.1.



3.0 USER PROVIDED INFORMATION

The following section summarizes information (if any) provided by Clarity Development (User) with regard to the Phase I ESA. Documentation may be found in Appendix E or where referenced in this report.

3.1 Title Records

The User did not provide title records.

3.2 Environmental Liens or Activity and Use Limitations

User reported no knowledge regarding environmental liens recorded against the property or activity and use limitations in connection with the assessment site nor did B2E find evidence of environmental liens or AULs through historical research at the assessment site.

3.3 Specialized Knowledge

User reported no knowledge regarding specialized knowledge in connection with the assessment site.

3.4 Commonly Known or Reasonably Ascertainable Information

User provided no information regarding commonly known or reasonably ascertainable information within the local community about the property that is material to recognized environmental conditions in connection with the assessment site.

User provided no information regarding valuation reduction of the assessment site for environmental issues.

3.5 Owner, Property Manager and Occupant Information

User provided no specific information identifying the property owner, manager, or occupants.

3.6 Reason for Performing Phase I

According to information provided by the User, this Phase I ESA will be used in connection with a potential commercial real estate transaction to identify *recognized environmental conditions* associated with the assessment site.

3.7 Other User Provided Documents

Per The User provided no other documents as described in the ASTM Standard Practice E1527-13.

4.0 RECORDS REVIEW

4.1 Standard Environmental Record Sources - Federal, State and Tribal

The regulatory agency database report discussed in this section, provided by Environmental Data Resources, Inc. (EDR) of Shelton, Connecticut, was reviewed for information regarding reported use or release of hazardous substances and petroleum products on or near the assessment site. Unless otherwise noted, the information provided by the regulatory agency database report and other sources referenced in this report, were considered sufficient for *recognized environmental condition (REC)*, *controlled recognized environmental condition (CREC)*, *historical recognized environmental condition (HREC)* or *de minimis condition* determinations without conducting supplemental agency file reviews. B2E also reviewed the "unmappable" (also referred to as "orphan") listings within the database report, cross-referencing available address information and facility names. Unmappable sites are listings that



could not be plotted with confidence but are potentially in the general area of the property, based on the partial street address, city, or zip code. Any unmappable site that was identified by B2E as being within the approximate minimum search distance from the property, based on the site reconnaissance and/or cross-referencing to mapped listings, is included in the discussion within this section. The complete regulatory agency database report may be found in Appendix C.

The following is a summary of the findings of the database review.

FEDERAL, STATE AND TRIBAL ENVIRONMENTAL RECORD SUMMARY				
Record	Search Distance (Miles)	Subject Property Listed	Adjacent Sites	Total Sites Found
Federal National Priority List (NPL)	1.000	The assessment site is within the NPL	All adjacent properties are with the NPL	1
Federal Superfund Enterprise Management System (SEMS)	0.500	The assessment sit is within the SEMS.	All adjacent properties are with the SEMS	2
Federal Superfund Enterprise Management System – Archive (SEMS ARCHIVE)	0.500	No	1	5
Federal Resource Conservation and Recovery Act – Corrective Action (RCRA-CORRACTS)	1.000	No	0	1
Federal Resource Conservation and Recovery Act – Small Quantity Generator (RCRA-SQG)	0.250	No	0	1
Federal Resource Conservation and Recovery Act – Very Small Quantity Generator (RCRA-VSQQ)	0.250	No	0	2
Federal US Engineering Controls/Institutional Controls	0.500	The assessment sit is within the US ENG/INST Controls.	All adjacent properties are with the US ENG/INST Controls	1
Federal Brownfield Facilities (FED BROWNFIELD)	0.500	No	0	2
State Hazardous Waste Site (SHWS)	1.000	No	0	7
State Solid Waste Facility / Landfill (SWF/LF)	0.500	No	0	2
State and Tribal Leaking Underground Storage Tanks (LUST)	0.500	YES	0	25



FEDERAL, STATE AND TRIBAL ENVIRONMENTAL RECORD SUMMARY				
Record	Search Distance (Miles)	Subject Property Listed	Adjacent Sites	Total Sites Found
State and Tribal Leaking Aboveground Storage Tanks (LAST)	0.500	No	1	5
State and Tribal Underground Storage Tanks (USTs)	0.250	YES	0	8
State and Tribal Aboveground Storage Tanks (AST)	0.250	No	0	1
State and Tribal Institutional Controls	0.500	No	0	1
State and Tribal Brownfields	0.500	YES	0	7
Additional Environmental Records				
US Brownfields	0.500	No	0	1
Nebraska Solid Waste Disposal Sites (SWRCY)	0.500	No	0	2
Nebraska Historical UST	0.250	No	0	1
RCRA-Non Generator	0.250	No	0	5
2020 Corrective Action	0.250	No	0	1
Record of Decision (ROD)	1.000	The assessment site is within the ROD	All adjacent properties are within the ROD.	1
Potential Responsible Party (PRP)	0.001	The assessment site is within the PRP	All adjacent properties are within the PRP	1
Lead Smelters	0.001	The assessment site is within the Lead Smelter	All adjacent properties are within the Lead Smelter	1
Nebraska Asbestos	0.001	No	0	1
EDR Manufactured Gas Plants	1.000	No	0	2
Facility Index System (FINDS)	0.001	YES	0	1
Nebraska RGA LUST	0.001	YES	0	1



*Only those records with sites listed are identified in the table above.

4.1.1 Federal Agency Database Findings

The assessment site was identified by EDR in the following federal agency databases reviewed.

Salvation Army Adult Rehab Center

2501 Center Street

Databases: FINDS

Approximate Distance from the Assessment Site: N/A

Assumed Groundwater Gradient: N/A

Regulatory Data Summary: The assessment site was identified as a FINDS facility in the EDR Radius Map Report. The FINDS is a centrally managed database that identifies facilities, sites, or places subject to environmental regulations or of environmental interest. The Registry ID is 11001063474. According to information obtained from the EDR report the FINDS listing is in relation to all the other listings discussed below in section 4.1.2.

Discussion: Based on nature of this listing it was not identified as a *recognized environmental condition* to the assessment site.

The following listing(s) with a known or significant potential for release and impact in, on, or at the assessment site were identified in the federal agency databases searched:

Omaha Lead

Intersection of I-480 & Abbott Drive, Omaha

Databases: NPL, SEMS, US ENG CONTROLS, US INST CONTROLS, ROD, PRP & Lead Smelters

Approximate Distance from the Assessment Site: N/A

Assumed Groundwater Gradient: N/A

Regulatory Data Summary: The Omaha Lead facility was first identified by CERCLIS in September of 1998. Subsequent assessment activities resulted in the facility being proposed for the NPL on February 26, 2002 with final inclusion on April 30, 2003. All database listings are associated with the facilities inclusion on the NPL. The NPL listing indicates that the substance of concern is lead (Pb), and that the pathway of concern is soil exposure.

Discussion: The Omaha Lead NPL site includes surface soils present at residential properties, childcare facilities, schools, and other residential-type properties in the city of Omaha that have been contaminated as a result of air emissions from lead smelting operations. Lead smelting/refining operations at the former ASARCO refining plant and several secondary sources in the area east of downtown Omaha over a period of approximately 120 years resulted in lead impacts to surface soils over an area of approximately 20 square miles, primarily in the eastern portion of Omaha. Assessment and cleanup activities are currently being conducted within the area of impact for sensitive receptor sites (i.e., residential properties, schools, daycares, etc.). The NPL is predominately directed at exposures of children to lead contaminated soils and does not apply to non-residential properties within the area of identified impact. Additional information is included within the EDR Radius Map Report included in Appendix C.

Based upon the area of the assessment site, supplemental agency file reviews were warranted to verify the database report information. B2E reviewed the Omaha Lead Registry Map jointly maintained by the City of Omaha and the Environmental Protection

Agency (EPA) for more information on this listing. According to the map, the assessment site is located within the NPL. Information obtained from the review indicated the following:

2501 Center Street – No soil sampling has been completed; however, it does qualify for the soil assessment.

1710 South 25th Avenue – No soil sampling has been completed; however, it does qualify for the soil assessment.

1706 South 25th Avenue – Soil was tested in 2015 with a result of “high” 573 parts per million (ppm). This site qualifies for clean-up.

1729 South 26th Street – This address was not listed on the registry map.4

1733 South 26th Street – Soil was tested in 2003 with a result of “low” 158.92 ppm.

1737 South 26th Street – Soil was tested in 2006 with a result of “low” 51.12 ppm.

1739 South 26th Street – Soil was tested in 2006 with a result of “low” 67.92 ppm.

It is B2E’s opinion that the assessment site’s presence within the Omaha Lead Superfund site radius does constitute a *recognized environmental condition* based on planned residential use and the fact that bare soil is present at the assessment site.

Drum Industries

2623 Center Street

Databases: SEMS-Archive

Approximate Distance from the Assessment Site: Adjacent to the East

Assumed Groundwater Gradient: Up-Gradient

Regulatory Data Summary: This facility was identified as SEMS-Archive in the ERIS Database Report. The Facility ID is 11015. The program affiliation was identified as RCRA SARA Title III. That was the extent of available information in the EDR Radius Map Report. SEMS-Archive tracks sites that have no further interest under the Federal Superfund Program based on available information. According to information obtained from the EDR report the Site ID is 0702053. The finish date was May 01, 2008 with a discovery date of February 03, 1988. That was the extent of available information in the EDR report. Additionally, B2E performed a file review at the EPA website for additional information. However, no additional information was available.

Discussion: Based on current regulatory status this listing does not represent a *recognized environmental condition* to the assessment site.

Based on distance, topography, estimated groundwater flow direction, current regulatory status, and/or the absence of reported releases, none of the other sites listed in the federal agency databases searched are considered to represent a likely past, present, or material threat of release in, on, or at the assessment site. Given the physical setting characteristics of the assessment site and surrounding area supplemental agency file reviews were warranted to verify the database report information.

4.1.2 State and Tribal Agency Database Findings

The assessment site was identified by EDR in the following state and tribal databases reviewed.

Salvation Army

2501 Center Street

Databases: LUST, UST, Brownfields & RGA LUST

Approximate Distance from the Assessment Site: N/A

Assumed Groundwater Gradient: N/A

Regulatory Data Summary: The assessment site was identified as a Leaking Underground Storage Tank (LUST) and RGA LUST site in the ERIS Radius Map Report. Information obtained from the EDR report and a File Review with the Nebraska Department of Environment and Energy (NDEE) is discussed below:

LUST ID: 061290-99-0003

Discovery Date: May 29, 1990

Discussion: According to the EDR report a release of an unknown quantity of Diesel Fuel occurred. The LUST incident has a status of No Further Action (Incident Closed) with the NDEE. The responsible party was identified as Salvation Army Corp. That was the extent of available information in the EDR report. Additionally, B2E performed a file review on-line via the NDEE Leaking Underground Storage Tanks & Surface Spills website, information obtained from the file review indicated the following:

- June 05, 1990 - A closure assessment report indicated that a 2,100-gallon diesel UST and associated piping were removed from the assessment site. The UST was estimated to be approximately 23-years old and was constructed of steel. It was noted that soils on the west end of the tank were contaminated. Over excavation was performed at both ends of the tank to approximately 17 feet below ground surface. At this depth samples showed no field screening signs of contamination. The tank was noted to be located on the south side of the building. No laboratory samples were collected as part of the assessment.
- June 12, 1990 – NDEE issues a no further action letter.

The assessment site was additionally identified as a UST facility in the EDR report. According to the EDR report no active USTs remain at the assessment site. Additionally, B2E performed a file review with the Nebraska State Fire Marshall for additional information on the UST listing. Information obtained from the file review indicated that one (1) 2,100-gallon Diesel UST was removed from the assessment site.

The assessment site was also identified as a Nebraska Brownfields site in the EDR report. According to information obtained in the EDR report the brownfields program description was railroad spur and the program status was active. That was the extent of available information in the EDR report. Additionally, B2E performed a file review online via the NDEE website. Information obtained from the website indicated the following:

- May 21, 2012 – The NDEE was requested by the Metropolitan Area Planning Agency (MAPA) to make a brownfields petroleum site eligibility determination for specific parcels of land located within the City of Omaha. The assessment site was deemed by the department to be eligible for petroleum assessment grant activities.

Discussion: Based on the fact that no confirmation laboratory samples were collected as part of the UST closure in 1990, thus not meeting current closure regulations this

finding represent a *recognized environmental condition* to the assessment site. Information from file reviews is included in Appendix D.

Residence

1710 South 25th Avenue

Databases: ASBESTOS

Approximate Distance from the Assessment Site: N/A

Assumed Groundwater Gradient: N/A

Regulatory Data Summary: The assessment site was identified as a Asbestos site in the EDR report. Information obtained from the EDR report indicated a project notification was issued on May 23, 2003. That was the extent of pertinent information in the EDR report.

Discussion: Based on current regulatory status this finding does not represent a *recognized environmental condition* to the assessment site.

The following listing(s) with a known or significant potential for release and impact in, on, or at the assessment site were identified in the state and tribal databases searched:

Utilities Services Group/Former Aggregate Production

2623 Center Street

Databases: SHWS, Brownfields, US Brownfields & RCRA Non-Generator

Approximate Distance from the Assessment Site: Adjacent to the west

Assumed Groundwater Gradient: Up-Gradient

Regulatory Data Summary: This facility was identified as an SHWS site in the EDR Radius Map Report. The NDEE provides this information from it's own database. According to information obtained in the EDR report the program acronym is SF. That is the extent of available information in the EDR report. Additionally, B2E performed a file review via the NDEE website. Information obtained in the file is discussed below indicated that soil samples were collected at the site in 1989 however, were discarded due to discussions on responsible parties. On July 03, 1995 a site assessment was completed. According to the site assessment the site operated as a drum cleaning facility from 1986 to 1988. In 1988 a fire destroyed the facility. Approximately 165 drums and three (3) storage tanks containing solvents and chemical residues were damaged in the fire. In 1988 the NDEE which had authority over the site issued an emergency compliance order to clean up the site. The site failed to comply with the order. The contaminants of concern from the drum washing operation were xylenes, toluene, petroleum naphtha, and 1,1,1-trichlorethane. By March 1989 the NDEE located and environmental contractor which cleaned up the site by April 1989. As a result of the removal action, it was determined that no threat to the public or environment at the site remained. This facility was also identified as a Brownfields facility in the EDR report. Information obtained from the EDR report indicated the facility ID as 64016 with a program status of active. Additionally, B2E performed a file review online via the NDEE website. Information obtained from the website indicated the following:

- May 21, 2012 – The NDEE was requested by the Metropolitan Area Planning Agency (MAPA) to make a brownfields petroleum site eligibility determination for specific parcels of land located within the City of Omaha. The assessment site was deemed by the department to be eligible for petroleum assessment grant activities.

This facility was also identified as a US Brownfields in the EDR report. According to the EDR report a Phase I was completed with RECs including potential petroleum spills

onsite, known spills off site, and adjacent property past use for bulk oil storage. That was the extent of pertinent information in the EDR report. This facility was also identified as a RCRA Non-Generator in the EDR report. Non-Generators do not presently generate hazardous waste. Information obtained from the EDR report indicates the data a form was last received by the EPA was in 1995. Violations have been found in the past regarding the generator listing with the most recent being in 1987 with a return to compliance in 1988.

Discussion: Based on current regulatory status and history at the facility this listing does represent a *recognized environmental condition* to the assessment site.

Milder Oil Company/Former Milder Oil Company/Red Giant

1920 South 26th Street, 1946 South 26th Street & 26th and Dorcas

Databases: LAST, AST, Brownfields & RCRA Non-Generator

Approximate Distance from the Assessment Site: Adjacent to the east/south

Assumed Groundwater Gradient: Down-Gradient

Regulatory Data Summary: This facility was identified as five (5) separate LAST incidents in the EDR Radius Map Report. Information obtained from the EDR report and a file review with the NDEE is discussed below:

- File Number 061792-NM-1100 – A release of petroleum was discovered on June 17, 1992 with the responsible party identified as Milder Oil. The release has a current status of LUST Trust Fund Priority List – Pending Work. A complaint was received in 1992 indicating surface contamination was present. The NDEE visited the site in January of 1992. It was noted that the gravel and asphalt beneath fueling operations were stained with petroleum products. All structures indicated signs of leaking and spills. In December of 1993 a work plan was requested by NDEE to address contamination at the facility. According to a site plan reviewed the facility contained several tank farms near the south end of the Subject Property building.
- File Number 013092-ML-1625 – A release of petroleum was discovered on January 30, 1992 with the responsible party identified as Molder Oil. The release has a current status of LUST Trust Fund Priority List – Pending Work. A Step 6 Initial Site Assessment was performed at the facility in May of 1994. It was noted that the Milder Oil Company has been in operation since 1943. Two (2) spills were reported. 70 to 80 gallons of wastewater containing oil was spilled on the surface when a holding tank was accidentally overfilled. Additionally, 10 to 15 gallons of residual fuel was spilled on the surface by a truck driver. Two (2) borings were drilled near the identified spill areas. Five (5) soil samples were submitted for lab analysis for Total Recoverable Petroleum Hydrocarbons (TRPH). Soil samples indicated concentrations of 716 to 1,010 mg/kg in sample MW-1 and 3,115 to 4,065 mg/kg in sample MW-2. These were above regulatory levels. Additionally, four (4) groundwater samples were collected for TRPH. With results indicated 12.4 and 25.5 mg/L in MW-2 and non-detect and 2.7 mg/L in MW-1. MW-2 is nearest the Subject Property. A letter dated July 1999 indicated that facility was being placed on the “backlog” list by the NDEE. The RP was financially found unable to proceed with remediation at the site.
- File Number 051304-TD-0815 – A release of used oil, diesel and gas was discovered on May 13, 2004 with the responsible party identified as Former Milder Oil. The release has a current status of No Further Action (Incident Closed). In 2004 NDEE received a phone call of a complaint of a petroleum pool

in a secondary containment near ASTs. It was noted that nobody could be located at the facility and it appeared to be abandoned. A emergency catastrophic oil release was declared on June 04, 2004. On February 18, 2005 emergency response was conducted at the facility. A report dated May 18, 2005 indicated that ASTs and used oil/sludge were removed from the facility. Fourteen (14) total AST were removed from the facility totaling 17,399-gallons. On April 9, 2008 Semi-Annual Monitoring was completed at the facility. Free product was noted with about 5-gallons being bailed off. MW-14 the closet monitoring well to the Subject Property did contain free product. A letter dated 2018 indicated that the top 15' of petroleum contaminated soils was excavated at the site. A closure letter dated December 12, 2008 was issued.

- File Number 061893-MF-1130 – A release of waste oil was discovered on June 17, 1993 with the responsible party identified as Milder Oil Company. The releases has a current status of LUST Trust Fund Priority List – Pending Work. This release is in association with File Number 013092-ML-1625 above.
- File Number 052892-DT-1530 – A release of waste oil was discovered on May 28, 1992 with the responsible party identified as Milder Oil Company. The releases has a current status of No Further Action (Incident Closed). An investigation report dated June 1992 confirmed a release. A limited Phase II ESA was conducted in 2002. Four (4) soil borings were installed in the area of the former ASTs. Petroleum concentrations were detected in three of the four soil samples and all groundwater samples. October 28, 2002 a closure letter was issued for this release.
- File Number 060702-ML-1441 – A release of waste oil was discovered on June 07, 2002 with the responsible party identified as Red Giant. The release has a status of LUST Trust Fund Priority List – Pending Work. 250-500 gallons of waste oil into the containment dike. The RP was found financially unable to pay for cleanup so the site is placed on the Priority List.

Additionally, this facility was identified as a AST facility in the EDR report. The Facility ID was identified as 1409. From previous file review multiple large ASTs were present at the facility with fourteen (14) noted to be removed. No current active ASTs remain at the facility. This facility was also identified as a Brownfield facility in the EDR report. The Program Status is active and the Facility ID is 14468. No additional information was found in a file review with the NDEE regarding the Brownfields listing. This facility was also identified as a RCRA-Non Generator in the EDR report. The date a form was last received by the EPA was in 1997. No violations were found regarding the generator listing.

Discussion: Based on current regulatory status and information obtained from file reviews this listing does represent a *recognized environmental condition* to the assessment site.

Based on distance, topography, assumed groundwater gradient, current regulatory status, and/or the absence of reported releases, none of the other sites listed in the state and tribal databases are considered to represent a likely past, present, or material threat of release in, on, or at the assessment site. Given the physical setting characteristics of the assessment site and surrounding area supplemental agency file reviews were warranted to verify the database report information.



4.2 Additional Environmental Records Sources

Water Well Records

B2E reviewed the Nebraska Department of Natural Resources Registered Wells Inventory map for registered wells on the assessment site or adjacent properties. According to the map and observation made during the site reconnaissance no registered wells exist on the assessment site. Multiple abandoned registered monitoring wells were present on the adjacent property to the east.

Fire Department

B2E spoke with Ms. Rosemary Hatton of the Nebraska State Fire Marshall’s Office in regard to the assessment site. Ms. Hatton provided B2E with multiple documents pertaining to the history of the assessment site. That were discussed in relevant sections of this report. According to the Nebraska State Fire Marshall no active USTs are located on the assessment site.

Electrical Utility Company

Based upon its location, Omaha Public Power District (OPPD) provides electricity to the assessment site.

Water Utility

Metropolitan Utilities District (MUD) provides potable water service to the assessment site. The Annual 2019 *Water Quality Report* indicates that MUD obtains its water from multiple sources including the Missouri and Platte River and the Dakota sandstone aquifer. No water quality issues have been reported by MUD regarding the quality of water supplied to the assessment site.

Sewer Utility

Based upon its location, the City of Omaha provides sewer utilities to the assessment site.

Other Local Environmental Records Sources

No additional local environmental records sources were reviewed.

4.3 Historical Use Information

B2E gathered and reviewed historical records to obtain information regarding changes at the assessment site and surrounding area between 1890 to the present.

B2E observed the past uses of the assessment site surrounding area through records review of historical city directories, historical topographic maps (on-line), aerial photographs, on and off-site reconnaissance observations, interviews, or through client-provided information. Copies of the historical use information reviewed are provided in Appendix D.

HISTORIC ASSESSMENT SITE AND SURROUNDING PROPERTY USE			
Year	Property Use	Surrounding Area Use	Reference
Prior to 1940	<p><u>Aerial Photograph</u></p> <p>The northern portion of the assessment site is depicted with a single residential type of structure and undeveloped land. The middle portion of the assessment site is depicted with two (2) large structures. The southern portion of the</p>	<p><u>Aerial Photograph</u></p> <p>The adjacent property to the north is depicted as residential structures. The adjacent properties to the east are depicted as undeveloped or with several structures and ASTs. The adjacent property to the south is depicted as several</p>	<p>Aerial Photograph (1938)</p> <p>City Directories (1915, 1926, 1931 & 1936)</p> <p>Sanborn Maps (1890 & 1934)</p> <p><i>No interval gaps identified.</i></p>



HISTORIC ASSESSMENT SITE AND SURROUNDING PROPERTY USE			
Year	Property Use	Surrounding Area Use	Reference
	<p>assessment site is depicted as containing several ASTs and smaller type buildings.</p> <p><u>City Directories</u></p> <p>Assessment site address are either not listed or identified as private individuals.</p> <p><u>Sanborn Maps</u></p> <p>Assessment Site is not depicted on the Map (1890).</p> <p>The northern portion of the assessment site is depicted as vacant lots and dwellings. The middle portion of the assessment site is depicted as Miller Cereal Mills Cereal Factory. This contains a factory building, machine shop and grains bins. The southern portion of the assessment site is depicted as a portion of Paneblanco Oil Company and Derby Oil Company with multiple ASTs present (1934)</p> <p><u>Topographic Map</u></p> <p>No structures are depicted on the assessment site.</p>	<p>structures and the adjacent property to the west are undeveloped or residential type structures.</p> <p><u>City Directories</u></p> <p>All adjacent property address were either identified as residential or not listed.</p> <p><u>Sanborn Maps</u></p> <p>The adjoining property to the east is depicted with multiple building including a shed, Kilns and Br. Arched. No other adjoining properties are depicted on the map (1890).</p> <p>The adjoining properties to the north are depicted as dwellings. The adjoining properties to the east are depicted as undeveloped, a bag warehouse, a coal building, multiple oil companies a coal yard and multiple ASTs. The adjoining property to the south is not depicted on the map. The adjoining property to the west is depicted as dwellings and parking (1934).</p> <p><u>Topographic Maps</u></p> <p>No structures are depicted in the immediate surrounding area with the exception of a church to the east.</p>	
1940 to 1960	<p><u>Aerial Photographs</u></p> <p>The northern portion of the assessment site is depicted as residential type structures or wooded area. The middle portion of the assessment site is depicted with two (2) large structures. The southern portion of the assessment site is depicted as containing several ASTs and smaller type buildings.</p> <p><u>City Directories</u></p> <p>Assessment site address are either not listed or identified as</p>	<p><u>Aerial Photographs</u></p> <p>The adjacent property to the north is depicted as residential structures. The adjacent properties to the east are depicted as undeveloped or with several structures and ASTs. The adjacent property to the south is depicted as several structures and the adjacent property to the west are undeveloped or residential type structures.</p>	<p>Aerial Photograph (1949, 1950 & 1952)</p> <p>City Directories (1941, 1946, 1951 & 1956)</p> <p>Douglas County Assessor (1945)</p> <p>Topographic Map (1958)</p> <p><i>No interval gaps identified.</i></p>

HISTORIC ASSESSMENT SITE AND SURROUNDING PROPERTY USE			
Year	Property Use	Surrounding Area Use	Reference
	<p>private individuals.</p> <p><u>Douglas County Assessor</u> According to the Douglas County Assessor the assessment site was constructed in 1945.</p> <p><u>Topographic Map</u> A large structure is depicted on the assessment site.</p>	<p><u>City Directories</u> All adjacent property address were either identified as residential or not listed.</p> <p><u>Topographic Maps</u> No structures are depicted in the immediate surrounding area. A rail line is depicted to the south and east.</p>	
1961 to 1980	<p><u>Aerial Photographs</u> The northern portion of the assessment site is depicted as residential type structures or wooded area. The middle portion of the assessment site is depicted with two (2) large structures. The southern portion of the assessment site is depicted as containing several ASTs and smaller type buildings.</p> <p><u>City Directories</u> Assessment site address are either not listed or identified as private individuals.</p> <p><u>Douglas County Assessor</u> Two (2) of the assessment site building were constructed in 1967 & 1970)</p> <p><u>Sanborn Maps</u> The northern portion of the assessment site is depicted with vacant lots and dwellings. The middle portion is depicted as Kellogg Company Cereal Factory. Two (2) factory buildings are present along with grain tanks and a machine shop. The southern portion of the assessment site is depicted as Panebanco Oil Company and Derby Oil Company a bulk oil station with multiple ASTs present (1962). The northern portion of the assessment site is depicted with vacant lots and dwellings. The middle portion is depicted as The Salvation Army with two (2) large</p>	<p><u>Aerial Photographs</u> The adjacent property to the north is depicted as residential structures. The adjacent properties to the east are depicted as with several large structures and ASTs. The adjacent property to the south is depicted as several structures and the adjacent property to the west are undeveloped, residential, or commercial type structures.</p> <p><u>City Directories</u> <i>2410 Center Street (adjacent to the east)</i> Salvation Army (1975) <i>2623 Center Street (adjacent to the west)</i></p> <p>Vacant & Salvation Army Men's Social Service Center (1970 & 1975)</p> <p>All other surrounding property addresses were identified as private individuals (residential) or unlisted.</p> <p><u>Sanborn Maps</u> The adjoining properties to the north are depicted as dwellings. The adjoining properties to the east are depicted as undeveloped, a bag warehouse, a boiler house, multiple oil companies a coal yard and multiple ASTs. The adjoining property to the south is not depicted on the map. The adjoining property to the west is</p>	<p>Aerial Photographs (1969, 1970 & 1979)</p> <p>City Directories (1961, 1965, 1970, 1975 & 1980)</p> <p>Douglas County Assessor (1967 & 1970)</p> <p>Sanborn Maps (1962 & 1969)</p> <p>Topographic Map (1967, 1970, 1974, 1976 & 1977)</p> <p><i>No interval gaps identified.</i></p>

HISTORIC ASSESSMENT SITE AND SURROUNDING PROPERTY USE			
Year	Property Use	Surrounding Area Use	Reference
	<p>buildings. The southern portion of the assessment site is depicted as a portion of Milder Oil Company a bulk oil station with multiple ASTs present (1969).</p> <p><u>Topographic Map</u></p> <p>No structures are depicted on the assessment site (1967, 1974 & 1976)</p> <p>The assessment site is depicted with a large structure (1970 & 1977)</p>	<p>depicted as dwellings and a office.</p> <p><u>Topographic Maps</u></p> <p>No structures are depicted in the immediate surrounding area (1967, 1974 & 1976)</p> <p>Several structures are depicted to the northeast, east, southeast and west (1970 & 1977).</p>	
1981 to 2000	<p><u>Aerial Photographs</u></p> <p>The northern portion of the assessment site is depicted as residential type structures or wooded area. The middle portion of the assessment site is depicted with two (2) large structures. The southern portion of the assessment site is depicted as containing several ASTs and smaller type buildings.</p> <p><u>City Directories</u></p> <p>Salvation Army Adult Rehab (1985)</p> <p>Salvation Army Thrift Store (1990, 1995)</p> <p>Loloyd Holland (1994)</p> <p>All other assessment site addresses were identified as private individuals or not listed.</p> <p><u>Topographic Map</u></p> <p>The assessment site is depicted with a large structure (1984, 1989 & 1995)</p> <p>No structures are depicted on the assessment site (1993).</p>	<p><u>Aerial Photographs</u></p> <p>The adjacent property to the north is depicted as residential structures. The adjacent properties to the east are depicted as with several large structures and ASTs. The adjacent property to the south is depicted as several structures and the adjacent property to the west are undeveloped, residential, or commercial type structures.</p> <p><u>City Directories</u></p> <p><u>2410 Center Street (adjacent to the east)</u></p> <p>Salvation Army (1985)</p> <p>Salvation Army Thrift Store (1990 & 1995)</p> <p>Lloyd Holland (1994)</p> <p><u>2623 Center Street (adjacent to the west)</u></p> <p>Utility Service Construction (1990)</p> <p>Utility Service Group (1994, 1995 & 1999)</p> <p>All other surrounding property addresses were identified as private individuals (residential) or unlisted.</p> <p><u>Topographic Maps</u></p> <p>Several structures are depicted to the northeast, east, southeast</p>	<p>Aerial Photographs (1982, 1988, 1990, 1993, 1994 & 1999)</p> <p>City Directories (1985, 1990, 1994, 1995 & 1999)</p> <p>Topographic Map (1984, 1989, 1993)</p> <p><i>No interval gaps identified.</i></p>

HISTORIC ASSESSMENT SITE AND SURROUNDING PROPERTY USE			
Year	Property Use	Surrounding Area Use	Reference
		and west (1984, 1989 & 1995). No structures are depicted in the immediate surrounding area (1993).	
2001 to present	<p><u>Aerial Photographs</u> The assessment site is depicted as it exists today. Two large structures in the middle and wooded areas and a residential structure to the north. No ASTs are present on the assessment site.</p> <p><u>City Directories</u> Salvation Army (1994, 1999 & 2001) Jeffrey Wright & Larsen Auction (2004 & 2007) All other assessment site addresses were identified as private individuals or not listed.</p> <p><u>Topographic Map</u> No structures are depicted on the assessment site.</p>	<p><u>Aerial Photographs</u> The surrounding areas is depicted with commercial or residential type structures in all directions.</p> <p><u>City Directories</u> <u>2410 Center Street (adjacent to the east)</u> Salvation Army (2007 & 2009) <u>2623 Center Street (adjacent to the west)</u> Utility Service Group (2001, 2004, 2007, 2009, 2014 & 2017) All other surrounding property addresses were identified as private individuals (residential) or unlisted.</p> <p><u>Topographic Maps</u> No structures are depicted in the immediate surrounding area.</p>	<p>Aerial Photographs (2006, 2009, 2012 & 2016) City Directories (2001, 2004, 2007, 2009, 2014 & 2017) Interviews Site Reconnaissance Topographic Map (2010, 2011, 2014, 2017 & 2021) No interval gaps identified.</p>

Historical assessment site and/or surrounding property uses of potential environmental concern included the following:

- The assessment site was identified as a cereal factory with a machine shop and grain bins from at least 1934 to 1969 (35-years). Additionally, the southern portion of the assessment site was identified as being portions of oil companies with large ASTs present from at least 1934 to 1999 (65-years). The presence of the historical uses of the assessment site represents a *recognized environmental condition* based on the known use of petroleum products and common use of petroleum products and hazardous substances in factory operations.
- The adjoining property to the east was identified as various oil companies from at least 1934 to 1999 (65-years). This property contained multiple large ASTs throughout this time period. The presence of the oil companies on the adjoining property to the east represents a *recognized environmental condition* to the assessment site.

Interval gaps (greater than five years) were not encountered during the research of historical use information for the assessment site and surrounding area.

Property Tax Files

B2E reviewed reasonably ascertainable tax files at the Douglas County Assessor for historical ownership information pertaining to the assessment site. The following ownership information was available in the files.

2501 Center Street -

- A sale dated February 11, 2002 conveyed ownership from The Salvation Army to Eric Wood Trustee.
- A sale dated December 05, 2004 conveyed ownership from Erik Wood to Virgil Anderson.

Parcel #0224260004, 1710 South 25th Avenue & 1706 South 25th Avenue, -

- Current owner was identified as Virgil Anderson

Parcel #0224550005

- A sale dated September 05, 2002 conveyed ownership from Union Pacific Railroad Company to Virgil Anderson.

1729 South 26th Street, 1733 South 26th Street, 1737 South 26th Street & 1739 South 26th Street -

- A sale dated June 27, 2006 conveyed ownership from John Lovings to Virgil Anderson.
- A sale dated January 02, 2019 conveyed ownership from Virgil Anderson to Big V Rental LLC.

Recorded Land Title Records

The acquisition of recorded land title records was not required by the scope of work for the Phase I ESA.

Building Department Records

B2E attempted to review available historical building department records at the City of Omaha Permits and Inspections Website for information regarding past uses of the assessment site and surrounding area. However, no permits were available for review.

According to the Douglas County Assessor the assessment site buildings were constructed in 1945, 1969, 1970 or 1986.

Other Historical Sources

No other historical sources were reviewed.

5.0 SITE RECONNAISSANCE

Mr. Brock Flowers, B2E Environmental Manager, conducted a site reconnaissance of the assessment site and observed adjoining properties on January 08, 2020. B2E was not accompanied during the site reconnaissance. B2E's observations are summarized in this section.

5.1 Methodology and Limiting Conditions

The site reconnaissance consisted of walking through and around the assessment site. Photographs of the assessment site and surrounding areas are presented in Appendix F. B2E encountered the following limiting conditions during the site reconnaissance:

- The basement of the 2501 Center Street building was flooded and therefore B2E did not access



- The residences on the assessment site were locked and not accessed.

5.2 General Site Setting

Mr. Brock Flowers visually and/or physically observed, to the extent feasible, the assessment site, adjoining properties, and public thoroughfare areas.

5.3 Observations – Assessment Site

SITE RECONNAISSANCE ASSESSMENT SITE		
Yes	No	Observations
X		Hazardous Substances in Connection with Property Use
X		Petroleum Products in Connection with Property Use
	X	Aboveground or Underground Storage Tanks
	X	Unidentified Substance Containers
	X	Electrical and/or Mechanical Equipment Potentially Containing PCBs
	X	Interior Stains or Corrosion
X		Drains or Sumps
	X	Wastewater Discharges
	X	Septic or Sewage Tanks
	X	Pits, Ponds or Lagoons
	X	Wells
X		Stained Soil or Pavement
	X	Stressed Vegetation
X		Pools of Liquid or Standing Water
	X	Odors
X		Other Conditions

Hazardous Substances/Petroleum Products in Connection with Assessment Site Use

B2E observed the use, storage or disposal of hazardous substances and petroleum products at the assessment site as summarized below.

HAZARDOUS SUBSTANCE / PETROLEUM PRODUCTS SUMMARY TABLE							
Type	Quantity (No./Size)	Container Type	Location	Hazardous Waste?	MSDS or Labels?	Container Condition	Evidence of Release?
Air Compressor Oil	One (1)	Retail	2501 Center Street	Yes	Yes	Fair	Yes – De Minimis



HAZARDOUS SUBSTANCE / PETROLEUM PRODUCTS SUMMARY TABLE							
Type	Quantity (No./Size)	Container Type	Location	Hazardous Waste?	MSDS or Labels?	Container Condition	Evidence of Release?
Tar	One (1)/55-gallon drum	Drum	2501 Center Street	Yes	Yes	Good	Yes – De Minimis
Paint	20+/5-gallon	Buckets	Basement of 2501 Center Street	Yes	Yes	Fair	Unknown (could not access)

Pools of Liquid or Standing Water

B2E observed several areas of pools of liquid and standing water on the interior of the 2501 Center Street portion of the assessment site. Most of the pools of liquid appear to be rainwater. However, some of the pools of liquid are unknown.

Drains or Sumps

B2E observed several floor drains on the interior of the 2501 Center Street building. All drains reportedly drain into the municipal sanitary sewer system. B2E observed some of the drains to be plugged and not working properly.

Stained Soil or Pavement

B2E observed several areas of staining on the interior of the pavement on the 2501 Center Street building. It is unknown was the staining is or what caused the staining.

Other Conditions

B2E observed several piles of miscellaneous debris at the 2501 Center Street Property and also the wooded areas to the north. Debris included matters, blankets, tires and metal scrap. Additionally, B2E observed a rail spur adjacent to the south of the assessment site.

5.4 Observations – Adjacent Properties

SITE RECONNAISSANCE ADJACENT PROPERTIES		
Yes	No	Observations
	X	Hazardous Substances in Connection with Property Use
	X	Petroleum Products in Connection with Property Use
	X	Aboveground or Underground Storage Tanks
	X	Unidentified Substance Containers
	X	Electrical and/or Mechanical Equipment Potentially Containing PCBs
	X	Interior Stains or Corrosion
	X	Drains or Sumps



	X	Wastewater Discharges
	X	Septic or Sewage Tanks
	X	Pits, Ponds or Lagoons
	X	Wells
	X	Stained Soil or Pavement
	X	Stressed Vegetation
	X	Pools of Liquid or Standing Water
	X	Odors
	X	Other Conditions

6.0 INTERVIEWS/QUESTIONNAIRES

Pursuant to ASTM Standard E 1527-13 § 10 and 11, B2E attempted to conduct interviews to obtain information about previous ownership and uses of the site that may be material to identifying recognized environmental conditions. Interview information is presented in Appendix E.

6.1 Owner(s) Interview/Questionnaire

B2E did not conduct interviews.

6.2 Site Manager Interview/Questionnaire

B2E did not conduct interviews.

6.3 Occupant(s) Interview/Questionnaire

B2E did not conduct interviews.

6.4 Interviews with Government Officials

B2E spoke with Ms. Rosemary Hatton of the Nebraska State Fire Marshall’s Office in regard to the assessment site property. Ms. Hatton provided B2E with multiple documents pertaining to the history of the assessment site that are discussed in previous sections of this report.

6.5 Interviews with Others

See Appendix E. – Environmental Questionnaire.

7.0 SUBSURFACE VAPOR MIGRATION

B2E conducted a limited screening for potential vapor encroachment conditions (VECs) that may affect the assessment site. The VEC screening focused on the current and historical usage of the assessment site and also utilized the aforementioned regulatory agency database report provided by EDR and an EDR Vapor Screening Tool (VST) Report to evaluate identified Chemicals of Concern (COCs), including petroleum hydrocarbons. To identify the area of concern (AOC) for contaminated sites with non-petroleum hydrocarbon COCs, B2E utilized the approximate minimum search distance defined by ASTM E 2600-10 of 1,760 feet (1/3 mile) from the assessment site boundary for COC-contaminated sites. For sites contaminated with petroleum hydrocarbon COCs, B2E utilized the AOC approximate minimum search distance of 528 feet (1/10 mile). The AOC was adjusted accordingly based on review of physical setting



characteristics, known release information, assessment site and land features, groundwater flow direction, and soil type, et al.

ASTM's Vapor Encroachment guidance indicates that when groundwater flow direction can be estimated or determined, the cross-gradient or down gradient radius distances can be significantly reduced. The EDR VST report calculates the reduced AOC distances when considering groundwater flow direction by utilizing the following default distances, which were determined using the Buonicore Methodology: (non-petroleum hydrocarbon COCs) 1,760 feet in the up gradient direction; 365 feet in the cross-gradient direction; and 100 feet in the down gradient direction and (petroleum hydrocarbon COCs) 528 feet in the up gradient direction; 165 feet in the cross-gradient direction if Light, Non-Aqueous Phase Liquid, (LNAPL i.e. floating product) is suspected; 95 feet in the cross-gradient direction if no LNAPL is suspected; 100 feet in the down gradient direction (LNAPL suspected); and 30 feet in the down gradient position (LNAPL not suspected).

The screening was further refined by evaluating the Critical Distance (CD) factor. The CD is the upper distance a vapor may migrate through soil in the vadose zone assuming the path of least resistance is directly from the closest boundary of the contaminated media (i.e., groundwater or soil) to the nearest assessment site boundary. For non-petroleum hydrocarbon COCs, the CD is 100 feet. For LNAPL petroleum hydrocarbon COCs, the CD is also 100 feet. For dissolved petroleum hydrocarbon COCs, the CD is 30 feet.

B2E reviewed potential sources of COCs from the facilities reported on the EDR Radius Map Report and VST report.

The following conditions were identified as VECs:

- The assessment site was identified as a cercal factory with a machine shop and grain bins from at least 1934 to 1969 (35-years). Additionally, the southern portion of the assessment site was identified as being portions of oil companies with large ASTs present from at least 1934 to 1999 (65-years).
- The adjoining property to the east was identified as various oil companies from at least 1934 to 1999 (65-years). This property contained multiple large ASTs throughout this time period.

Based on applicable AOC distances, assumed groundwater gradient, depth to groundwater, absence of reported releases, lack of registered hazardous waste generation sites, current remediation status/history of contaminated sites, preferential pathway, and physical setting information the remaining sites evaluated under the VST were ruled out.

8.0 CONCLUSIONS/RECOMMENDATIONS

B2E performed a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E 1527-13 of the site located at 2501 Center Street, 1710 S. 25th Avenue, 1706 S. 25th Avenue, 1729 S. 26th Street, 1733, S. 26th Street, 1737 S. 26th Street and 1739 S. 26th Street in Omaha, Nebraska. Any exceptions to, or deletions from, this practice are described in Section 9.0 – Deviations. B2E did identify evidence of *recognized environmental conditions* through a review of historical use information, environmental records review, interviews, and site reconnaissance.

B2E identified the following ***recognized environmental conditions*** through a review of historical use information, environmental records review, interviews, and site reconnaissance.

- The assessment site was identified as a cereal factory with a machine shop and grain bins from at least 1934 to 1969 (35-years). Additionally, the southern portion of the assessment site was identified as being portions of oil companies with large ASTs present from at least 1934 to 1999 (65-years). The presence of the historical uses of the assessment site represents a *recognized environmental condition* based on the known use of petroleum products and common use of petroleum products and hazardous substances in factory operations.
- The adjoining property to the east was identified as various oil companies from at least 1934 to 1999 (65-years). This property contained multiple large ASTs throughout this time period. The presence of the oil companies on the adjoining property to the east represents a *recognized environmental condition* to the assessment site.
- The assessment site is located within the Omaha Lead Superfund NPL area. Several of the assessment site parcels have a status of either test “high” qualifies for cleanup for not tested but does qualify for testing.
- The assessment site contained a 2,100-gallon diesel UST that was removed in 1990. At the time of removal, no confirmation soil samples were submitted to a laboratory for analysis.
- The adjacent property to the west (2623 Center Street) was identified as SHWS, Brownfields, US Brownfields & RCRA-Non Generator in the EDR Radius Map Report. This site operated as a drum cleaning facility until a fire destroyed it. It was noted that 165 drums and three (3) storage tanks were at the facility that contained solvents and chemical residues.
- The adjoining property to the east/south (1920 South 26th Street & 1946 South 26th Street) was identified as multiple LAST incidents and contained multiple ASTs. The status of some the LAST incidents is still open and pending work with the NDEE.

Based on information collected from the Phase I ESA, B2E offers the following recommendations for further action at this time:

- **If the client wishes to confirm or deny the presence of contamination in sub-surface soil, vapor and/or groundwater from historical assessment site and adjacent property uses a Phase II ESA could be performed.**



9.0 DEVIATIONS

Any deletions or deviations from the ASTM Practice E 1527-13 for this assessment are identified below:

- None identified.

10.0 OTHER ENVIRONMENTAL CONDITIONS (ASTM E1527-13 NON-SCOPE)

10.1 Asbestos-Containing Materials (ACM)

Consideration of ACM was not included in the scope of work for this ESA.

10.2 Radon

Radon is a naturally occurring colorless, odorless gas that is a by-product of the decay of radioactive materials potentially present in bedrock and soil. The EPA guidance action level for annual residential exposure to radon is 4.0 picoCuries per liter of air (pCi/L). The guidance action level is not a regulatory requirement for private owners of commercial real estate but is commonly used for comparison purposes to suggest whether further action at a building may be prudent.

B2Es review of published radon data indicates that the assessment site is located in U.S. EPA Radon Zone 1, an area having potential for high levels of radon gas. Federal Area Radon Information for zip code 68105 provided by EDR indicates that of two (2) homes tested, 50% were <4pCi/L and 50% were between 4-20 pCi/L. The average activity reported was 4.2 pCi/L.

10.3 Lead in Drinking Water

Consideration of lead in drinking water was not included in the scope of work for this ESA.

10.4 Lead-Based Paint (LBP)

Consideration of LBP on painted surfaces was not included in the scope of work for this ESA.

10.5 Mold Screening

Consideration of mold was not included in the scope of work for this ESA.

10.6 Additional User Requested Conditions

No additional User requested services were included in the scope of work for this ESA.

11.0 REFERENCES

B2E obtained the previous uses of the assessment site and adjoining properties identified in this assessment from standard historical sources specified in the ASTM practice. The published reference sources relied upon in preparing this Phase I Environmental Site Assessment are identified below:

ASTM International, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*, ASTM Designation E1527-13. November 2013.

Douglas County, Nebraska Assessor's website

Douglas-Omaha GIS Map

Environmental Data Resources, Inc., *The EDR Radius Map™ Report with GeoCheck®*, Inquiry Number 4970737.2s, dated August 17, 2021.



Environmental Data Resources, Inc., *Certified Sanborn® Map Report*, Inquiry Number 5512498.2s, dated August 19, 2021.

Environmental Data Resources, Inc., *The EDR Aerial Photo Decade Package*, Inquiry Number 5512498.8, dated August 19, 2021.

Environmental Data Resources, Inc., *The EDR-City Directory Abstract*, Inquiry Number 5512498.5, dated August 18, 2021.

Environmental Protection Agency (EPA) - File Review

Federal Emergency Management Agency (FEMA) Map Service Center website, <http://msc.fema.gov>.

Nebraska Department of Environmental Energy - File Review

U.S Fish and Wildlife Services, National Wetlands Inventory, 2005.

U.S. Geological Service website - Topographic Maps

12.0 QUALIFICATIONS

B2E declares that, to the best of our knowledge, we meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the assessment site. We have developed and performed all appropriate inquiries in general conformance with the standards and practices set forth in 40 CFR Part 312. Qualifications for key personnel involved in the preparation of this Phase I ESA are provided in Appendix G.



APPENDIX A
LEGAL DESCRIPTION





0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R2200220000

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
Great Feature → → → [Subdivision Sales Search](#)

Owner

BIG V RENTALS LLC

1920 DORCAS ST
 OMAHA NE 68108-0000

Property Information

Key Number:	0022 0000 22
Account Type:	Residential
Parcel Number:	2200220000
Parcel Address:	1739 S 26 ST OMAHA NE 68105-0000
Legal Description:	SCULLYS ADD LOT 15 BLOCK 18 N 1/2 25 X 127

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$7,100	\$0	\$7,100
2020	\$100	\$0	\$100
2019	\$100	\$0	\$100
2018	\$100	\$0	\$100
2017	\$100	\$0	\$100
2016	\$100	\$0	\$100

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.07	3175.0	0.0	127.0	25.0	

41°14'30.9\"N 95°57'01.0\"W
1739 S 26th St, Omaha, NE 68105 Directions
View larger map

Map labels include: True Pro Exteriors, Taqueria Chango, Drake-Williams Steel, Superior Lighting, Allied Oil & Supply, Inc, James F. Lynch Park, Omaha Quartermaster Depot Historic District, and various streets like Park Ave, Shirley St, Center St, Dorcas St, and S 24th St. Highways 75 and 480 are also visible.

To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R2200230000

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
Great Feature → → → [Subdivision Sales Search](#)

Owner

BIG V RENTALS LLC

1920 DORCAS ST
 OMAHA NE 68108-0000

Property Information

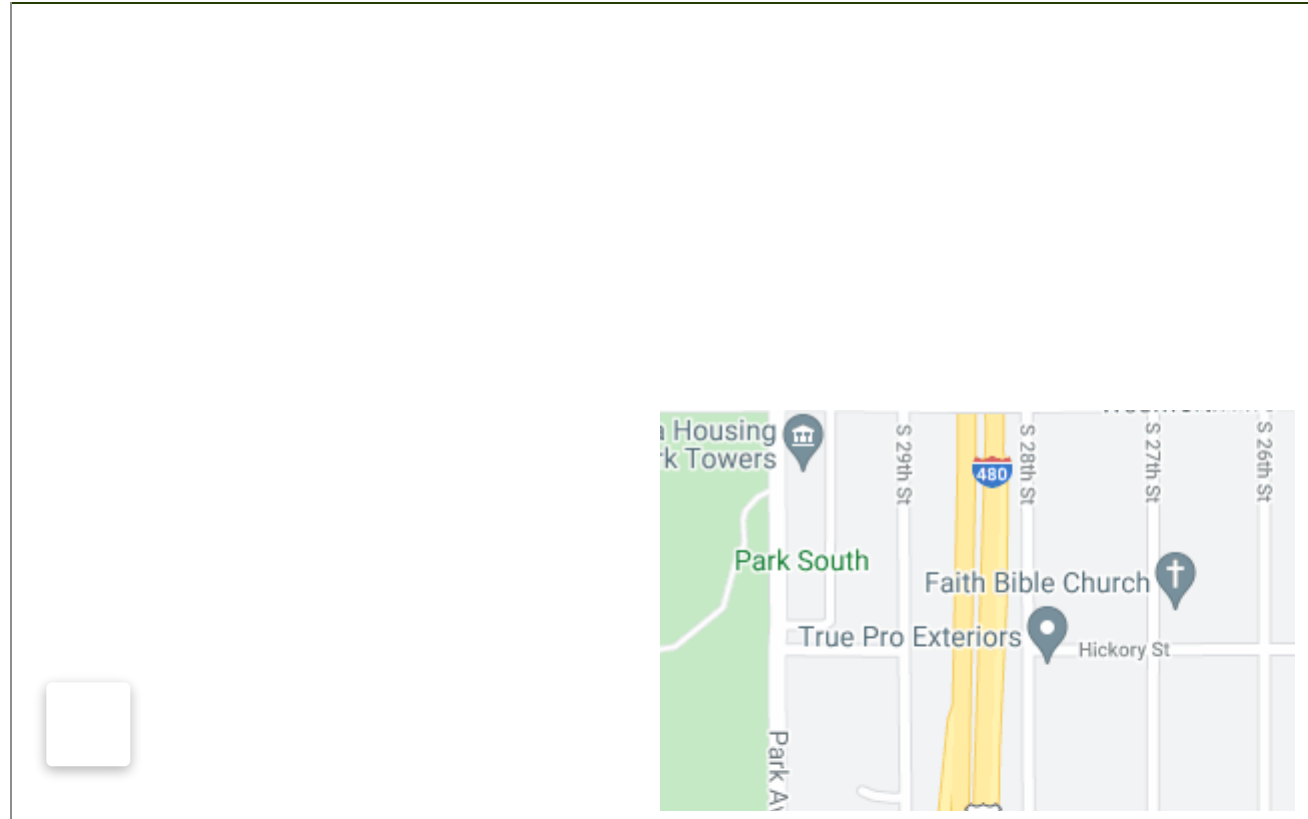
Key Number:	0023 0000 22
Account Type:	Residential
Parcel Number:	2200230000
Parcel Address:	1737 S 26 ST OMAHA NE 68105-0000
Legal Description:	SCULLYS ADD LOT 16 BLOCK 18 S 1/2 25 X 127

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$7,100	\$0	\$7,100
2020	\$100	\$0	\$100
2019	\$100	\$0	\$100
2018	\$100	\$0	\$100
2017	\$100	\$0	\$100
2016	\$100	\$0	\$100

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.07	3175.0	0.0	127.0	25.0	



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R2200240002

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
Great Feature → → → [Subdivision Sales Search](#)

Owner

BIG V RENTALS LLC

1920 DORCAS ST
 OMAHA NE 68108-0000

Property Information

Key Number:	0024 0002 22
Account Type:	Residential
Parcel Number:	2200240002
Parcel Address:	1733 S 26 ST OMAHA NE 68105-0000
Legal Description:	SCULLYS ADD LOT 17 BLOCK 18 N 1/2 LOT 16 & S 1/2 50 X 127

Value Information

	Land	Improvement	Total
2021	\$9,500	\$119,800	\$129,300
2020	\$4,900	\$82,500	\$87,400
2019	\$4,900	\$82,500	\$87,400
2018	\$4,900	\$123,500	\$128,400
2017	\$4,900	\$123,500	\$128,400
2016	\$4,900	\$123,500	\$128,400

[Show All Transactions](#)

Land Information

Acres	SF	Units	Depth	Width	Vacant
0.14	6350.0	0.0	127.0	50.0	

Improvement Information

Building 1



[CLICK TO ENLARGE IMAGE](#)

1733 S 26 ST
RANCH
 Bsmnt Block 8 ft 936.0 sf
 720 SF FIN BSMT



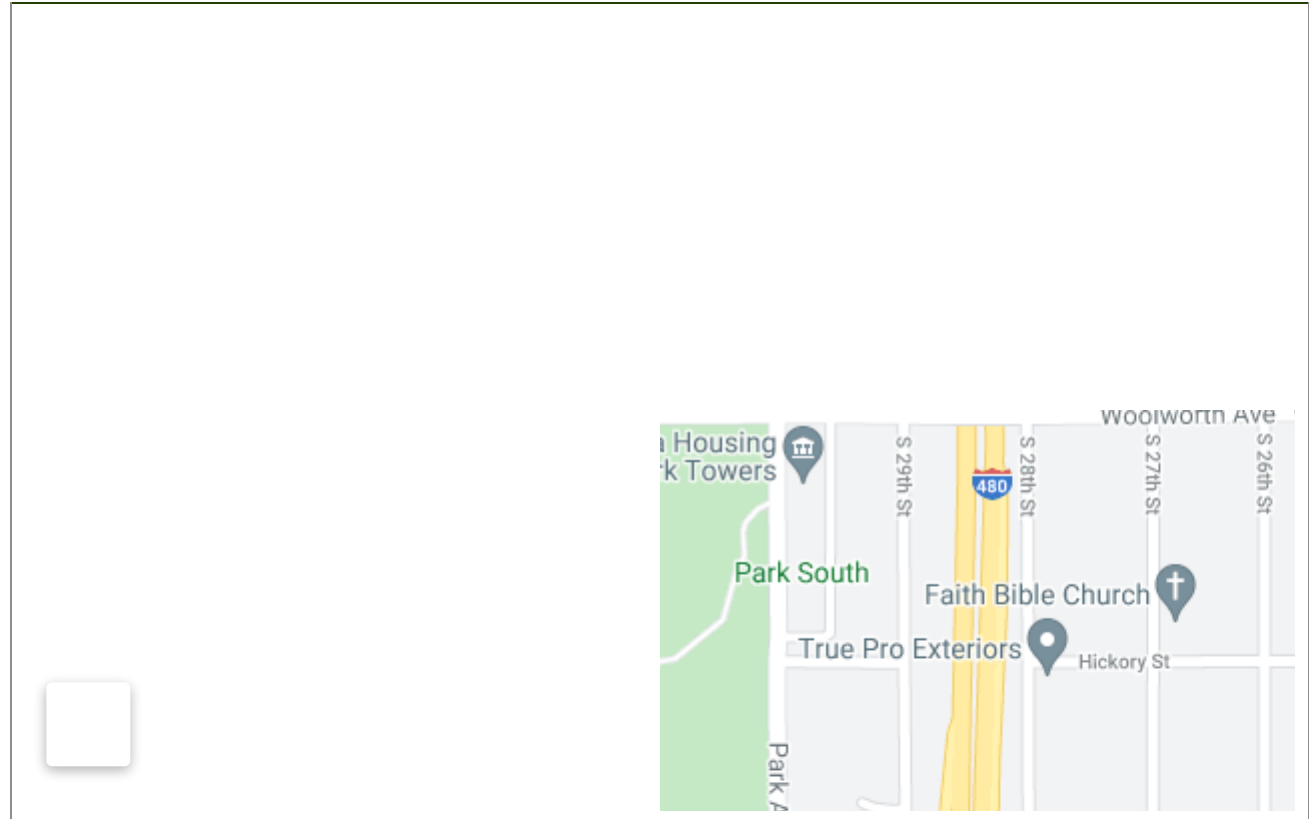
Sketch by Aesop Systems™

[CLICK TO ENLARGE IMAGE](#)

Square Footage:	936.0	Percent Complete:	100.0%
Perimeter	0.0	Quality:	Average
Unit Type:		Condition:	Average
Built As:	Ranch	Condo Square Footage:	0.0
HVAC:	Central Air to Air	Rooms:	5.0
Exterior:	Frame Vinyl	Units:	1.0
Interior:	Drywall	Baths:	2.0
Roof Cover:	Composition Shingle	Bedrooms:	3.0
Roof Type:	Gable	Stories:	1.0
Floorcover:	Allowance	Foundation:	Block
		Sprinkler Square Footage:	0.0

Year Built	Year Remodeled	Percent Remodeled	Adjusted Year Built	Physical Age
1967	2003	0%	1967	0

Detail Type	Detail Description	Units
Add On	Fence Chain Link	1.0
Appliance	Allowance	1.0
Basement	Bsmnt Block 8 ft	936.0
Basement	Finished	720.0
Fixture	Base Fixtures	1.0
Fixture	Bath Full	2.0
Garage	Detached	432.0
Porch	Slab w/Steps	25.0
Porch	Slab w/Steps	25.0



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R2200260000

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
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Owner

BIG V RENTALS LLC

1920 DORCAS ST
 OMAHA NE 68108-0000

Property Information

Key Number:	0026 0000 22
Account Type:	Residential
Parcel Number:	2200260000
Parcel Address:	1729 S 26 ST OMAHA NE 68105-0000
Legal Description:	SCULLYS ADD LOT 18 BLOCK 18 N 1/2 LT 17 & S 20 FT LT 18 45 X 127

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$9,100	\$3,000	\$12,100
2020	\$1,700	\$3,000	\$4,700
2019	\$1,700	\$3,000	\$4,700
2018	\$1,700	\$3,000	\$4,700
2017	\$1,700	\$3,000	\$4,700
2016	\$1,700	\$3,000	\$4,700

[Show All Transactions](#)

Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.13	5715.0	0.0	127.0	45.0	

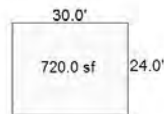
Improvement Information

Building 1



[CLICK TO ENLARGE IMAGE](#)

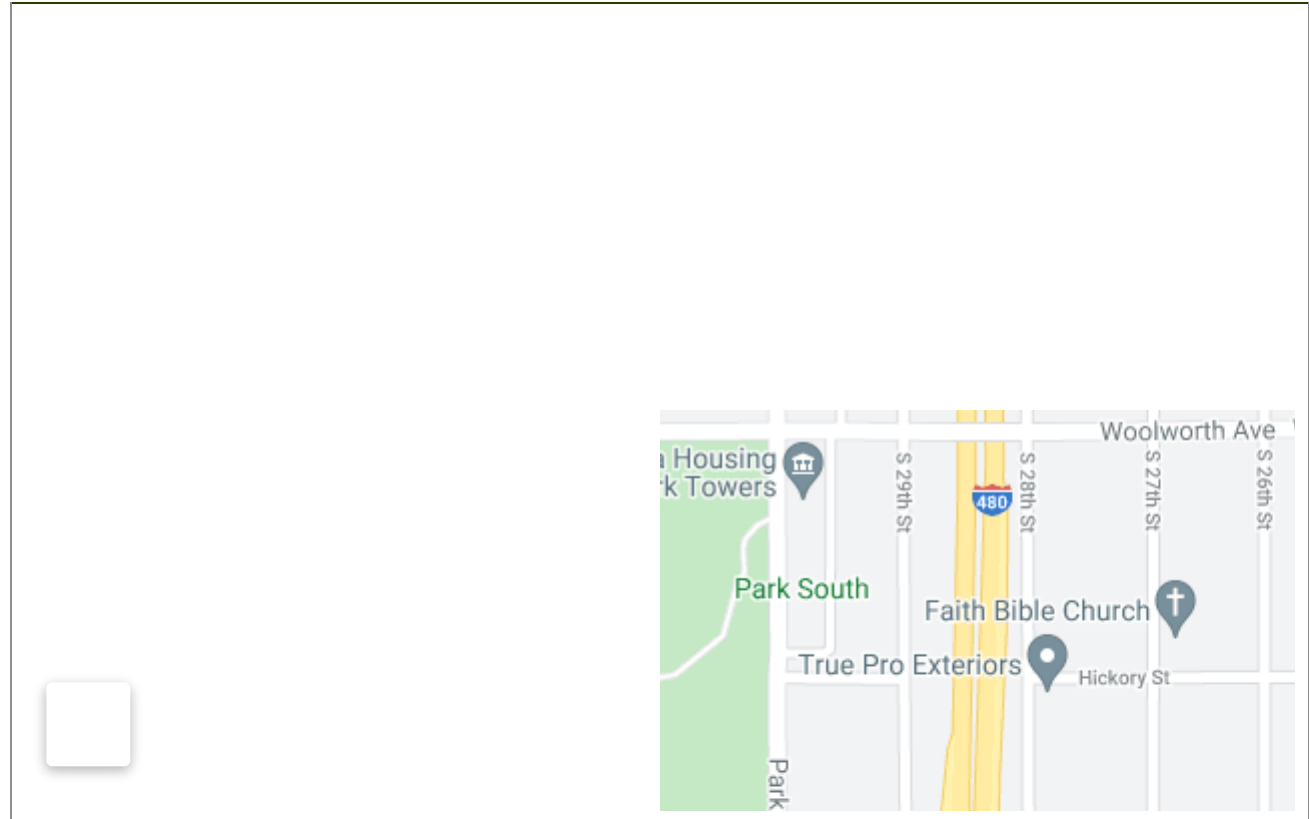
1729 S 26 ST
 DETACHED GARAGE
 HOUSE ON SEPARATE KEY NUMBER



Sketch by Ames Media™

[CLICK TO ENLARGE IMAGE](#)

Square Footage:	720.0	Percent Complete:	100.0%	
Perimeter	0.0	Quality:	Fair	
Unit Type:		Condition:	Average	
Built As:	Detached Garage	Condo Square Footage:	0.0	
HVAC:	None	Rooms:	0.0	
Exterior:	Frame Vinyl	Units:	0.0	
Interior:		Baths:	0.0	
Roof Cover:	Composition Shingle	Bedrooms:	0.0	
Roof Type:	Gable	Stories:	1.0	
Floorcover:		Foundation:	Block	
		Sprinkler Square Footage:	0.0	
Year Built	Year Remodeled	Percent Remodeled	Adjusted Year Built	Physical Age
1986	0	0%	1986	0



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 200 400 600ft
DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R0224550005

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
Great Feature → → → [Subdivision Sales Search](#)

Owner

ANDERSON VIRGIL D

 1920 DORCAS ST
 OMAHA NE 68108-0000
Property Information

Key Number:	2455 0005 02
Account Type:	Industrial
Parcel Number:	0224550005
Parcel Address:	
Legal Description:	LANDS SEC-TWN-RGE 28-15-13 -EX PT DESC QCDS BK 1874-422 & 423 & 1918-191- IREG TRACT W OF 26 ST & E OF 27 ST & KNOWN AS PARCEL 2 AS DESC IN WD 1558-190 NE 1/4 SE 1/4 1.12 AC

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$132,600	\$0	\$132,600
2020	\$25,800	\$0	\$25,800
2019	\$25,800	\$0	\$25,800
2018	\$25,800	\$0	\$25,800
2017	\$25,800	\$0	\$25,800
2016	\$25,800	\$0	\$25,800

Sales Information

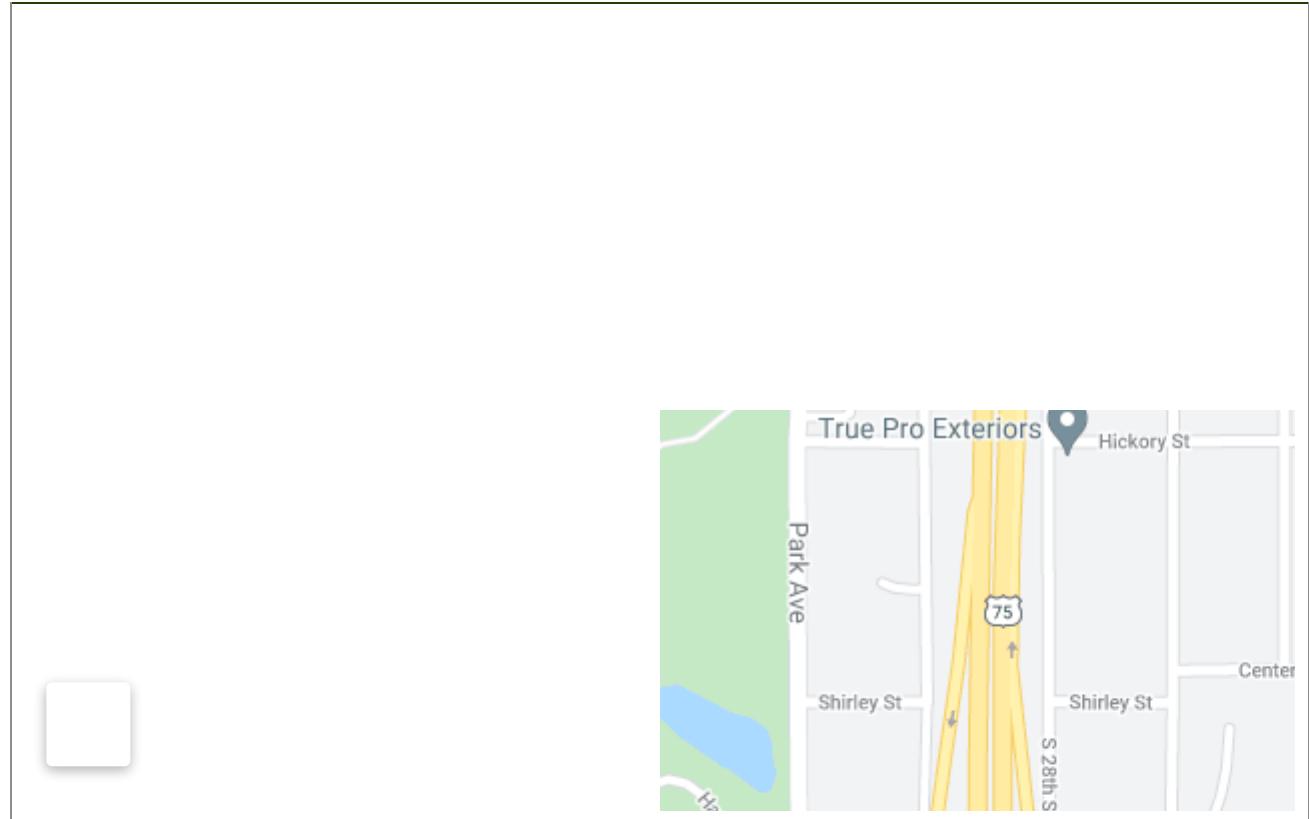
Sales Date:	2002-09-05			
Deed Type:	QC	Book:	2221	Page: 204
Price:	\$29,295			
Grantor:	UNION PACIFIC RAILROAD COMPANY			
Grantee:	VIRGIL D. ANDERSON			
Valid/Invalid:	Valid			
Exclusion Reason:				

Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
1.12	49118.0	0.0	0.0	0.0	

Land Attributes

<i>Attribute</i>	<i>Attribute Description</i>
Access	Access 15
Topography/Shape	Irregular -.40



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R0224220000

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
Great Feature → → → [Subdivision Sales Search](#)

Owner

ANDERSON VIRGIL D

 1920 DORCAS ST
 OMAHA NE 68108-0000
Property Information

Key Number:	2422 0000 02
Account Type:	Residential
Parcel Number:	0224220000
Parcel Address:	1706 S 25 AV OMAHA NE 68105-0000
Legal Description:	LANDS SEC-TWN-RGE 28-15-13 S 49.5 N 54.2 W 111 FT TAX LT 2 & S 49.5 N 184.2 E 16 FT TAX LT 3

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$9,500	\$0	\$9,500
2020	\$4,900	\$0	\$4,900
2019	\$4,900	\$0	\$4,900
2018	\$4,900	\$0	\$4,900
2017	\$4,900	\$0	\$4,900
2016	\$4,900	\$0	\$4,900

Sales Information

Sales Date:	2002-08-28			
Deed Type:	WD	Book:	2220	Page: 320
Price:	\$4,900			
Grantor:				
Grantee:				
Valid/Invalid:	Valid			
Exclusion Reason:				
Sales Date:	2002-03-15			
Deed Type:	SWD	Book:	2216	Page: 453
Price:	\$1,000			
Grantor:				
Grantee:				
Valid/Invalid:	Valid			
Exclusion Reason:				

Sales Date:	1991-09-30				
Deed Type:	D	Book:	1909	Page:	555
Price:	\$16,500				
Grantor:					
Grantee:					
Valid/Invalid:	Valid				
Exclusion Reason:					
Land Information					
Acres	SF	Units	Depth	Width	Vacant
0.14	6350.0	0.0	127.0	50.0	



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R0224240002

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
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Owner

ANDERSON VIRGIL D

1920 DORCAS ST
 OMAHA NE 68108-0000

Property Information

Key Number:	2424 0002 02
Account Type:	Residential
Parcel Number:	0224240002
Parcel Address:	1710 S 25 AV OMAHA NE 68105-0000
Legal Description:	LANDS SEC-TWN-RGE 28-15-13 N 312.8 S 362.8 FT TAX LOTS 2 & 3

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$20,500	\$0	\$20,500
2020	\$7,000	\$0	\$7,000
2019	\$7,000	\$0	\$7,000
2018	\$7,000	\$0	\$7,000
2017	\$7,000	\$0	\$7,000
2016	\$7,000	\$0	\$7,000

Sales Information

Sales Date:	1991-09-20				
Deed Type:	D	Book:	1916	Page:	036
Price:	\$30,900				
Grantor:					
Grantee:					
Valid/Invalid:	Valid				
Exclusion Reason:					

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.9	39624.0	0.0	127.0	312.0	



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R0224260004

Information is valid as of 2021-08-06

[Print Report](#)
[Treasurer's Tax Report](#)
Great Feature → → → [Subdivision Sales Search](#)

Owner

ANDERSON VIRGIL D

1920 DORCAS ST
 OMAHA NE 68108-0000

Property Information

Key Number:	2426 0004 02
Account Type:	Residential
Parcel Number:	0224260004
Parcel Address:	
Legal Description:	LANDS SEC-TWN-RGE 28-15-13 S 50 W 111 FT TX LT 2 & S 50 E 16 FT TX LT 3 SEC 28-15-13

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$9,500	\$0	\$9,500
2020	\$1,200	\$0	\$1,200
2019	\$1,200	\$0	\$1,200
2018	\$1,200	\$0	\$1,200
2017	\$1,200	\$0	\$1,200
2016	\$1,200	\$0	\$1,200

Sales Information

Sales Date:	2002-06-14				
Deed Type:	WD	Book:	2213	Page:	91
Price:	\$1,700				
Grantor:					
Grantee:					
Valid/Invalid:	Valid				
Exclusion Reason:					

Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
0.15	6350.0	0.0	127.0	50.0	



To interact more fully with Google Maps and Street View go to this link [Google](#).



0 100 200 300ft
DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Douglas County, Nebraska Property Record - R0224550003

Information is valid as of 2021-08-06

[Print Report](#)
[View Interactive GIS Map](#)
[Treasurer's Tax Report](#)
[Subdivision Sales Search](#)

Great Feature → → →

Owner

ANDERSON VIRGIL D

1920 DORCAS ST
OMAHA NE 68108-0000**Property Information**

Key Number:	2455 0003 02
Account Type:	Industrial
Parcel Number:	0224550003
Parcel Address:	2501 CENTER ST OMAHA NE 68105-0000
Legal Description:	LANDS SEC-TWN-RGE 28-15-13 -EX W 225 FT- PT VAC CENTER ST ADJ & SUB LTS 1 & 2 & 3 & 8 TAX LT 8 NE 1/4 SE 1/4

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2021	\$283,700	\$451,300	\$735,000
2020	\$25,000	\$710,000	\$735,000
2019	\$25,000	\$700,000	\$725,000
2018	\$25,000	\$700,000	\$725,000
2017	\$25,000	\$424,100	\$449,100
2016	\$25,000	\$133,500	\$158,500

[Show All Transactions](#)**Land Information**

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
2.4123	105079.0	0.0	0.0	0.0	

Land Attributes

<i>Attribute</i>	<i>Attribute Description</i>
Access	Access 15
Site/Size Adjustment	Size Adj. -40

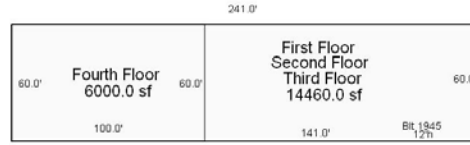
Improvement Information**Building 1**

--	--



[CLICK TO ENLARGE IMAGE](#)

STORAGE WAREHOUSE
2501 Center St.



Sketch by Apex Media™

[CLICK TO ENLARGE IMAGE](#)

Square Footage:	49380.0	Percent Complete:	100.0%
Perimeter	602.0	Quality:	Fair
Unit Type:		Condition:	Worn Out
Built As:	Storage Warehouse	Condo Square Footage:	0.0
HVAC:	Forced Air	Rooms:	0.0
Exterior:		Units:	0.0
Interior:		Baths:	0.0
Roof Cover:		Bedrooms:	0.0
Roof Type:	Flat	Stories:	4.0
Floorcover:		Foundation:	
		Sprinkler Square Footage:	0.0

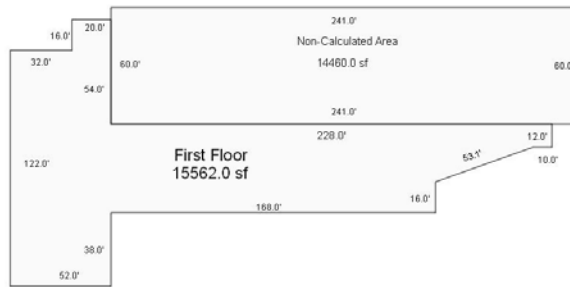
<i>Year Built</i>	<i>Year Remodeled</i>	<i>Percent Remodeled</i>	<i>Adjusted Year Built</i>	<i>Physical Age</i>
1945	0	0%	1945	0

Building 2



[CLICK TO ENLARGE IMAGE](#)

STORAGE WAREHOUSE
2501 Center St.



Sketch by Apex Media™

[CLICK TO ENLARGE IMAGE](#)

Square Footage:	15562.0	Percent Complete:	100.0%
Perimeter	821.0	Quality:	Fair
Unit Type:		Condition:	Worn Out
Built As:	Storage Warehouse	Condo Square Footage:	0.0
HVAC:	None	Rooms:	0.0
Exterior:		Units:	0.0
Interior:		Baths:	0.0

Roof Cover:		Bedrooms:	0.0
Roof Type:	Flat	Stories:	1.0
Floorcover:		Foundation:	
		Sprinkler Square Footage:	0.0

Year Built	Year Remodeled	Percent Remodeled	Adjusted Year Built	Physical Age
1970	0	0%	1970	0

Building 3



[CLICK TO ENLARGE IMAGE](#)

OFFICE
2501 Center St



First Floor
Second Floor
Third Floor
Fourth Floor
9321.0 sf

Office Building

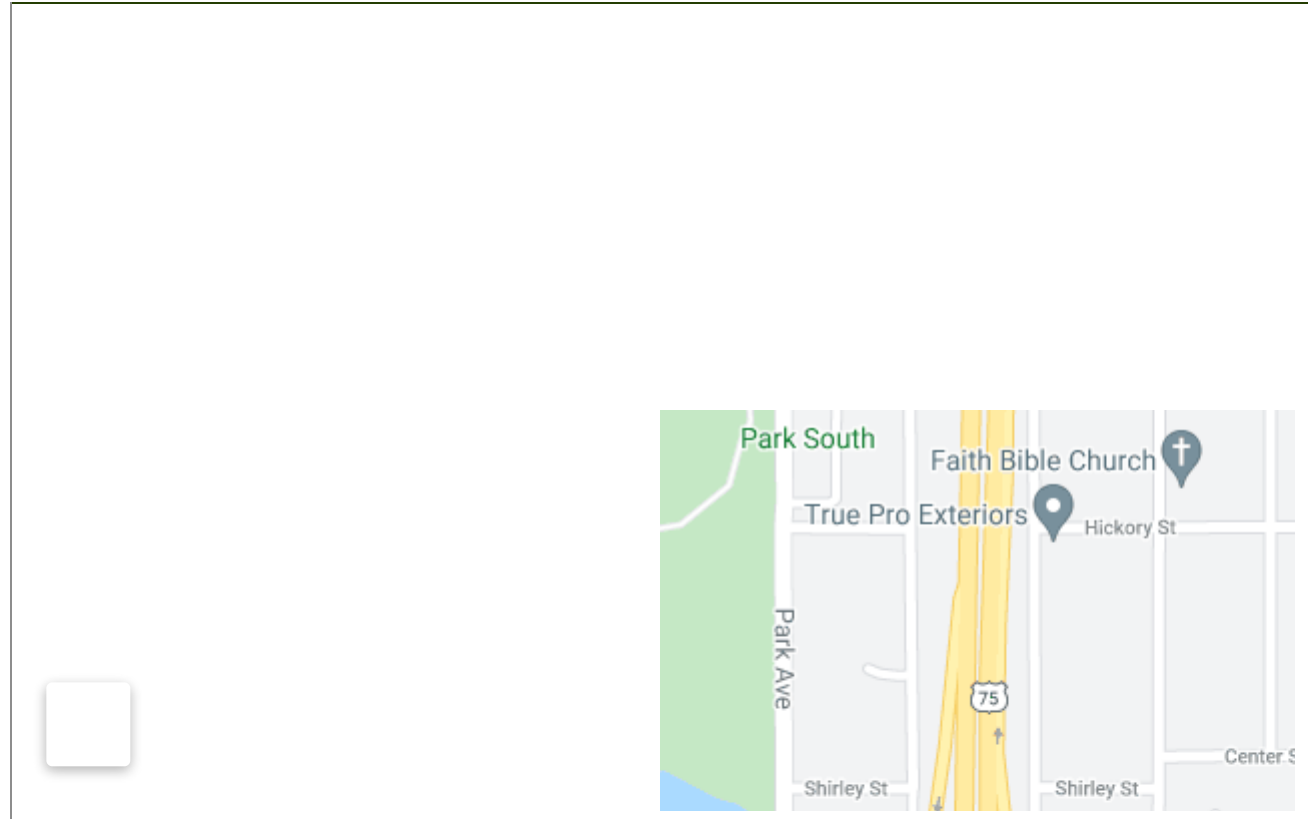
Fifth Floor
Sixth Floor
7020.0 sf
Seventh Floor
1950.0 sf

Sketch by Apex Media™

[CLICK TO ENLARGE IMAGE](#)

Square Footage:	53274.0	Percent Complete:	100.0%
Perimeter	556.0	Quality:	Fair
Unit Type:		Condition:	Poor
Built As:	Office Building	Condo Square Footage:	0.0
HVAC:	Warm and Cool Air Zone	Rooms:	0.0
Exterior:		Units:	0.0
Interior:		Baths:	0.0
Roof Cover:		Bedrooms:	0.0
Roof Type:	Flat	Stories:	7.0
Floorcover:		Foundation:	
		Sprinkler Square Footage:	0.0

Year Built	Year Remodeled	Percent Remodeled	Adjusted Year Built	Physical Age
1970	0	0%	1970	0



To interact more fully with Google Maps and Street View go to this link [Google](#). If you require a more exact property location, you may use the [Interactive GIS Maps](#) that are maintained by our office.

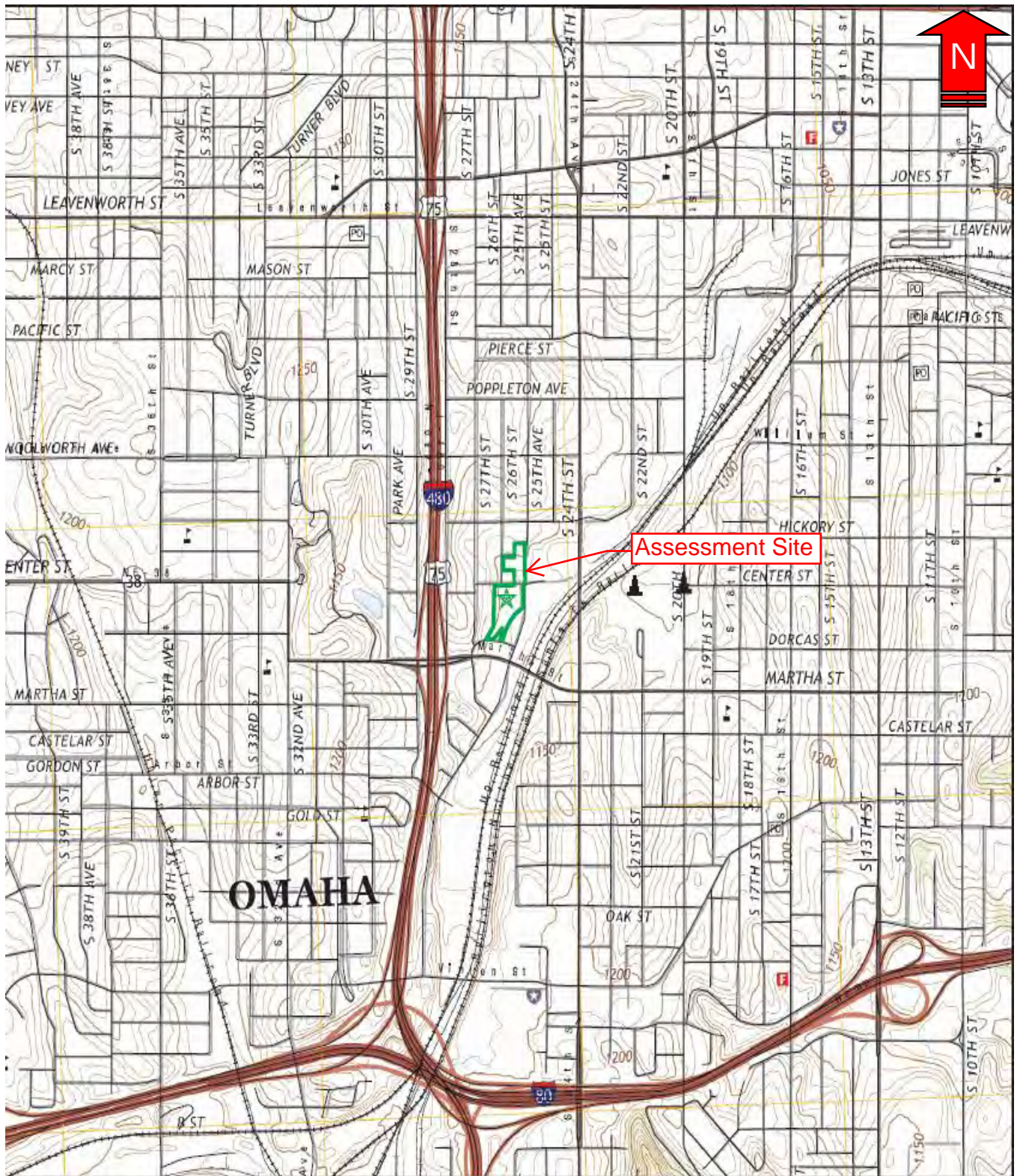
APPENDIX B

MAPS

1 - AREA LOCATION MAP (TOPOGRAPHIC MAP)

2 - SITE PLAN





Topographic Map
Figure 1

4503 S 90th Street
Omaha, NE 68127
(c) 402-330-0763



B2 ENVIRONMENTAL
B2Environmental.com

**Commercial/Vacant/Residential
Various
Omaha, Nebraska**

Job Number:	Date:	Initials:
10373.0039	09/07/21	BF



Site Plan
Figure 2

4503 S 90th Street
Omaha, NE 68127
(o) 402-330-0763



B2 ENVIRONMENTAL
B2Environmental.com

Commercial/Vacant/Residential
Various
Omaha, Nebraska

Job Number:	Date:	Initials:
10373.0039	09/07/21	BF

Appendix C

REGULATORY SEARCH



Multiple Vacant Properties

2501 Center Street
Omaha, NE 68105

Inquiry Number: 6623280.2s
August 17, 2021

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Detail Map	3
Map Findings Summary	4
Map Findings	8
Orphan Summary	347
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Physical Setting Source Addendum	A-1
Physical Setting Source Summary	A-2
Physical Setting SSURGO Soil Map	A-5
Physical Setting Source Map	A-11
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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

2501 CENTER STREET
OMAHA, NE 68105

COORDINATES

Latitude (North): 41.2409900 - 41° 14' 27.56"
Longitude (West): 95.9503410 - 95° 57' 1.22"
Universal Transverse Mercator: Zone 15
UTM X (Meters): 252756.6
UTM Y (Meters): 4569496.0
Elevation: 1095 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 6713756 OMAHA SOUTH, NE
Version Date: 2014

North Map: 6713754 OMAHA NORTH, NE
Version Date: 2014

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140921, 20150825
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
2501 CENTER STREET
OMAHA, NE 68105

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	SALVATION ARMY ADULT	2501 CENTER ST	NE LUST, NE UST, NE BROWNFIELDS, FINDS		TP
A2	SALVATION ARMY	2501 CENTER ST	NE RGA LUST		TP
Reg 3	OMAHA LEAD RESIDENCE	INTERSECTION I480 & 1710 S. 25TH AVENUE	NPL, SEMS, US ENG CONTROLS, US INST CONTROLS, ROD	Same	1 ft.
B4	MILDER OIL CO	1920 S 26TH	NE LAST	Lower	90, 0.017, SSE
C5	FORMER AGGREGATE PRO	2623 CENTER ST.	US BROWNFIELDS, FINDS	Higher	105, 0.020, WNW
C6	UTILITIES SERVICES G	2623 CENTER ST	NE SHWS, NE BROWNFIELDS	Higher	105, 0.020, WNW
C7	DRUM INDUSTRIES	2623 CENTER ST	SEMS-ARCHIVE, RCRA NonGen / NLR	Higher	105, 0.020, WNW
B8	MILDER OIL CO	1940 SOUTH 26TH STRE	RCRA NonGen / NLR, ICIS, FINDS, ECHO	Lower	110, 0.021, SSE
B9	FORMER MILDER OIL	1946 S 26TH ST	NE LAST	Lower	111, 0.021, SSE
B10	MILDER OIL CO	26TH & DORCAS	NE LAST	Lower	170, 0.032, South
B11	MILDER OIL	26TH & DORCAS	NE LAST	Lower	170, 0.032, South
B12	RED GIANT	26TH & DORCAS	NE LAST	Lower	170, 0.032, South
B13	MILDER OIL COMPANY	26TH & DORCAS ST	NE AST	Lower	170, 0.032, South
B14	MILDER OIL CO	1941 S 26TH ST	NE BROWNFIELDS, NE SPILLS, NE NPDES	Lower	213, 0.040, SSE
B15	RROADLANDS INC	1921 S 26TH ST	NE BROWNFIELDS	Lower	225, 0.043, SE
B16	WAREHOUSES	1921 SOUTH 26TH STRE	NE BROWNFIELDS, NE ASBESTOS	Lower	225, 0.043, SE
B17	CAN PAC RECYCLING, I	2215 SOUTH 26TH STRE	NE SWRCY	Lower	226, 0.043, SSE
D18	PAXTON MITCHELL CO	2614 MARTHA ST	NE UST	Higher	254, 0.048, SSW
D19	GREDE OMAHA LLC - FO	2614 MARTHA STREET	CORRACTS, RCRA NonGen / NLR, 2020 COR ACTION, ICIS	Higher	254, 0.048, SSW
D20	PAXTON-MITCHELL COMP	2614 MARTHA ST	NE LUST, NE TIER 2	Higher	254, 0.048, SSW
21	OAKCREEK PAINTING IN	2711 SHIRLEY	RCRA NonGen / NLR	Higher	349, 0.066, West
E22	MIDLANDS INTERNATION	2121 SOUTH 24TH	RCRA-SQG	Higher	810, 0.153, ESE
E23	BROWNING FERRIS IND.	2121 SOUTH 24TH STRE	NE LUST	Higher	810, 0.153, ESE
E24	BROWNING FERRIS IND	2121 S 24TH ST	NE UST	Higher	810, 0.153, ESE
F25	KITTY CLOVER	2200 S 24TH ST	NE LUST, NE UST, NE SPILLS, NE AIRS	Higher	831, 0.157, SE
F26	ALLIED OIL AND SUPPL	2209 S 24TH STREET	RCRA NonGen / NLR	Higher	958, 0.181, ESE
F27	ALLIED OIL & SUPPLY	2209 S 24TH ST	NE UST	Higher	958, 0.181, ESE
F28	CONRAD HANSON	2209 S 24TH	NE LUST	Higher	958, 0.181, ESE
29	DRAKE-WILLIAMS STEEL	2301 HICKORY ST	RCRA-VSQG	Lower	983, 0.186, NE
G30	RESIDENCE	1523 SOUTH 24TH STRE	NE LUST, NE ASBESTOS	Higher	1099, 0.208, NE
G31	MAINTENANCE FACILITY	1523 S 24 ST	NE LUST	Higher	1099, 0.208, NE
G32	CENTRAL MAINTENANCE	1523 S 24TH ST	NE UST	Higher	1099, 0.208, NE
G33	CITY OF OMAHA BUILDI	1523 S 24TH ST	RCRA-VSQG	Higher	1099, 0.208, NE
H34	GIBSON PETROLEUM	2351 SOUTH 27TH AVEN	NE LUST	Higher	1112, 0.211, South
H35	GIBSON IND INC	2351 S 27TH AVE	NE UST	Higher	1112, 0.211, South
36	BUCKYS EXPRESS #24	2223 S 24TH ST	NE LUST, NE UST, NE HIST UST	Higher	1140, 0.216, SE
I37	ANDERSEN FIRE EQUIP	2316 S 24TH ST	NE UST	Higher	1266, 0.240, SSE
I38	ANDERSON FIRE EQUIPM	2316 S 24TH	NE LUST	Higher	1266, 0.240, SSE

MAPPED SITES SUMMARY

Target Property Address:
2501 CENTER STREET
OMAHA, NE 68105

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
39	OMAHA GAS CO	S 20TH STREET	EDR MGP	Lower	1378, 0.261, East
40	ALLIED CONSTRUCTION	2209 S 21ST ST	NE LUST	Higher	1607, 0.304, ESE
J41	ABEESHA INC	2430 S 24TH ST	NE LUST, NE UST, NE HIST UST	Higher	1726, 0.327, SSE
J42	CORNER FOOD MART	2430 S 24 ST	NE LUST	Higher	1726, 0.327, SSE
43	SAINT ANN PARISH	2247 POPPLETON AVENU	NE LUST, NE ASBESTOS	Higher	1749, 0.331, NNE
K44	MIDTOWN GAS	1222 S 24TH ST	NE LUST, NE UST, NE HIST UST	Higher	1801, 0.341, NNE
L45	TERRY FROST LEASING	1349 PARK AVE	NE LUST	Higher	1819, 0.345, NW
46	OMAHA USARC	2101 WOOLWORTH AVE	NE SHWS, NE LUST, NE NPDES	Lower	1820, 0.345, NE
L47	EARL TAYLOR GARAGE	1331 PARK AVE	NE LUST, NE NPDES	Higher	1885, 0.357, NW
M48	ANDERSON EXCAVATING	1824 S 20TH ST	NE SHWS, NE UST, NE BROWNFIELDS, NE ASBESTOS, NE...	Lower	1932, 0.366, East
M49	ANDERSON EXCAVATING	1824 SOUTH 20TH STRE	SEMS-ARCHIVE, NE LUST, RCRA NonGen / NLR, ICIS, US...	Lower	1932, 0.366, East
M50	ANDERSON EXCAVATING	1824 S. 20TH	IA SWF/LF	Lower	1932, 0.366, East
M51	ANDERSON EXCAVATING	1824 S 20TH ST	IA SWF/LF	Lower	1932, 0.366, East
L52	COMMONGOOD RECYCLING	1340 PARK AVENUE	NE SWRCY	Higher	1933, 0.366, NW
L53	DON SHAFER DISPLAY	1325 PARK AVE	NE SHWS	Higher	1946, 0.369, NW
L54	SHAFER DISPLAYS INC	1325 PARK AVE	SEMS-ARCHIVE, RCRA NonGen / NLR	Higher	1946, 0.369, NW
K55	ANNA ROTELLA BAKERY	1202 S 24TH	NE LUST	Higher	1960, 0.371, NNE
56	NOX-CRETE MANUFACTUR	1444 S 20TH ST	NE BROWNFIELDS, NE AIRS, NE NPDES, NE TIER 2	Lower	1973, 0.374, ENE
M57	N L INDUSTRIES, INC	20TH & CENTER	SEMS, ICIS, LEAD SMELTERS, FINDS, ECHO	Lower	1998, 0.378, East
M58	20TH & CENTER FMGP (20TH AND CENTER STRE	NE INST CONTROL	Lower	1998, 0.378, East
M59	OMAHA GAS CO	20TH & CENTER ST	SEMS-ARCHIVE	Lower	1998, 0.378, East
M60	OMAHA FMGP SITE	20TH AND CENTER STRE	EDR MGP	Lower	1998, 0.378, East
M61	SHARED SERVICE SYSTE	1725 S 20TH ST	NE LUST, NE UST, NE HIST UST, NE SPILLS	Lower	2064, 0.391, ENE
62	FORMER OMAHA FMGP	INTERSECTION OF 20TH	SEMS-ARCHIVE	Higher	2078, 0.394, ESE
N63	HERRS GAS & SHOP	2302 S 20TH ST	NE LUST	Higher	2212, 0.419, ESE
N64	CONVENIENT WORLD	2302 S 20 ST	NE LUST, NE HIST UST	Higher	2212, 0.419, ESE
65	BUTERA & SON SERVICE	1102 SOUTH 24TH STRE	NE LUST	Higher	2308, 0.437, NNE
66	PLAS-TECH INC.	2007 POPPLETON AVE.	NE LUST	Lower	2379, 0.451, NE
67	OUR LADY OF LOURDES	2124 S 32ND AVE	NE LUST, NE ASBESTOS	Higher	2521, 0.477, WSW
68	SCOULAR ELEVATOR	2727 S 28 AVE	NE BROWNFIELDS	Higher	2576, 0.488, SSW
69	DON BLAZEK MOTORS IN	1020 S 20TH ST	NE SHWS, FINDS	Lower	3155, 0.598, NE
70	OMAHA SHOT & LEAD WO	1709 MASON ST	NE SHWS	Lower	3844, 0.728, NE
71	EGGERSS O'FLYNG BUIL	801 S 15TH ST	NE SHWS	Lower	5110, 0.968, NE

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report:

Site	Database(s)	EPA ID
SALVATION ARMY ADULT 2501 CENTER ST OMAHA, NE 68105	NE LUST File Number: 061290-99-0003 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	N/A
	NE UST Facility ID: 7415	
	NE BROWNFIELDS Facility Id: 21563	
	FINDS Registry ID:: 110010163474	
SALVATION ARMY 2501 CENTER ST OMAHA, NE	NE RGA LUST Facility ID: 061290-99-0003 Facility ID: 061290-AP-0003	N/A

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

EXECUTIVE SUMMARY

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System

Federal ERNS list

ERNS..... Emergency Response Notification System

State and tribal landfill and/or solid waste disposal site lists

NE SWF/LF..... Licensed Landfill List

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing

INDIAN UST..... Underground Storage Tanks on Indian Land

State and tribal voluntary cleanup sites

NE VCP..... RAPMA Sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

ODI..... Open Dump Inventory

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations

IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register

US CDL..... National Clandestine Laboratory Register

Local Lists of Registered Storage Tanks

NE HIST AST..... Aboveground Storage Tank Database Listing

Local Land Records

LIENS 2..... CERCLA Lien Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System

EXECUTIVE SUMMARY

NE SPILLS 90..... SPILLS 90 data from FirstSearch
NE SPILLS 80..... SPILLS 80 data from FirstSearch

Other Ascertainable Records

FUDS..... Formerly Used Defense Sites
DOD..... Department of Defense Sites
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR..... Financial Assurance Information
EPA WATCH LIST..... EPA WATCH LIST
TSCA..... Toxic Substances Control Act
TRIS..... Toxic Chemical Release Inventory System
SSTS..... Section 7 Tracking Systems
RMP..... Risk Management Plans
RAATS..... RCRA Administrative Action Tracking System
PADS..... PCB Activity Database System
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS..... Material Licensing Tracking System
COAL ASH DOE..... Steam-Electric Plant Operation Data
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER..... PCB Transformer Registration Database
RADINFO..... Radiation Information Database
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS..... Incident and Accident Data
CONSENT..... Superfund (CERCLA) Consent Decrees
INDIAN RESERV..... Indian Reservations
FUSRAP..... Formerly Utilized Sites Remedial Action Program
UMTRA..... Uranium Mill Tailings Sites
US MINES..... Mines Master Index File
ABANDONED MINES..... Abandoned Mines
DOCKET HWC..... Hazardous Waste Compliance Docket Listing
UXO..... Unexploded Ordnance Sites
FUELS PROGRAM..... EPA Fuels Program Registered Listing
NE DRYCLEANERS..... Drycleaner Facility Listing
NE Financial Assurance..... Financial Assurance Information Listing
NE UIC..... Underground Injection Control Database
MINES MRDS..... Mineral Resources Data System

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR Hist Auto..... EDR Exclusive Historical Auto Stations
EDR Hist Cleaner..... EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

NE RGA HWS..... Recovered Government Archive State Hazardous Waste Facilities List

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

EXECUTIVE SUMMARY

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: Also known as Superfund, the National Priority List database is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund program. The source of this database is the U.S. EPA.

A review of the NPL list, as provided by EDR, and dated 04/27/2021 has revealed that there is 1 NPL site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>OMAHA LEAD</i> Cerclis ID:: 703481 EPA Id: NESFN0703481	<i>INTERSECTION I480 &</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>0</i>	<i>10</i>

Federal CERCLIS list

SEMS: SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly know as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the SEMS list, as provided by EDR, and dated 04/27/2021 has revealed that there are 2 SEMS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>OMAHA LEAD</i> Site ID: 0703481 EPA Id: NESFN0703481	<i>INTERSECTION I480 &</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>0</i>	<i>10</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>N L INDUSTRIES, INC</i> Site ID: 0704908 EPA Id: NEN000704908	<i>20TH & CENTER</i>	<i>E 1/4 - 1/2 (0.378 mi.)</i>	<i>M57</i>	<i>333</i>

EXECUTIVE SUMMARY

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

A review of the SEMS-ARCHIVE list, as provided by EDR, and dated 04/27/2021 has revealed that there are 5 SEMS-ARCHIVE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DRUM INDUSTRIES Site ID: 0702053 EPA Id: NED981707730	2623 CENTER ST	WNW 0 - 1/8 (0.020 mi.)	C7	36
SHAFER DISPLAYS INC Site ID: 0701891 EPA Id: NED035144526	1325 PARK AVE	NW 1/4 - 1/2 (0.369 mi.)	L54	123
FORMER OMAHA FMGP	INTERSECTION OF 20TH	ESE 1/4 - 1/2 (0.394 mi.)	62	340
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ANDERSON EXCAVATING Site ID: 0701871 EPA Id: NED007292568	1824 SOUTH 20TH STRE	E 1/4 - 1/2 (0.366 mi.)	M49	112
OMAHA GAS CO Site ID: 0700016 EPA Id: NED986367530	20TH & CENTER ST	E 1/4 - 1/2 (0.378 mi.)	M59	336

Federal RCRA CORRACTS facilities list

CORRACTS: CORRACTS is a list of handlers with RCRA Corrective Action Activity. This report shows which nationally-defined corrective action core events have occurred for every handler that has had corrective action activity.

A review of the CORRACTS list, as provided by EDR, and dated 03/22/2021 has revealed that there is 1 CORRACTS site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREDE OMAHA LLC - FO EPA ID:: NER000000372	2614 MARTHA STREET	SSW 0 - 1/8 (0.048 mi.)	D19	55

EXECUTIVE SUMMARY

Federal RCRA generators list

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 03/22/2021 has revealed that there is 1 RCRA-SQG site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MIDLANDS INTERNATION EPA ID:: NER000002980	2121 SOUTH 24TH	ESE 1/8 - 1/4 (0.153 mi.)	E22	71

RCRA-VSQQ: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-VSQQ list, as provided by EDR, and dated 03/22/2021 has revealed that there are 2 RCRA-VSQQ sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF OMAHA BUILDI EPA ID:: NE0000384701	1523 S 24TH ST	NE 1/8 - 1/4 (0.208 mi.)	G33	93

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DRAKE-WILLIAMS STEEL EPA ID:: NER000508606	2301 HICKORY ST	NE 1/8 - 1/4 (0.186 mi.)	29	83

Federal institutional controls / engineering controls registries

US ENG CONTROLS: A listing of sites with engineering controls in place.

A review of the US ENG CONTROLS list, as provided by EDR, and dated 05/17/2021 has revealed that there is 1 US ENG CONTROLS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA LEAD EPA ID:: NESFN0703481 EPA ID:: NESFN0703481	INTERSECTION I480 &	0 - 1/8 (0.000 mi.)	0	10

EXECUTIVE SUMMARY

US INST CONTROLS: A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

A review of the US INST CONTROLS list, as provided by EDR, and dated 05/17/2021 has revealed that there is 1 US INST CONTROLS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA LEAD EPA ID:: NESFN0703481	INTERSECTION I480 &	0 - 1/8 (0.000 mi.)	0	10

State- and tribal - equivalent CERCLIS

NE SHWS: The Nebraska Department of Environmental Quality is providing this information from its own database. The data, although not verified to be the most current or accurate for any specific site, is generally based on the contents of the physical documents in the files. You may contact the Records Management Unit at (402) 471-3557 to make arrangements to view or to get a photocopy of the physical file.

A review of the NE SHWS list, as provided by EDR, and dated 03/15/2021 has revealed that there are 7 NE SHWS sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
UTILITIES SERVICES G DEQ Id: 64016	2623 CENTER ST	WNW 0 - 1/8 (0.020 mi.)	C6	35
DON SHAFER DISPLAY DEQ Id: 11172	1325 PARK AVE	NW 1/4 - 1/2 (0.369 mi.)	L53	123

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA USARC DEQ Id: 61586	2101 WOOLWORTH AVE	NE 1/4 - 1/2 (0.345 mi.)	46	109
ANDERSON EXCAVATING DEQ Id: 49531	1824 S 20TH ST	E 1/4 - 1/2 (0.366 mi.)	M48	110
DON BLAZEK MOTORS IN DEQ Id: 11602	1020 S 20TH ST	NE 1/2 - 1 (0.598 mi.)	69	346
OMAHA SHOT & LEAD WO DEQ Id: 85700	1709 MASON ST	NE 1/2 - 1 (0.728 mi.)	70	346
EGGERSS O'FLYNG BUIL DEQ Id: 81196	801 S 15TH ST	NE 1/2 - 1 (0.968 mi.)	71	346

State and tribal landfill and/or solid waste disposal site lists

IA SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the Department of Natural Resources' Permitted Solid Waste Management Facilities list.

A review of the IA SWF/LF list, as provided by EDR, and dated 03/02/2021 has revealed that there are

EXECUTIVE SUMMARY

2 IA SWF/LF sites within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ANDERSON EXCAVATING Facility Id: 78-SDP-24-05 Permit Stage: Denied	1824 S. 20TH	E 1/4 - 1/2 (0.366 mi.)	M50	122
ANDERSON EXCAVATING Facility Id: 78-SDP-25-05 Permit Stage: Denied	1824 S 20TH ST	E 1/4 - 1/2 (0.366 mi.)	M51	122

State and tribal leaking storage tank lists

NE LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Control's Spill Tracking Reports.

A review of the NE LUST list, as provided by EDR, and dated 04/07/2021 has revealed that there are 25 NE LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PAXTON-MITCHELL COMP File Number: 12078-DBH-1530 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	2614 MARTHA ST	SSW 0 - 1/8 (0.048 mi.)	D20	66
BROWNING FERRIS IND. File Number: 012990-99-0007 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	2121 SOUTH 24TH STRE	ESE 1/8 - 1/4 (0.153 mi.)	E23	75
KITTY CLOVER File Number: 040788-TH-1105 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	2200 S 24TH ST	SE 1/8 - 1/4 (0.157 mi.)	F25	76
CONRAD HANSON File Number: 110689-99-0004 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	2209 S 24TH	ESE 1/8 - 1/4 (0.181 mi.)	F28	83
RESIDENCE File Number: 112487-TH-1200 File Number: 082197-NM-0800 File Number: 073096-GW-0845 File Number: 121991-CT-0800 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	1523 SOUTH 24TH STRE	NE 1/8 - 1/4 (0.208 mi.)	G30	87
MAINTENANCE FACILITY File Number: 03060-JHB-1430 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	1523 S 24 ST	NE 1/8 - 1/4 (0.208 mi.)	G31	92
GIBSON PETROLEUM File Number: 043090-99-0021 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	2351 SOUTH 27TH AVEN	S 1/8 - 1/4 (0.211 mi.)	H34	96
BUCKYS EXPRESS #24 File Number: 071597-GW-1410 File Number: 013092-PH-1130 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	2223 S 24TH ST	SE 1/8 - 1/4 (0.216 mi.)	36	97
ANDERSON FIRE EQUIPM	2316 S 24TH	SSE 1/8 - 1/4 (0.240 mi.)	I38	100

EXECUTIVE SUMMARY

File Number: 040788-TH-1045				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
ALLIED CONSTRUCTION	2209 S 21ST ST	ESE 1/4 - 1/2 (0.304 mi.)	40	101
File Number: 051998-GW-1017				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
ABEESHA INC	2430 S 24TH ST	SSE 1/4 - 1/2 (0.327 mi.)	J41	102
File Number: 040700-99-0000				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
CORNER FOOD MART	2430 S 24 ST	SSE 1/4 - 1/2 (0.327 mi.)	J42	104
File Number: 12119-DBH-1500				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
SAINT ANN PARISH	2247 POPPLETON AVENU	NNE 1/4 - 1/2 (0.331 mi.)	43	104
File Number: 071890-99-0006				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
MIDTOWN GAS	1222 S 24TH ST	NNE 1/4 - 1/2 (0.341 mi.)	K44	106
File Number: 071693-NM-1015				
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK				
TERRY FROST LEASING	1349 PARK AVE	NW 1/4 - 1/2 (0.345 mi.)	L45	108
File Number: 111989-TH-0710				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
EARL TAYLOR GARAGE	1331 PARK AVE	NW 1/4 - 1/2 (0.357 mi.)	L47	109
File Number: AP3180				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
ANNA ROTELLA BAKERY	1202 S 24TH	NNE 1/4 - 1/2 (0.371 mi.)	K55	127
File Number: 060391-CT-0600				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
HERRS GAS & SHOP	2302 S 20TH ST	ESE 1/4 - 1/2 (0.419 mi.)	N63	342
File Number: AP7771				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
CONVENIENT WORLD	2302 S 20 ST	ESE 1/4 - 1/2 (0.419 mi.)	N64	342
File Number: 11127-DBH-1500				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
BUTERA & SON SERVICE	1102 SOUTH 24TH STRE	NNE 1/4 - 1/2 (0.437 mi.)	65	343
File Number: 06290-RJF-0900				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
OUR LADY OF LOURDES	2124 S 32ND AVE	WSW 1/4 - 1/2 (0.477 mi.)	67	344
File Number: 072103-TH-0700				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
Lower Elevation	Address	Direction / Distance	Map ID	Page
OMAHA USARC	2101 WOOLWORTH AVE	NE 1/4 - 1/2 (0.345 mi.)	46	109
File Number: 052193-NM-1458				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
ANDERSON EXCAVATING	1824 SOUTH 20TH STRE	E 1/4 - 1/2 (0.366 mi.)	M49	112
File Number: 092200-99-0000				
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)				
SHARED SERVICE SYSTE	1725 S 20TH ST	ENE 1/4 - 1/2 (0.391 mi.)	M61	338
File Number: 040488-TH-0715				
File Number: 081889-TH-0800				

EXECUTIVE SUMMARY

Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
 PLAS-TECH INC. 2007 POPPLETON AVE. NE 1/4 - 1/2 (0.451 mi.) 66 344
 File Number: 052990-99-0004
 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)

NE LAST: The Leaking Aboveground Storage Tanks database

A review of the NE LAST list, as provided by EDR, and dated 04/07/2021 has revealed that there are 5 NE LAST sites within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILDER OIL CO File Number: 061792-NM-1100 File Number: 013092-ML-1625 Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK	1920 S 26TH	SSE 0 - 1/8 (0.017 mi.)	B4	27
FORMER MILDER OIL File Number: 051304-TD-0815 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	1946 S 26TH ST	SSE 0 - 1/8 (0.021 mi.)	B9	48
MILDER OIL CO File Number: 061893-MF-1130 Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK	26TH & DORCAS	S 0 - 1/8 (0.032 mi.)	B10	49
MILDER OIL File Number: 052892-DT-1530 Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)	26TH & DORCAS	S 0 - 1/8 (0.032 mi.)	B11	49
RED GIANT File Number: 060702-ML-1441 Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK	26TH & DORCAS	S 0 - 1/8 (0.032 mi.)	B12	50

State and tribal registered storage tank lists

NE UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Control's Facility and Tank Data.

A review of the NE UST list, as provided by EDR, and dated 03/18/2021 has revealed that there are 8 NE UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PAXTON MITCHELL CO Facility ID: 6867	2614 MARTHA ST	SSW 0 - 1/8 (0.048 mi.)	D18	54
BROWNING FERRIS IND Facility ID: 2488	2121 S 24TH ST	ESE 1/8 - 1/4 (0.153 mi.)	E24	75
KITTY CLOVER Facility ID: 7648	2200 S 24TH ST	SE 1/8 - 1/4 (0.157 mi.)	F25	76
ALLIED OIL & SUPPLY Facility ID: 1152 Facility ID: 1153	2209 S 24TH ST	ESE 1/8 - 1/4 (0.181 mi.)	F27	82
CENTRAL MAINTENANCE	1523 S 24TH ST	NE 1/8 - 1/4 (0.208 mi.)	G32	92

EXECUTIVE SUMMARY

Facility ID: 253				
GIBSON IND INC Facility ID: 7417	2351 S 27TH AVE	S 1/8 - 1/4 (0.211 mi.)	H35	96
BUCKYS EXPRESS #24 Tank Id/Tank Status: Currently in Use Facility ID: 3169	2223 S 24TH ST	SE 1/8 - 1/4 (0.216 mi.)	36	97
ANDERSEN FIRE EQUIP Facility ID: 6025	2316 S 24TH ST	SSE 1/8 - 1/4 (0.240 mi.)	I37	100

NE AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Environmental Control's Facility and Tank Data.

A review of the NE AST list, as provided by EDR, and dated 03/22/2021 has revealed that there is 1 NE AST site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILDER OIL COMPANY Facility Id: 1409	26TH & DORCAS ST	S 0 - 1/8 (0.032 mi.)	B13	50

State and tribal institutional control / engineering control registries

NE INST CONTROL: A list of sites within Nebraska that have institutional controls. According to the Environmental Protection Agency (EPA), institutional controls are "non-engineering measures designed to prevent or limit exposure to hazardous substances left in place at a site, or assure effectiveness of the chosen remedy. Institutional controls are usually, but not always, legal controls, such as easements, restrictive covenants, and zoning ordinances." In short, institutional controls are a type of environmental covenant typically used when property is to be cleaned up to a level determined by the potential environmental risks posed by a planned use, rather than to unrestricted use standards. This method of control has proven to be both environmentally and economically beneficial.

A review of the NE INST CONTROL list, as provided by EDR, and dated 03/15/2021 has revealed that there is 1 NE INST CONTROL site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
20TH & CENTER FMGP (20TH AND CENTER STRE	E 1/4 - 1/2 (0.378 mi.)	M58	335

State and tribal Brownfields sites

NE BROWNFIELDS: A listing of potential brownfields sites.

A review of the NE BROWNFIELDS list, as provided by EDR, and dated 12/11/2020 has revealed that there are 7 NE BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
UTILITIES SERVICES G Facility Id: 64016	2623 CENTER ST	WNW 0 - 1/8 (0.020 mi.)	C6	35
SCOULAR ELEVATOR	2727 S 28 AVE	SSW 1/4 - 1/2 (0.488 mi.)	68	345

EXECUTIVE SUMMARY

Facility Id: 58990

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILDER OIL CO Facility Id: 14468	1941 S 26TH ST	SSE 0 - 1/8 (0.040 mi.)	B14	51
RROADLANDS INC Facility Id: 11083	1921 S 26TH ST	SE 0 - 1/8 (0.043 mi.)	B15	52
WAREHOUSES Facility Id: 100246	1921 SOUTH 26TH STRE	SE 0 - 1/8 (0.043 mi.)	B16	52
ANDERSON EXCAVATING Facility Id: 49531	1824 S 20TH ST	E 1/4 - 1/2 (0.366 mi.)	M48	110
NOX-CRETE MANUFACTUR Facility Id: 10550	1444 S 20TH ST	ENE 1/4 - 1/2 (0.374 mi.)	56	127

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 03/15/2021 has revealed that there is 1 US BROWNFIELDS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORMER AGGREGATE PRO ACRES property ID: 151508 Cleanup Completion Date: -	2623 CENTER ST.	WNW 0 - 1/8 (0.020 mi.)	C5	28

Local Lists of Landfill / Solid Waste Disposal Sites

NE SWRCY: List of Department of Environmental Protection's Recycling Facilities

A review of the NE SWRCY list, as provided by EDR, and dated 12/21/2020 has revealed that there are 2 NE SWRCY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
COMMONGOOD RECYCLING	1340 PARK AVENUE	NW 1/4 - 1/2 (0.366 mi.)	L52	123
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CAN PAC RECYCLING, I	2215 SOUTH 26TH STRE	SSE 0 - 1/8 (0.043 mi.)	B17	54

EXECUTIVE SUMMARY

Local Lists of Registered Storage Tanks

NE HIST UST: A listing of underground storage tank locations. This listing contains detail information that the UST listing does not. It is no longer updated by the agency. For current information see the UST listing.

A review of the NE HIST UST list, as provided by EDR, and dated 02/28/2005 has revealed that there is 1 NE HIST UST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BUCKYS EXPRESS #24 Facility Id: 3169	2223 S 24TH ST	SE 1/8 - 1/4 (0.216 mi.)	36	97

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 03/22/2021 has revealed that there are 5 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DRUM INDUSTRIES EPA ID:: NED981707730	2623 CENTER ST	WNW 0 - 1/8 (0.020 mi.)	C7	36
GREDE OMAHA LLC - FO EPA ID:: NER000000372	2614 MARTHA STREET	SSW 0 - 1/8 (0.048 mi.)	D19	55
OAKCREEK PAINTING IN EPA ID:: NER000004861	2711 SHIRLEY	W 0 - 1/8 (0.066 mi.)	21	69
ALLIED OIL AND SUPPL EPA ID:: NER000004382	2209 S 24TH STREET	ESE 1/8 - 1/4 (0.181 mi.)	F26	78

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILDER OIL CO EPA ID:: NED986374528	1940 SOUTH 26TH STRE	SSE 0 - 1/8 (0.021 mi.)	B8	45

2020 COR ACTION: The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

A review of the 2020 COR ACTION list, as provided by EDR, and dated 09/30/2017 has revealed that there is 1 2020 COR ACTION site within approximately 0.25 miles of the target property.

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREDE OMAHA LLC - FO EPA ID:: NER000000372	2614 MARTHA STREET	SSW 0 - 1/8 (0.048 mi.)	D19	55

ROD: Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid the cleanup.

A review of the ROD list, as provided by EDR, and dated 04/27/2021 has revealed that there is 1 ROD site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA LEAD EPA ID:: NESFN0703481	INTERSECTION I480 &	0 - 1/8 (0.000 mi.)	0	10

PRP: A listing of verified Potentially Responsible Parties

A review of the PRP list, as provided by EDR, and dated 12/30/2020 has revealed that there is 1 PRP site within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA LEAD	INTERSECTION I480 &	0 - 1/8 (0.000 mi.)	0	10

LEAD SMELTERS: A listing of former lead smelter site locations.

A review of the LEAD SMELTERS list, as provided by EDR, has revealed that there is 1 LEAD SMELTERS site within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA LEAD Database: LEAD SMELTER 1, Date of Government Version: 04/27/2021 Site ID:: 0703481 EPAID:: NESFN0703481	INTERSECTION I480 &	0 - 1/8 (0.000 mi.)	0	10

NE ASBESTOS: Asbestos notification sites

A review of the NE ASBESTOS list, as provided by EDR, and dated 04/28/2021 has revealed that there is 1 NE ASBESTOS site within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RESIDENCE	1710 S. 25TH AVENUE	0 - 1/8 (0.000 mi.)	3	26

EXECUTIVE SUMMARY

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

A review of the EDR MGP list, as provided by EDR, has revealed that there are 2 EDR MGP sites within approximately 1 mile of the target property.

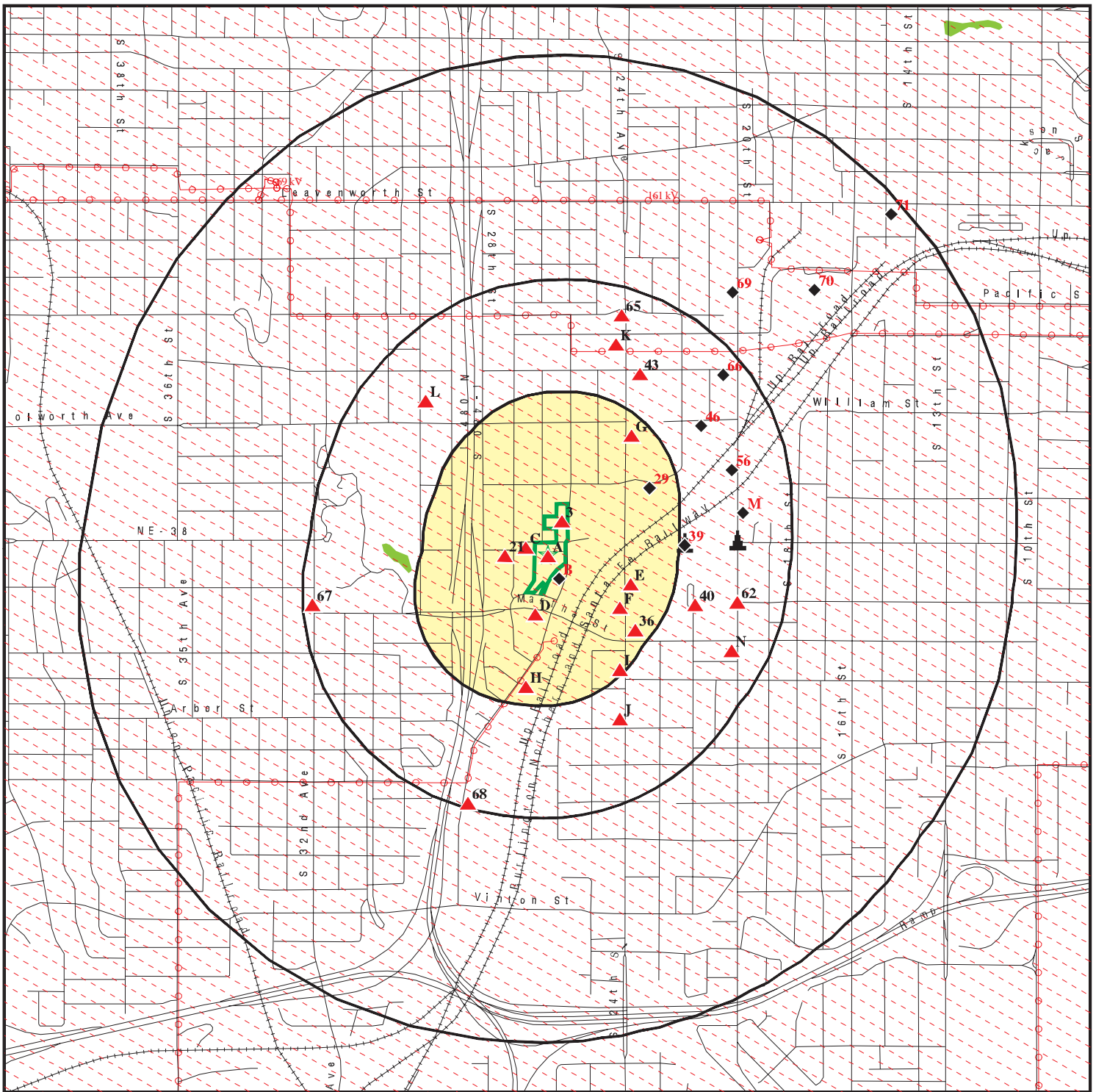
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
OMAHA GAS CO	S 20TH STREET	E 1/4 - 1/2 (0.261 mi.)	39	101
OMAHA FMGP SITE	20TH AND CENTER STRE	E 1/4 - 1/2 (0.378 mi.)	M60	337

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 13 records.

<u>Site Name</u>	<u>Database(s)</u>
FORMER LAWRENCE SHOT & LEAD FACILI	SEMS-ARCHIVE, LEAD SMELTERS
OMAHA VA MEDICAL CENTER	NE LAST
OMAHA WHITE LEAD FACILITY	NE SHWS
MONARCH ASPHALT OILS INC	SEMS-ARCHIVE, RCRA-VSQQ
20TH AND CENTER FMGP/LYNCH PARK	NE VCP
LOGAN-FONTENELLE HOMES	NE LUST
CREIGHTON DENTAL COLLEGE	NE LUST
TERRACE PLAZA	NE LUST
OMAHA AIRPORT AUTHORITY	NE LUST
VA MED CENTER SHOP AREA	NE LUST
PEONY PARK	NE LUST
PIERCE ST TANK SITE	NE LUST
CULINARY ARTS BLDG	NE LUST

OVERVIEW MAP - 6623280.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

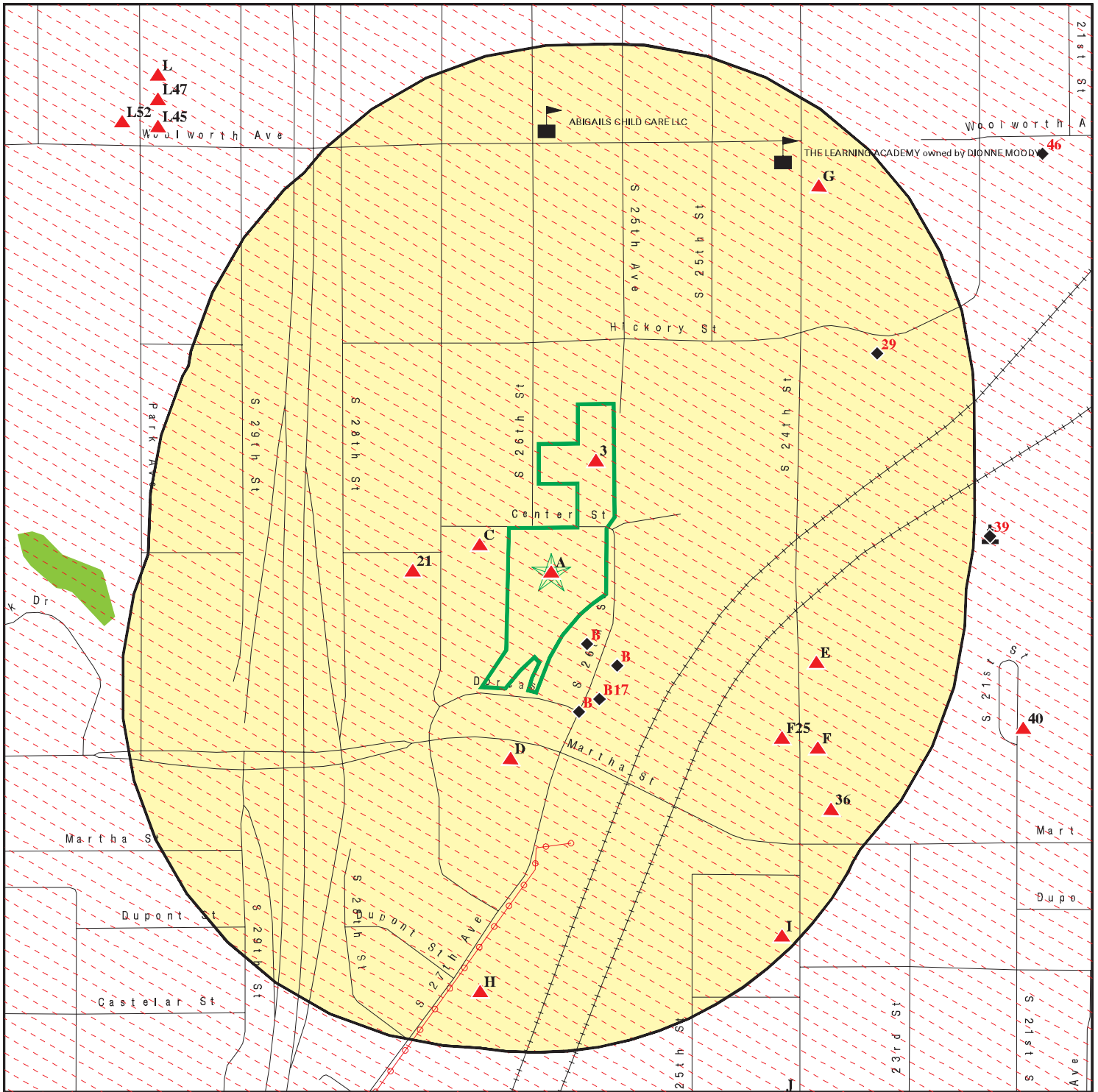















This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Multiple Vacant Properties
 ADDRESS: 2501 Center Street
 Omaha NE 68105
 LAT/LONG: 41.24099 / 95.950341

CLIENT: B2 Environmental
 CONTACT: Brock Flowers
 INQUIRY #: 6623280.2s
 DATE: August 17, 2021 12:27 pm

DETAIL MAP - 6623280.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites
-  Indian Reservations BIA
-  Power transmission lines
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Multiple Vacant Properties
 ADDRESS: 2501 Center Street
 Omaha NE 68105
 LAT/LONG: 41.24099 / 95.950341

CLIENT: B2 Environmental
 CONTACT: Brock Flowers
 INQUIRY #: 6623280.2s
 DATE: August 17, 2021 12:29 pm

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		1	0	0	0	NR	1
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		1	0	1	NR	NR	2
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		1	0	4	NR	NR	5
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		1	0	0	0	NR	1
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	1	NR	NR	NR	1
RCRA-VSQG	0.250		0	2	NR	NR	NR	2
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		1	0	0	NR	NR	1
US INST CONTROLS	0.500		1	0	0	NR	NR	1
<i>Federal ERNS list</i>								
ERNS	0.001		0	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
NE SHWS	1.000		1	0	3	3	NR	7
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
NE SWF/LF	0.500		0	0	0	NR	NR	0
IA SWF/LF	0.500		0	0	2	NR	NR	2
<i>State and tribal leaking storage tank lists</i>								
NE LUST	0.500	1	1	8	16	NR	NR	26
NE LAST	0.500		5	0	0	NR	NR	5
INDIAN LUST	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
State and tribal registered storage tank lists								
FEMA UST	0.250		0	0	NR	NR	NR	0
NE UST	0.250	1	1	7	NR	NR	NR	9
NE AST	0.250		1	0	NR	NR	NR	1
INDIAN UST	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
NE INST CONTROL	0.500		0	0	1	NR	NR	1
State and tribal voluntary cleanup sites								
NE VCP	0.500		0	0	0	NR	NR	0
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
NE BROWNFIELDS	0.500	1	4	0	3	NR	NR	8
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
Local Brownfield lists								
US BROWNFIELDS	0.500		1	0	0	NR	NR	1
Local Lists of Landfill / Solid Waste Disposal Sites								
NE SWRCY	0.500		1	0	1	NR	NR	2
INDIAN ODI	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US HIST CDL	0.001		0	NR	NR	NR	NR	0
US CDL	0.001		0	NR	NR	NR	NR	0
Local Lists of Registered Storage Tanks								
NE HIST UST	0.250		0	1	NR	NR	NR	1
NE HIST AST	0.001		0	NR	NR	NR	NR	0
Local Land Records								
LIENS 2	0.001		0	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	0.001		0	NR	NR	NR	NR	0
NE SPILLS	0.001		0	NR	NR	NR	NR	0
NE SPILLS 90	0.001		0	NR	NR	NR	NR	0
NE SPILLS 80	0.001		0	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		4	1	NR	NR	NR	5

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	0.001		0	NR	NR	NR	NR	0
EPA WATCH LIST	0.001		0	NR	NR	NR	NR	0
2020 COR ACTION	0.250		1	0	NR	NR	NR	1
TSCA	0.001		0	NR	NR	NR	NR	0
TRIS	0.001		0	NR	NR	NR	NR	0
SSTS	0.001		0	NR	NR	NR	NR	0
ROD	1.000		1	0	0	0	NR	1
RMP	0.001		0	NR	NR	NR	NR	0
RAATS	0.001		0	NR	NR	NR	NR	0
PRP	0.001		1	NR	NR	NR	NR	1
PADS	0.001		0	NR	NR	NR	NR	0
ICIS	0.001		0	NR	NR	NR	NR	0
FTTS	0.001		0	NR	NR	NR	NR	0
MLTS	0.001		0	NR	NR	NR	NR	0
COAL ASH DOE	0.001		0	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	0.001		0	NR	NR	NR	NR	0
RADINFO	0.001		0	NR	NR	NR	NR	0
HIST FTTS	0.001		0	NR	NR	NR	NR	0
DOT OPS	0.001		0	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	0.001		1	NR	NR	NR	NR	1
US AIRS	0.001		0	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	0.001	1	0	NR	NR	NR	NR	1
DOCKET HWC	0.001		0	NR	NR	NR	NR	0
ECHO	0.001		0	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
NE AIRS	0.001		0	NR	NR	NR	NR	0
NE ASBESTOS	0.001		1	NR	NR	NR	NR	1
NE DRYCLEANERS	0.250		0	0	NR	NR	NR	0
NE Financial Assurance	0.001		0	NR	NR	NR	NR	0
NE NPDES	0.001		0	NR	NR	NR	NR	0
NE TIER 2	0.001		0	NR	NR	NR	NR	0
NE UIC	0.001		0	NR	NR	NR	NR	0
MINES MRDS	0.001		0	NR	NR	NR	NR	0

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP	1.000		0	0	2	0	NR	2
EDR Hist Auto	0.125		0	NR	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
EDR Hist Cleaner	0.125		0	NR	NR	NR	NR	0
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
NE RGA HWS	0.001		0	NR	NR	NR	NR	0
NE RGA LUST	0.001	1	0	NR	NR	NR	NR	1
- Totals --		5	30	20	33	3	0	91

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

A1 SALVATION ARMY ADULT REHAB CTR
Target 2501 CENTER ST
Property OMAHA, NE 68105

NE LUST 1005880480
NE UST N/A
NE BROWNFIELDS
FINDS

Site 1 of 2 in cluster A

Actual:
1095 ft.

LUST:

Name: SALVATION ARMY
Address: 2501 CENTER ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 061290-99-0003
Owner/RP: SALVATION ARMY ARC CORP
SFM Num: 7415
Owner Mailing Address: 860 N DEARBORN ST
Owner Mailing City: CHICAGO
Owner Mailing State: IL
Owner Mailing Zip: 60610
Discovery Date: 05/29/1990
Material Released: DIESEL FUEL

UST:

Name: SALVATION ARMY
Address: 2501 CENTER ST
City: OMAHA
Zip: 68105

Facility:

Facility ID: 7415
Owner Name: SALVATION ARMY ARC CORP
Owner Address: 860 N DEARBORN ST
Owner City,St,Zip: CHICAGO, IL 60610
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: SALVATION ARMY ARC CORP
Owner Address: 860 N DEARBORN ST
Owner City,St,Zip: CHICAGO, IL 60610
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

BROWNFIELDS:

Name: SALVATION ARMY ADULT REHAB CTR
Address: 2501 CENTER ST
City,State,Zip: OMAHA, NE 68105
Facility ID: 21563

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SALVATION ARMY ADULT REHAB CTR (Continued)

1005880480

Facility Location Desc: Bth Sds 26,Bth Sds Center,W Sd Util Services Group
 Program Acronym: BF
 Status: C
 latitude: 41.240999
 Longitude: 95.950138
 Lat/Lon Description: buildings
 lat/Lon Source: GOOGLE
 Program ID: BF0226
 Program Description: Not reported
 Program Status: Active
 Fstatus Decode Values: Closed

Name: SALVATION ARMY ADULT REHAB CTR
 Address: 2501 CENTER ST
 City,State,Zip: OMAHA, NE 68105
 Facility ID: 21563
 Facility Location Desc: Bth Sds 26,Bth Sds Center,W Sd Util Services Group
 Program Acronym: BF
 Status: C
 latitude: 41.240999
 Longitude: 95.950138
 Lat/Lon Description: buildings
 lat/Lon Source: GOOGLE
 Program ID: BF0223
 Program Description: Railroad Spur
 Program Status: Active
 Fstatus Decode Values: Closed

FINDS:

Registry ID: 110010163474

Click Here:

Environmental Interest/Information System:
 STATE MASTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**A2
 Target
 Property**

**SALVATION ARMY
 2501 CENTER ST
 OMAHA, NE**

**NE RGA LUST S115144644
 N/A**

Site 2 of 2 in cluster A

**Actual:
 1095 ft.**

RGA LUST:

2012	SALVATION ARMY	2501 CENTER ST
2011	SALVATION ARMY	2501 CENTER ST
2010	SALVATION ARMY	2501 CENTER ST
2009	SALVATION ARMY	2501 CENTER ST
2008	SALVATION ARMY	2501 CENTER ST
2007	SALVATION ARMY	2501 CENTER ST
2006	SALVATION ARMY	2501 CENTER ST

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SALVATION ARMY (Continued)

S115144644

2005	SALVATION ARMY	2501 CENTER ST
2004	SALVATION ARMY	2501 CENTER ST
2003	SALVATION ARMY	2501 CENTER ST
2002	SALVATION ARMY	2501 CENTER ST
2001	SALVATION ARMY	2501 CENTER ST
2000	SALVATION ARMY	2501 CENTER ST
1999	SALVATION ARMY	2501 CENTER ST

**NPL
 Region**

 < 1/8
 1 ft.

**OMAHA LEAD
 INTERSECTION I480 & ABBOTT DRIVE
 OMAHA, NE 68102**

**NPL 1001814550
 SEMS NESFN0703481
 US ENG CONTROLS
 US INST CONTROLS
 ROD
 PRP
 LEAD SMELTERS**

NPL:

EPA Region: 7
 EPA ID: NESFN0703481
 Site ID: 703481
 Name: OMAHA LEAD
 Address: INTERSECTION I480 & ABBOTT DRIVE
 City,State,Zip: OMAHA, NE 68102
 Federal: N
 Final Date: 2003-04-30 00:00:00
 Latitude: 41.267778
 Longitude: -95.929722
 Site Score: 50

NPL:

NPL Status: Currently on the Final NPL
 Substance ID: Not reported
 CAS Number: Not reported
 Substance: Not reported
 Pathway: Not reported
 Scoring: Not reported

NPL Status: Currently on the Final NPL
 Substance ID: D008
 CAS Number: 7439-92-1
 Substance: LEAD (PB)
 Pathway: SOIL EXPOSURE PATHWAY
 Scoring: 4

Summary Details:

Conditions at Proposal February 26, 2002): The Omaha Lead site includes surface soils present at residential properties, child care facilities, schools, and other residential-type properties in the city of Omaha, Douglas County, Nebraska that have been contaminated as a result of air emissions from lead smelting operations. The total area of the Omaha Lead site is approximately 8,840 acres. The site is being proposed to the NPL because of the presence of lead contamination in soil at residential properties, child

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

care facilities, schools, and other residential-type properties. The Asarco facility conducted lead refining operations from the early 1870s until 1996. The Asarco facility is located on approximately 23 acres on the west bank of the Missouri River in downtown Omaha. During the operational period, lead and other heavy metals were emitted into the atmosphere through smoke stacks. The pollutants were transported downwind in various directions and deposited on the ground surface due to the combined process of turbulent diffusion and gravitational settling. In addition, Gould, Inc., operated as a lead battery recycling plant and was considered a secondary lead smelter in the area. The Gould, Inc., plant closed in 1982. Several other businesses in the Omaha area utilized lead in their manufacturing process. Subsequently in 1998, the Omaha City Council solicited assistance from the U.S. Environmental Protection Agency (EPA) in addressing problems with lead contamination in the Omaha area. The EPA initiated the process to investigate the lead contamination in the area under the authority of the Comprehensive Environmental Response, Compensation, and Liability Act. An ongoing removal action included excavation of lead-contaminated soils from a number of properties. The criteria for removal included child care facilities and residences where blood lead concentrations in children were equal to or greater than 10 micrograms per deciliter (µg/dl) and where soil samples collected outside the roof drip line) contained lead concentrations equal to or greater than 400 milligrams per kilogram (mg/kg). Currently, removals have occurred at over 290 properties. No further remedial action at these 290 properties is anticipated based on information currently available. EPA prepared a Preliminary Assessment/Site Inspection Report in 2001. This report summarized numerous investigations that have been conducted at the Omaha Lead site. Results of these investigations indicate that lead contamination is present at elevated concentrations up to 2.5 miles from the former Asarco facility. Approximately 65,615 residents are located within the identified area of soil contamination. There are twenty Omaha Public Schools within this area including fifteen elementary schools, one middle school, two high schools, and two special study centers. The total enrollment at the twenty schools is 11,725 students. There are approximately 240 child care facilities within a 3-mile radius of the center of the site. The total number of children attending these facilities is unknown. Several parks and golf courses are present within the identified area of soil contamination. These parks are accessible to the public and provide recreational opportunities to the public. In addition, approximately 135 acres of wetlands are located within the 4-mile radius of the site. Status April 2003): To date, removals have occurred at over 290 properties. These properties do not include the residents, schools, and daycare facilities described above. The description of the site release) is based on information available at the time the site was evaluated with the HRS. The description may change as additional information is gathered on the sources and extent of contamination. See 56 FR 5600, February 11, 1991, or subsequent FR notices. For more information about the hazardous substances identified in this narrative summary, including general information regarding the effects of exposure to these substances on human health, please see the Agency for Toxic Substances and Disease Registry (ATSDR) ToxFAQs. ATSDR ToxFAQs can be found on the Internet at <http://www.atsdr.cdc.gov/toxfaq.html> or by telephone at 1-888-42-ATSDR or 1-888-422-8737.

NPL:

NPL Name:

OMAHA LEAD

NPL:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

EPA Region: 07
Site ID: 0703481
Site Status: F
Federal Site: N
Date Deleted: Not reported
Date Finalized: 04/30/03
Date Proposed: 02/26/02

NPL:
Proposed Date: 02/26/2002
Final Date: 04/30/2003
Deleted Date: Not reported
NPL Status: Final

SEMS:
Site ID: 0703481
EPA ID: NESFN0703481
Name: OMAHA LEAD
Address: INTERSECTION I480 & ABBOTT DRIVE
Address 2: Not reported
City,State,Zip: OMAHA, NE 68102-1895
Cong District: 02
FIPS Code: 31055
Latitude: +41.267778
Longitude: -95.929722
FF: N
NPL: Currently on the Final NPL
Non NPL Status: Not reported

SEMS Detail:
Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: AR
Action Name: ADMIN REC
SEQ: 2
Start Date: 2004-07-16 04:00:00
Finish Date: Not reported
Qual: E
Current Action Lead: EPA Perf In-Hse

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: RD
Action Name: RD
SEQ: 2
Start Date: 2009-05-13 04:00:00

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Finish Date: 6/8/2009 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 01
Action Code: CO
Action Name: RI/FS
SEQ: 1
Start Date: 2002-09-30 04:00:00
Finish Date: 12/15/2004 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 01
Action Code: RO
Action Name: ROD
SEQ: 1
Start Date: 2004-12-15 05:00:00
Finish Date: 12/15/2004 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 01
Action Code: RD
Action Name: RD
SEQ: 1
Start Date: 2004-09-30 04:00:00
Finish Date: 3/31/2009 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 01
Action Code: RA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Action Name: RA
SEQ: 1
Start Date: 2005-07-28 04:00:00
Finish Date: 9/30/2009 4:00:00 AM
Qual: FR
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 1998-09-24 04:00:00
Finish Date: 9/24/1998 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: RS
Action Name: RV ASSESS
SEQ: 1
Start Date: 1998-10-01 04:00:00
Finish Date: 8/31/2001 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: RC
Action Name: RVL CRP
SEQ: 1
Start Date: 1998-01-01 05:00:00
Finish Date: 3/25/2004 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

FF: N
OU: 00
Action Code: RV
Action Name: RMVL
SEQ: 1
Start Date: 1999-10-22 04:00:00
Finish Date: 3/25/2004 5:00:00 AM
Qual: C
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: EA
Action Name: INT ASSESS
SEQ: 1
Start Date: 1998-10-01 04:00:00
Finish Date: 8/31/2001 4:00:00 AM
Qual: H
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: TA
Action Name: TECH ASSIST
SEQ: 1
Start Date: 2005-08-29 04:00:00
Finish Date: Not reported
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: TG
Action Name: TA GRANT
SEQ: 1
Start Date: 2004-12-29 05:00:00
Finish Date: 10/23/2009 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: CR
Action Name: CI
SEQ: 1
Start Date: 2003-03-01 05:00:00
Finish Date: Not reported
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: NF
Action Name: NPL FINL
SEQ: 1
Start Date: 2003-04-30 04:00:00
Finish Date: 4/30/2003 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: TA
Action Name: TECH ASSIST
SEQ: 2
Start Date: 2005-03-30 05:00:00
Finish Date: Not reported
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: CO
Action Name: RI/FS
SEQ: 2
Start Date: 2007-06-18 04:00:00
Finish Date: 5/13/2009 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: NP
Action Name: PROPOSED
SEQ: 1
Start Date: 2002-02-26 05:00:00
Finish Date: 2/26/2002 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: AR
Action Name: ADMIN REC
SEQ: 1
Start Date: 2000-03-15 05:00:00
Finish Date: Not reported
Qual: V
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: RO
Action Name: ROD
SEQ: 2
Start Date: 2009-05-13 04:00:00
Finish Date: 5/13/2009 4:00:00 AM
Qual: R
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: RA
Action Name: RA
SEQ: 2
Start Date: 2009-06-08 05:00:00
Finish Date: 12/31/2015 5:00:00 AM

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Qual:	Not reported
Current Action Lead:	EPA Perf
Region:	07
Site ID:	0703481
EPA ID:	NESFN0703481
Site Name:	OMAHA LEAD
NPL:	F
FF:	N
OU:	00
Action Code:	NX
Action Name:	COMB PA/SI
SEQ:	1
Start Date:	1998-10-01 04:00:00
Finish Date:	8/31/2001 4:00:00 AM
Qual:	H
Current Action Lead:	EPA Perf
Region:	07
Site ID:	0703481
EPA ID:	NESFN0703481
Site Name:	OMAHA LEAD
NPL:	F
FF:	N
OU:	00
Action Code:	RV
Action Name:	RMVL
SEQ:	2
Start Date:	2002-08-22 04:00:00
Finish Date:	3/17/2006 5:00:00 AM
Qual:	C
Current Action Lead:	EPA Perf
Region:	07
Site ID:	0703481
EPA ID:	NESFN0703481
Site Name:	OMAHA LEAD
NPL:	F
FF:	N
OU:	00
Action Code:	HR
Action Name:	HAZRANK
SEQ:	1
Start Date:	2000-09-06 04:00:00
Finish Date:	2/26/2002 5:00:00 AM
Qual:	O
Current Action Lead:	EPA Perf
Region:	07
Site ID:	0703481
EPA ID:	NESFN0703481
Site Name:	OMAHA LEAD
NPL:	F
FF:	N
OU:	00
Action Code:	GR
Action Name:	PART DEL

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

SEQ: 1
Start Date: 2012-10-26 04:00:00
Finish Date: 12/6/2013 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: FE
Action Name: 5 YEAR
SEQ: 1
Start Date: 2013-06-11 05:00:00
Finish Date: 9/4/2014 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: TV
Action Name: Partial Del
SEQ: 1
Start Date: 2013-06-04 05:00:00
Finish Date: 6/4/2013 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: GR
Action Name: PART DEL
SEQ: 2
Start Date: 2016-09-22 05:00:00
Finish Date: 4/10/2017 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

OU: 00
Action Code: GR
Action Name: PART DEL
SEQ: 3
Start Date: 2018-08-28 05:00:00
Finish Date: 8/28/2018 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: TV
Action Name: Partial Del
SEQ: 2
Start Date: 2014-06-30 04:00:00
Finish Date: 9/22/2016 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: TV
Action Name: Partial Del
SEQ: 3
Start Date: 2014-12-01 05:00:00
Finish Date: 6/26/2018 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: FE
Action Name: 5 YEAR
SEQ: 2
Start Date: 2018-08-27 05:00:00
Finish Date: 8/26/2019 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: GR
Action Name: PART DEL
SEQ: 4
Start Date: 2019-07-29 05:00:00
Finish Date: 7/29/2019 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: TV
Action Name: Partial Del
SEQ: 4
Start Date: 2019-05-24 04:00:00
Finish Date: 5/24/2019 4:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 00
Action Code: GR
Action Name: PART DEL
SEQ: 5
Start Date: 2020-07-21 05:00:00
Finish Date: 7/21/2020 5:00:00 AM
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: MA
Action Name: ST COOP
SEQ: 2
Start Date: 2014-12-22 05:00:00
Finish Date: Not reported
Qual: Not reported
Current Action Lead: St Perf

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Region: 07
Site ID: 0703481
EPA ID: NESFN0703481
Site Name: OMAHA LEAD
NPL: F
FF: N
OU: 02
Action Code: RA
Action Name: RA
SEQ: 3
Start Date: 2015-05-28 05:00:00
Finish Date: Not reported
Qual: Not reported
Current Action Lead: St Perf

Site:

Name: OMAHA LEAD
Address: INTERSECTION I480 & ABBOTT DRIVE
Address 2: Not reported
City,State,Zip: OMAHA, NE 68102-1895
Event Code: Not reported
Action Taken Date: 05/13/2009
EPA ID: NESFN0703481
Action Name: Record of Decision
Action ID: 2
Operable Unit: 02
Contaminated Media: Soil
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

Media:

EPA ID: NESFN0703481
Contaminated Media: Soil
Action ID: 1
Operable Unit: 01
Action Name: Record of Decision
Action Taken Date: 12/15/2004
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2005
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

EPA ID: NESFN0703481

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Contaminated Media: Soil
Action ID: 1
Operable Unit: 01
Action Name: Record of Decision
Action Taken Date: 12/15/2004
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2005
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

EPA ID: NESFN0703481
Contaminated Media: Soil
Action ID: 2
Operable Unit: 02
Action Name: Record of Decision
Action Taken Date: 05/13/2009
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

EPA ID: NESFN0703481
Contaminated Media: Buildings/Structures
Action ID: 2
Operable Unit: 02
Action Name: Record of Decision
Action Taken Date: 05/13/2009
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

EPA ID: NESFN0703481
Contaminated Media: Soil
Action ID: 2
Operable Unit: 02
Action Name: Record of Decision
Action Taken Date: 05/13/2009
Event Code: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

EPA ID: NESFN0703481
Contaminated Media: Soil
Action ID: 2
Operable Unit: 02
Action Name: Record of Decision
Action Taken Date: 05/13/2009
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

US INST CONTROLS:

Name: OMAHA LEAD
Address: INTERSECTION I480 & ABBOTT DRIVE
Address 2: Not reported
City,State,Zip: OMAHA, NE 68102-1895
EPA ID: NESFN0703481
Action Name: Record of Decision
Action ID: 2
Operable Unit: 02
Actual Date: 05/13/2009
Contaminated Media: Buildings/Structures
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

Name: OMAHA LEAD
Address: INTERSECTION I480 & ABBOTT DRIVE
Address 2: Not reported
City,State,Zip: OMAHA, NE 68102-1895
EPA ID: NESFN0703481
Action Name: Record of Decision
Action ID: 2

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA LEAD (Continued)

1001814550

Operable Unit: 02
Actual Date: 05/13/2009
Contaminated Media: Soil
Event Code: Not reported
Contact Name: Not reported
Contact Telephone: Not reported
Event: Not reported
Federal Facility: N
Fiscal Year: 2009
NPL Status: Currently on the Final NPL
Superfund Alternative Agreement: N
Latitude: +41.267778
Longitude: -95.929722

ROD:

Name: OMAHA LEAD
Address: INTERSECTION I480 & ABBOTT DRIVE
City,State,Zip: OMAHA, NE 68102
EPA ID: NESFN0703481
RG: 7
Site ID: 703481
Action: GOVT Decision Document (ROD)
Operable Unit Number: CONTAMINATED SOILS
SEQ ID: 1
Action Completion: 2004-12-15 00:00:00
NPL Status: Final
Non NPL Status: Not reported

Name: OMAHA LEAD
Address: INTERSECTION I480 & ABBOTT DRIVE
City,State,Zip: OMAHA, NE 68102
EPA ID: NESFN0703481
RG: 7
Site ID: 703481
Action: GOVT Decision Document (ROD)
Operable Unit Number: FINAL REMEDIAL ACTION
SEQ ID: 2
Action Completion: 2009-05-13 00:00:00
NPL Status: Final
Non NPL Status: Not reported

PRP:

PRP Name: AARON FERER & SONS, COMPANY
ASARCO, INC. -
ASARCO, INC. -
ASARCO, INC. -
ASARCO, INC. -
ASARCO, INC. -
ASARCO, INC. -
GOULD ELECTRONICS, INC
NL INDUSTRIES
UNION PACIFIC RAILROAD
UNION PACIFIC RAILROAD

Lead Smelter Sites:

Site ID: 0703481
Facility Region Id: 07
Latitude: +41.267778

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

OMAHA LEAD (Continued)

1001814550

Longitude: -95.929722
 CoC Ind: Y
 Contaminant Name: LEAD
 FF Ind: N
 NAI: N
 Non-Primary Site-Sub Type: Not reported
 NPL: Currently on the Final NPL
 Primary Site-Sub Type: Primary metals/mineral processing
 (Manufacturing/Processing/Maintenance)
 Special Initiative: Not reported

Site ID: 0703481
 Facility Region Id: 07
 Latitude: +41.267778
 Longitude: -95.929722
 CoC Ind: N
 Contaminant Name: LEAD
 FF Ind: N
 NAI: N
 Non-Primary Site-Sub Type: Not reported
 NPL: Currently on the Final NPL
 Primary Site-Sub Type: Primary metals/mineral processing
 (Manufacturing/Processing/Maintenance)
 Special Initiative: Not reported

3

RESIDENCE
1710 S. 25TH AVENUE
OMAHA, NE

NE ASBESTOS S125071542
N/A

< 1/8
 1 ft.

Relative:
Higher
Actual:
1097 ft.

ASBESTOS:

Name: RESIDENCE
 Address: 1710 S. 25TH AVENUE
 City,State,Zip: OMAHA, NE
 Project Notification Date: 05/23/2003
 State Project Number: 2003-O195
 Business Entity Initials: AND
 Owner Name: Virgil Anderson
 Start Date: 05/24/2003
 Finish Date: 05/24/2003
 Demo: Not reported
 Region: Omaha
 Year: 2003
 Schedule Type: Not reported
 Project Description: Not reported
 Associated With: Not reported
 Contractor Project Number: Not reported
 Project Notification Date: 05/23/2003
 Business Entity: Anderson Excavating Co
 Additional Addresses: Not reported
 Square Feet: 2400
 Linear Feet: 0
 Cubic Feet: Not reported
 Start Time: 07:30
 Stop Time: 17:00
 Fee Paid: False
 Acknowledgement Sent: No
 Follow-up Comments: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

RESIDENCE (Continued)

S125071542

Insp Date:	Not reported
FA Report:	False
Final Report:	ATC
Final Report Rec Date:	Not reported
10 Day Waiver:	True
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	Not reported

B4
SSE
 < 1/8
 0.017 mi.
 90 ft.

MILDER OIL CO
1920 S 26TH
OMAHA, NE
 Site 1 of 11 in cluster B

NE LAST **S105622395**
N/A

Relative:
Lower
Actual:
1088 ft.

LAST:

Name:	MILDER OIL
Address:	1920 S 26TH
City,State,Zip:	OMAHA, NE
File Number:	061792-NM-1100
Owner/RP:	MILDER OIL
Facility Status:	LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type:	ABOVEGROUND STORAGE TANK
SFM Num:	NONE
Owner Mailing Address:	1920 S 26TH
Owner Mailing City:	OMAHA
Owner Mailing State:	NE
Owner Mailing Zip:	68105
Discovery Date:	06/17/1992
Material Released:	PETROLEUM

Name:	MILDER OIL CO
Address:	1920 S 26TH
City,State,Zip:	OMAHA, NE
File Number:	013092-ML-1625
Owner/RP:	MILDER OIL CO
Facility Status:	LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type:	ABOVEGROUND STORAGE TANK
SFM Num:	NONE
Owner Mailing Address:	1920 S 26TH
Owner Mailing City:	OMAHA
Owner Mailing State:	NE
Owner Mailing Zip:	Not reported
Discovery Date:	01/30/1992
Material Released:	PETROLEUM

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MILDER OIL CO (Continued)

S105622395

Name: MILDER OIL CO
Address: 1920 S 26TH
City,State,Zip: OMAHA, NE
File Number: 013092-ML-1625
Owner/RP: MILDER OIL CO
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type: ABOVEGROUND STORAGE TANK
SFM Num: NONE
Owner Mailing Address: 1920 S 26TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: Not reported
Discovery Date: 01/30/1992
Material Released: PETROLEUM

Name: MILDER OIL
Address: 1920 S 26TH
City,State,Zip: OMAHA, NE
File Number: 061792-NM-1100
Owner/RP: MILDER OIL
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type: ABOVEGROUND STORAGE TANK
SFM Num: NONE
Owner Mailing Address: 1920 S 26TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68105
Discovery Date: 06/17/1992
Material Released: PETROLEUM

**C5
WNW
< 1/8
0.020 mi.
105 ft.**

**FORMER AGGREGATE PRODUCTION
2623 CENTER ST.
OMAHA, NE 68105**

**US BROWNFIELDS 1023619593
FINDS N/A**

Site 1 of 3 in cluster C

**Relative:
Higher**

US BROWNFIELDS:

**Actual:
1116 ft.**

Name: FORMER AGGREGATE PRODUCTION
Address: 2623 CENTER ST.
City,State,Zip: OMAHA, NE 68105
Recipient Name: Omaha-Council Bluffs Metro Area Planning Agency
Grant Type: Assessment
Property Number: -
Parcel size: 2.87
Latitude: 41.240664
Longitude: -95.951316
HCM Label: Address Matching-House Number
Map Scale: -
Point of Reference: Entrance Point of a Facility or Station
Highlights: After Phase I assessment, recognized environmental conditions include potential petroleum spills onsite, known spills offsite, adjacent property past use for bulk oil storage. The property is within the Omaha Lead Site and though not included in the residential cleanup action is a potential rec. Soil and groundwater testing is recommended. Former Use: The Property consists of an office building, maintenance shop, warehouse and outdoor storage yard located at 2623 Center Street in an industrial area of Omaha. The Property parcel encompasses approximately 2.87-acres (125,296 square feet [s.f.]

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

with three structures located thereon (4,000 s.f. office, 4,200 s.f. shop, and 3,200 s.f. warehouse). The Property is currently leased by Aggregate Production Associates, Inc. (owner) to Utility Services Group (USG), which utilizes the Property for office space, fleet maintenance, and equipment storage for their business operations (underground utilities contractor). The area surrounding the Property is characterized by highway and railroad corridors, industrial land, and single-family residential use. In the opinion of the environmental professionals, there are no significant data gaps that affect our ability to identify recognized environmental conditions in connection with the Property. Based on historical sources, the Property was apparently undeveloped land until the 1930s. From the 1930s to 1945, the Property was part of the adjoining cereal mill facility and was utilized as a seven bay shop facility for the mill. From 1945 to 1980, the Property was a portion of the adjoining cereal mill facility or Salvation Army facility. From 1980 to present the Property has been utilized by (oldest listing to current, respectively) Drum Industries, Mid-American Industrial Storage, JJ Parks Asphalt, Aggregate Production Associates, and USG. Adjoining parcels to the east have historically been utilized for bulk oil storage. The historic land use of the Property is a concern, and the historic utilization of adjoining parcels for bulk oil storage represents a recognized environmental condition for the Property.

Datum:	North American Datum of 1983
Acres Property ID:	151508
IC Data Access:	-
Start Date:	-
Redev Completion Date:	-
Completed Date:	-
Acres Cleaned Up:	-
Cleanup Funding:	-
Cleanup Funding Source:	-
Assessment Funding:	16000
Assessment Funding Source:	EPA
Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Hazardous
Accomplishment Type:	Phase I Environmental Assessment
Accomplishment Count:	N
Cooperative Agreement Number:	97727901
Start Date:	11/08/2013
Ownership Entity:	Private
Completion Date:	-
Current Owner:	-
Did Owner Change:	N
Cleanup Required:	U
Video Available:	N
Photo Available:	N
Institutional Controls Required:	N
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-
IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

IC in place date:	-
IC in place:	Y
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	-
Groundwater cleaned:	-
Lead contaminant found:	-
Lead cleaned up:	-
No media affected:	Not reported
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contams found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	-
Soil cleaned up:	-
Surface water cleaned:	-
VOCs found:	-
VOCs cleaned:	-
Cleanup other description:	-
Num. of cleanup and re-dev. jobs:	-
Past use greenspace acreage:	-
Past use residential acreage:	-
Surface Water:	-
Past use commercial acreage:	-
Past use industrial acreage:	2.87
Future use greenspace acreage:	-
Future use residential acreage:	-
Future use commercial acreage:	-
Future use industrial acreage:	-
Superfund Fed. landowner flag:	-
Arsenic cleaned up:	-
Cadmium cleaned up:	-
Chromium cleaned up:	-
Copper cleaned up:	-
Iron cleaned up:	-
mercury cleaned up:	-
Nickel Cleaned Up:	-
No clean up:	-
Pesticides cleaned up:	-

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

Selenium cleaned up: -
 SVOCs cleaned up: -
 Unknown clean up: -
 Arsenic contaminant found: -
 Cadmium contaminant found: -
 Chromium contaminant found: -
 Copper contaminant found: -
 Iron contaminant found: -
 Mercury contaminant found: -
 Nickel contaminant found: -
 No contaminant found: -
 Pesticides contaminant found: -
 Selenium contaminant found: -
 SVOCs contaminant found: -
 Unknown contaminant found: -
 Future Use: Multistory -
 Media affected Bluiding Material: -
 Media affected indoor air: -
 Building material media cleaned up: -
 Indoor air media cleaned up: -
 Unknown media cleaned up: -
 Past Use: Multistory Not reported
 Property Description:

The Property consists of an office building, maintenance shop, warehouse and outdoor storage yard located at 2623 Center Street in an industrial area of Omaha. The Property parcel encompasses approximately 2.87-acres (125,296 square feet [s.f.]) with three structures located thereon (4,000 s.f. office, 4,200 s.f. shop, and 3,200 s.f. warehouse). The Property is currently leased by Aggregate Production Associates, Inc. (owner) to Utility Services Group (USG), which utilizes the Property for office space, fleet maintenance, and equipment storage for their business operations (underground utilities contractor). The area surrounding the Property is characterized by highway and railroad corridors, industrial land, and single-family residential use. In the opinion of the environmental professionals, there are no significant data gaps that affect our ability to identify recognized environmental conditions in connection with the Property. Based on historical sources, the Property was apparently undeveloped land until the 1930s. From the 1930s to 1945, the Property was part of the adjoining cereal mill facility and was utilized as a seven bay shop facility for the mill. From 1945 to 1980, the Property was a portion of the adjoining cereal mill facility or Salvation Army facility. From 1980 to present the Property has been utilized by (oldest listing to current, respectively) Drum Industries, Mid-American Industrial Storage, JJ Parks Asphalt, Aggregate Production Associates, and USG. Adjoining parcels to the east have historically been utilized for bulk oil storage. The historic land use of the Property is a concern, and the historic utilization of adjoining parcels for bulk oil storage represents a recognized environmental condition for the Property.

Below Poverty Number: 1804
 Below Poverty Percent: 36.29
 Meidan Income: 2211
 Meidan Income Number: 3172
 Meidan Income Percent: 63.81
 Vacant Housing Number: 118
 Vacant Housing Percent: 6.37
 Unemployed Number: 336

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

Unemployed Percent: 6.76

Name: FORMER AGGREGATE PRODUCTION
Address: 2623 CENTER ST.
City,State,Zip: OMAHA, NE 68105
Recipient Name: Omaha-Council Bluffs Metro Area Planning Agency
Grant Type: Assessment
Property Number: -
Parcel size: 2.87
Latitude: 41.240664
Longitude: -95.951316
HCM Label: Address Matching-House Number
Map Scale: -
Point of Reference: Entrance Point of a Facility or Station
Highlights: After Phase I assessment, recognized environmental conditions include potential petroleum spills onsite, known spills offsite, adjacent property past use for bulk oil storage. The property is within the Omaha Lead Site and though not included in the residential cleanup action is a potential rec. Soil and groundwater testing is recommended. Former Use: The Property consists of an office building, maintenance shop, warehouse and outdoor storage yard located at 2623 Center Street in an industrial area of Omaha. The Property parcel encompasses approximately 2.87-acres (125,296 square feet [s.f.]) with three structures located thereon (4,000 s.f. office, 4,200 s.f. shop, and 3,200 s.f. warehouse). The Property is currently leased by Aggregate Production Associates, Inc. (owner) to Utility Services Group (USG), which utilizes the Property for office space, fleet maintenance, and equipment storage for their business operations (underground utilities contractor). The area surrounding the Property is characterized by highway and railroad corridors, industrial land, and single-family residential use. In the opinion of the environmental professionals, there are no significant data gaps that affect our ability to identify recognized environmental conditions in connection with the Property. Based on historical sources, the Property was apparently undeveloped land until the 1930s. From the 1930s to 1945, the Property was part of the adjoining cereal mill facility and was utilized as a seven bay shop facility for the mill. From 1945 to 1980, the Property was a portion of the adjoining cereal mill facility or Salvation Army facility. From 1980 to present the Property has been utilized by (oldest listing to current, respectively) Drum Industries, Mid-American Industrial Storage, JJ Parks Asphalt, Aggregate Production Associates, and USG. Adjoining parcels to the east have historically been utilized for bulk oil storage. The historic land use of the Property is a concern, and the historic utilization of adjoining parcels for bulk oil storage represents a recognized environmental condition for the Property.

Datum: North American Datum of 1983
Acres Property ID: 151508
IC Data Access: -
Start Date: -
Redev Completion Date: -
Completed Date: -
Acres Cleaned Up: -
Cleanup Funding: -
Cleanup Funding Source: -
Assessment Funding: 16000
Assessment Funding Source: EPA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

Redevelopment Funding:	-
Redev. Funding Source:	-
Redev. Funding Entity Name:	-
Redevelopment Start Date:	-
Assessment Funding Entity:	US EPA - Brownfields Assessment Cooperative Agreement
Cleanup Funding Entity:	-
Grant Type:	Hazardous
Accomplishment Type:	Phase I Environmental Assessment
Accomplishment Count:	N
Cooperative Agreement Number:	97727901
Start Date:	11/08/2013
Ownership Entity:	Private
Completion Date:	-
Current Owner:	-
Did Owner Change:	N
Cleanup Required:	U
Video Available:	N
Photo Available:	N
Institutional Controls Required:	N
IC Category Proprietary Controls:	-
IC Cat. Info. Devices:	-
IC Cat. Gov. Controls:	-
IC Cat. Enforcement Permit Tools:	-
IC in place date:	-
IC in place:	Y
State/tribal program date:	-
State/tribal program ID:	-
State/tribal NFA date:	-
Air cleaned:	-
Asbestos found:	-
Asbestos cleaned:	-
Controlled substance found:	-
Controlled substance cleaned:	-
Drinking water affected:	-
Drinking water cleaned:	-
Groundwater affected:	-
Groundwater cleaned:	-
Lead contaminant found:	-
Lead cleaned up:	-
No media affected:	Not reported
Unknown media affected:	-
Other cleaned up:	-
Other metals found:	-
Other metals cleaned:	-
Other contaminants found:	-
Other contaminants found description:	-
PAHs found:	-
PAHs cleaned up:	-
PCBs found:	-
PCBs cleaned up:	-
Petro products found:	-
Petro products cleaned:	-
Sediments found:	-
Sediments cleaned:	-
Soil affected:	-
Soil cleaned up:	-
Surface water cleaned:	-

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

VOCs found:	-	
VOCs cleaned:	-	
Cleanup other description:	-	
Num. of cleanup and re-dev. jobs:	-	
Past use greenspace acreage:	-	
Past use residential acreage:	-	
Surface Water:	-	
Past use commercial acreage:	-	
Past use industrial acreage:	2.87	
Future use greenspace acreage:	-	
Future use residential acreage:	-	
Future use commercial acreage:	-	
Future use industrial acreage:	-	
Superfund Fed. landowner flag:	-	
Arsenic cleaned up:	-	
Cadmium cleaned up:	-	
Chromium cleaned up:	-	
Copper cleaned up:	-	
Iron cleaned up:	-	
mercury cleaned up:	-	
Nickel Cleaned Up:	-	
No clean up:	-	
Pesticides cleaned up:	-	
Selenium cleaned up:	-	
SVOCs cleaned up:	-	
Unknown clean up:	-	
Arsenic contaminant found:	-	
Cadmium contaminant found:	-	
Chromium contaminant found:	-	
Copper contaminant found:	-	
Iron contaminant found:	-	
Mercury contaminant found:	-	
Nickel contaminant found:	-	
No contaminant found:	-	
Pesticides contaminant found:	-	
Selenium contaminant found:	-	
SVOCs contaminant found:	-	
Unknown contaminant found:	-	
Future Use: Multistory	-	
Media affected Bluiding Material:	-	
Media affected indoor air:	-	
Building material media cleaned up:	-	
Indoor air media cleaned up:	-	
Unknown media cleaned up:	-	
Past Use: Multistory	-	Not reported
Property Description:	-	The Property consists of an office building, maintenance shop, warehouse and outdoor storage yard located at 2623 Center Street in an industrial area of Omaha. The Property parcel encompasses approximately 2.87-acres (125,296 square feet [s.f.]) with three structures located thereon (4,000 s.f. office, 4,200 s.f. shop, and 3,200 s.f. warehouse). The Property is currently leased by Aggregate Production Associates, Inc. (owner) to Utility Services Group (USG), which utilizes the Property for office space, fleet maintenance, and equipment storage for their business operations (underground utilities contractor). The area surrounding the Property is characterized by highway and railroad corridors, industrial land, and single-family residential use. In the opinion of the environmental professionals,

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FORMER AGGREGATE PRODUCTION (Continued)

1023619593

there are no significant data gaps that affect our ability to identify recognized environmental conditions in connection with the Property. Based on historical sources, the Property was apparently undeveloped land until the 1930s. From the 1930s to 1945, the Property was part of the adjoining cereal mill facility and was utilized as a seven bay shop facility for the mill. From 1945 to 1980, the Property was a portion of the adjoining cereal mill facility or Salvation Army facility. From 1980 to present the Property has been utilized by (oldest listing to current, respectively) Drum Industries, Mid-American Industrial Storage, JJ Parks Asphalt, Aggregate Production Associates, and USG. Adjoining parcels to the east have historically been utilized for bulk oil storage. The historic land use of the Property is a concern, and the historic utilization of adjoining parcels for bulk oil storage represents a recognized environmental condition for the Property.

Below Poverty Number:	1804
Below Poverty Percent:	36.29
Meidan Income:	2211
Meidan Income Number:	3172
Meidan Income Percent:	63.81
Vacant Housing Number:	118
Vacant Housing Percent:	6.37
Unemployed Number:	336
Unemployed Percent:	6.76

FINDS:

Registry ID: 110070034322

Click Here:

Environmental Interest/Information System:

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

**C6
 WNW
 < 1/8
 0.020 mi.
 105 ft.**

**UTILITIES SERVICES GROUP
 2623 CENTER ST
 OMAHA, NE 68105**

**NE SHWS S108784983
 NE BROWNFIELDS N/A**

Site 2 of 3 in cluster C

**Relative:
 Higher
 Actual:
 1116 ft.**

SHWS:
 Name: UTILITIES SERVICES GROUP
 Address: 2623 CENTER ST
 City,State,Zip: OMAHA, NE 68105
 DEQ ID: 64016
 Program Acronym: SF
 Directions to Facility: Bds:N-Center,W-27,S-Dorcas,E-2501 Center St

BROWNFIELDS:

Name: UTILITIES SERVICES GROUP
 Address: 2623 CENTER ST
 City,State,Zip: OMAHA, NE 68105
 Facility ID: 64016
 Facility Location Desc: Bds:N-Center,W-27,S-Dorcas,E-2501 Center St

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

UTILITIES SERVICES GROUP (Continued)

S108784983

Program Acronym: BF
 Status: O
 latitude: 41.241389
 Longitude: 95.951693
 Lat/Lon Description: approximate northwest corner property
 lat/Lon Source: DIG-DOQ
 Program ID: BF0227
 Program Description: Aggregate Production
 Program Status: Active
 Fstatus Decode Values: Operating

**C7
 WNW
 < 1/8
 0.020 mi.
 105 ft.**

**DRUM INDUSTRIES
 2623 CENTER ST
 OMAHA, NE 68105**

**SEMS-ARCHIVE 1000294214
 RCRA NonGen / NLR NED981707730**

Site 3 of 3 in cluster C

**Relative:
 Higher
 Actual:
 1116 ft.**

SEMS Archive:
 Site ID: 0702053
 EPA ID: NED981707730
 Name: DRUM INDUSTRIES
 Address: 2623 CENTER ST
 Address 2: Not reported
 City,State,Zip: OMAHA, NE 68105
 Cong District: 02
 FIPS Code: 31055
 FF: N
 NPL: Not on the NPL
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:

Region: 07
 Site ID: 0702053
 EPA ID: NED981707730
 Site Name: DRUM INDUSTRIES
 NPL: N
 FF: N
 OU: 00
 Action Code: VS
 Action Name: ARCH SITE
 SEQ: 1
 Start Date: Not reported
 Finish Date: 2008-05-01 04:00:00
 Qual: Not reported
 Current Action Lead: EPA Perf In-Hse

Region: 07
 Site ID: 0702053
 EPA ID: NED981707730
 Site Name: DRUM INDUSTRIES
 NPL: N
 FF: N
 OU: 00
 Action Code: DS
 Action Name: DISCVRY
 SEQ: 1
 Start Date: 1988-02-03 05:00:00
 Finish Date: 1988-02-03 05:00:00

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

Qual: Not reported
 Current Action Lead: EPA Perf

 Region: 07
 Site ID: 0702053
 EPA ID: NED981707730
 Site Name: DRUM INDUSTRIES
 NPL: N
 FF: N
 OU: 00
 Action Code: PA
 Action Name: PA
 SEQ: 1
 Start Date: 1995-03-20 05:00:00
 Finish Date: 1995-07-03 04:00:00
 Qual: N
 Current Action Lead: EPA Perf

Region: 07
 Site ID: 0702053
 EPA ID: NED981707730
 Site Name: DRUM INDUSTRIES
 NPL: N
 FF: N
 OU: 00
 Action Code: BB
 Action Name: PRP RV
 SEQ: 1
 Start Date: 1989-06-15 04:00:00
 Finish Date: 1989-06-23 04:00:00
 Qual: C
 Current Action Lead: St Ovrsght

RCRA NonGen / NLR:
 Date Form Received by Agency: 1995-09-19 00:00:00.0
 Handler Name: DRUM INDUSTRIES, INC.
 Handler Address: 2623 CENTER ST
 Handler City,State,Zip: OMAHA, NE 68105
 EPA ID: NED981707730
 Contact Name: K.W. HINDMAN
 Contact Address: 7921 S. 84TH STREET #18
 Contact City,State,Zip: OMAHA, NE 68128
 Contact Telephone: 402-592-2340
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 07
 Land Type: Not reported
 Federal Waste Generator Description: Not a generator, verified
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Not reported
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: S. 84TH STREET #18

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

Mailing City,State,Zip:	OMAHA, NE 68128
Owner Name:	K WILLIAM HINDMAN
Owner Type:	Private
Operator Name:	Not reported
Operator Type:	Not reported
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRC Permit Baseline:	Not on the Baseline
2018 GPRC Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRC Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2000-09-16 13:20:01.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

Recycler Activity Without Storage: Not reported
Manifest Broker: Not reported
Sub-Part P Indicator: No

Hazardous Waste Summary:

Waste Code: D001
Waste Description: IGNITABLE WASTE

Waste Code: F001
Waste Description: THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING: TETRACHLOROETHYLENE, TRICHLOROETHYLENE, METHYLENE CHLORIDE, 1,1,1-TRICHLOROETHANE, CARBON TETRACHLORIDE AND CHLORINATED FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN DEGREASING CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste Code: F002
Waste Description: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste Code: F003
Waste Description: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste Code: F005
Waste Description: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: K WILLIAM HINDMAN
Legal Status: Private
Date Became Current: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

Date Ended Current: Not reported
 Owner/Operator Address: Not reported
 Owner/Operator City,State,Zip: Not reported
 Owner/Operator Telephone: Not reported
 Owner/Operator Telephone Ext: Not reported
 Owner/Operator Fax: Not reported
 Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1995-09-19 00:00:00.0
 Handler Name: DRUM INDUSTRIES, INC.
 Federal Waste Generator Description: Not a generator, verified
 State District Owner: Not reported
 Large Quantity Handler of Universal Waste: No
 Recognized Trader Importer: No
 Recognized Trader Exporter: No
 Spent Lead Acid Battery Importer: No
 Spent Lead Acid Battery Exporter: No
 Current Record: Yes
 Non Storage Recycler Activity: Not reported
 Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Codes: No NAICS Codes Found

Facility Has Received Notices of Violation:

Found Violation: Yes
 Agency Which Determined Violation: State
 Violation Short Description: Generators - General
 Date Violation was Determined: 1987-11-23 00:00:00.0
 Actual Return to Compliance Date: 1988-03-16 00:00:00.0
 Return to Compliance Qualifier: Observed
 Violation Responsible Agency: State
 Scheduled Compliance Date: 1988-01-23 00:00:00.0
 Enforcement Identifier: 001
 Date of Enforcement Action: 1987-12-21 00:00:00.0
 Enforcement Responsible Agency: State
 Enforcement Docket Number: Not reported
 Enforcement Attorney: Not reported
 Corrective Action Component: No
 Appeal Initiated Date: Not reported
 Appeal Resolution Date: Not reported
 Disposition Status Date: Not reported
 Disposition Status: Not reported
 Disposition Status Description: Not reported
 Consent/Final Order Sequence Number: Not reported
 Consent/Final Order Respondent Name: Not reported
 Consent/Final Order Lead Agency: Not reported
 Enforcement Type: WRITTEN INFORMAL
 Enforcement Responsible Person: Not reported
 Enforcement Responsible Sub-Organization: Not reported
 SEP Sequence Number: Not reported
 SEP Expenditure Amount: Not reported
 SEP Scheduled Completion Date: Not reported
 SEP Actual Date: Not reported
 SEP Defaulted Date: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

SEP Type: Not reported
 SEP Type Description: Not reported
 Proposed Amount: Not reported
 Final Monetary Amount: Not reported
 Paid Amount: Not reported
 Final Count: Not reported
 Final Amount: Not reported

Found Violation: No
 Agency Which Determined Violation: Not reported
 Violation Short Description: Not reported
 Date Violation was Determined: Not reported
 Actual Return to Compliance Date: Not reported
 Return to Compliance Qualifier: Not reported
 Violation Responsible Agency: Not reported
 Scheduled Compliance Date: Not reported
 Enforcement Identifier: Not reported
 Date of Enforcement Action: Not reported
 Enforcement Responsible Agency: Not reported
 Enforcement Docket Number: Not reported
 Enforcement Attorney: Not reported
 Corrective Action Component: Not reported
 Appeal Initiated Date: Not reported
 Appeal Resolution Date: Not reported
 Disposition Status Date: Not reported
 Disposition Status: Not reported
 Disposition Status Description: Not reported
 Consent/Final Order Sequence Number: Not reported
 Consent/Final Order Respondent Name: Not reported
 Consent/Final Order Lead Agency: Not reported
 Enforcement Type: Not reported
 Enforcement Responsible Person: Not reported
 Enforcement Responsible Sub-Organization: Not reported
 SEP Sequence Number: Not reported
 SEP Expenditure Amount: Not reported
 SEP Scheduled Completion Date: Not reported
 SEP Actual Date: Not reported
 SEP Defaulted Date: Not reported
 SEP Type: Not reported
 SEP Type Description: Not reported
 Proposed Amount: Not reported
 Final Monetary Amount: Not reported
 Paid Amount: Not reported
 Final Count: Not reported
 Final Amount: Not reported

Found Violation: Yes
 Agency Which Determined Violation: State
 Violation Short Description: Generators - General
 Date Violation was Determined: 1988-02-03 00:00:00.0
 Actual Return to Compliance Date: 1988-06-02 00:00:00.0
 Return to Compliance Qualifier: Observed
 Violation Responsible Agency: State
 Scheduled Compliance Date: Not reported
 Enforcement Identifier: 002
 Date of Enforcement Action: 1988-02-10 00:00:00.0
 Enforcement Responsible Agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	FINAL 3008(A) COMPLIANCE ORDER
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	1988-02-03 00:00:00.0
Actual Return to Compliance Date:	1988-02-23 00:00:00.0
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	1988-03-02 00:00:00.0
Enforcement Identifier:	002
Date of Enforcement Action:	1988-02-10 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	FINAL 3008(A) COMPLIANCE ORDER
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Formal Enforcement Agreement or Order
Date Violation was Determined:	1988-09-02 00:00:00.0
Actual Return to Compliance Date:	1989-01-01 00:00:00.0
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	1988-11-02 00:00:00.0
Enforcement Identifier:	008
Date of Enforcement Action:	1988-09-02 00:00:00.0
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	FINAL 3008(A) COMPLIANCE ORDER
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	44300
Final Monetary Amount:	44300
Paid Amount:	Not reported
Final Count:	1
Final Amount:	44300
Evaluation Action Summary:	
Evaluation Date:	1987-11-23 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	NECW
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	1988-03-16 00:00:00.0
Scheduled Compliance Date:	1988-01-23 00:00:00.0
Date of Request:	Not reported
Date Response Received:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DRUM INDUSTRIES (Continued)

1000294214

Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	1987-01-15 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	No
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	NECW
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	Not reported
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	1988-02-03 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	FOCUSED COMPLIANCE INSPECTION
Evaluation Responsible Person Identifier:	NECW
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	1988-06-02 00:00:00.0
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	1988-02-03 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	FOCUSED COMPLIANCE INSPECTION
Evaluation Responsible Person Identifier:	NECW
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	1988-02-23 00:00:00.0
Scheduled Compliance Date:	1988-03-02 00:00:00.0
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	1988-09-02 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE SCHEDULE EVALUATION
Evaluation Responsible Person Identifier:	NECW
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	1989-01-01 00:00:00.0
Scheduled Compliance Date:	1988-11-02 00:00:00.0
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

Map ID
 Direction
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 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

B8
SSE
 < 1/8
 0.021 mi.
 110 ft.

MILDER OIL CO
1940 SOUTH 26TH STREET
OMAHA, NE 68105

Site 2 of 11 in cluster B

RCRA NonGen / NLR
ICIS
FINDS
ECHO

1000471578
NED986374528

Relative:
Lower

RCRA NonGen / NLR:

Date Form Received by Agency: 1997-07-10 00:00:00.0

Actual:
1088 ft.

Handler Name: MILDER OIL COMPANY
 Handler Address: 1940 SOUTH 26TH STREET
 Handler City,State,Zip: OMAHA, NE 68105
 EPA ID: NED986374528
 Contact Name: KATHLEEN TROTTER
 Contact Address: PO BOX 3707
 Contact City,State,Zip: OMAHA, NE 68103
 Contact Telephone: 402-342-2111
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 07
 Land Type: Not reported
 Federal Waste Generator Description: Not a generator, verified
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Not reported
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: PO BOX 3707
 Mailing City,State,Zip: OMAHA, NE 68103
 Owner Name: MYRON H HILDER
 Owner Type: Private
 Operator Name: Not reported
 Operator Type: Not reported
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No
 Smelting Melting and Refining Furnace Exemption: No
 Underground Injection Control: No
 Off-Site Waste Receipt: No
 Universal Waste Indicator: No
 Universal Waste Destination Facility: No
 Federal Universal Waste: No
 Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site Converter Treatment storage and Disposal Facility: Not reported
 Active Site State-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site State-Reg Handler: ---
 Federal Facility Indicator: Not reported
 Hazardous Secondary Material Indicator: NN
 Sub-Part K Indicator: Not reported
 Commercial TSD Indicator: No
 Treatment Storage and Disposal Type: Not reported
 2018 GPRA Permit Baseline: Not on the Baseline
 2018 GPRA Renewals Baseline: Not on the Baseline
 Permit Renewals Workload Universe: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

MILDER OIL CO (Continued)

1000471578

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2000-09-16 13:20:02.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	MYRON H HILDER
Legal Status:	Private
Date Became Current:	Not reported
Date Ended Current:	Not reported
Owner/Operator Address:	PO BOX 3707
Owner/Operator City,State,Zip:	OMAHA, NE 68103
Owner/Operator Telephone:	402-342-2111
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1997-07-10 00:00:00.0
Handler Name:	MILDER OIL COMPANY
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MILDER OIL CO (Continued)

1000471578

Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:
NAICS Codes: No NAICS Codes Found

Facility Has Received Notices of Violations:
Violations: No Violations Found

Evaluation Action Summary:
Evaluations: No Evaluations Found

ICIS:

Enforcement Action ID: 07-2003-0241
FRS ID: 110004081136
Action Name: MILDER OIL COMPANY
Facility Name: MILDER OIL CO
Facility Address: 1940 S 26TH ST
OMAHA, NE 68103
Enforcement Action Type: CWA 311B6B1 AO For Class I Penalty
Facility County: DOUGLAS
Program System Acronym: ICIS
Enforcement Action Forum Desc: Administrative - Formal
EA Type Code: 311B6B1
Facility SIC Code: Not reported
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.240668
Longitude in Decimal Degrees: -95.949535
Permit Type Desc: Not reported
Program System Acronym: 5415301
Facility NAICS Code: Not reported
Tribal Land Code: Not reported

Facility Name: MILDER OIL CO
Address: 1940 SOUTH 26TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 5172

Facility Name: MILDER OIL CO
Address: 1940 SOUTH 26TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 5172

FINDS:

Registry ID: 110004081136

Click Here:

Environmental Interest/Information System:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MILDER OIL CO (Continued)

1000471578

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and it Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000471578
Registry ID: 110004081136
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110004081136>
Name: MILDER OIL CO
Address: 1940 SOUTH 26TH STREET
City,State,Zip: OMAHA, NE 68105

B9
SSE
< 1/8
0.021 mi.
111 ft.

FORMER MILDER OIL
1946 S 26TH ST
OMAHA, NE
Site 3 of 11 in cluster B

NE LAST **S106495519**
N/A

Relative:
Lower
Actual:
1088 ft.

LAST:
Name: FORMER MILDER OIL
Address: 1946 S 26TH ST
City,State,Zip: OMAHA, NE
File Number: 051304-TD-0815
Owner/RP: FORMER MILDER OIL
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: ABOVEGROUND STORAGE TANK
SFM Num: NONE
Owner Mailing Address: Not reported
Owner Mailing City: Not reported
Owner Mailing State: Not reported
Owner Mailing Zip: Not reported
Discovery Date: 05/13/2004
Material Released: USED OIL DIESEL ?GAS

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

B10
 South
 < 1/8
 0.032 mi.
 170 ft.

MILDER OIL CO
26TH & DORCAS
OMAHA, NE

Site 4 of 11 in cluster B

NE LAST **S105241897**
 N/A

Relative:
Lower

Actual:
1089 ft.

LAST:
 Name: MILDER OIL CO
 Address: 26TH & DORCAS
 City,State,Zip: OMAHA, NE
 File Number: 061893-MF-1130
 Owner/RP: MILDER OIL
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK
 Incident Type: ABOVEGROUND STORAGE TANK
 SFM Num: NONE
 Owner Mailing Address: 1941 S 26TH
 Owner Mailing City: OMAHA
 Owner Mailing State: NE
 Owner Mailing Zip: Not reported
 Discovery Date: 06/17/1993
 Material Released: WASTE OIL

Name: MILDER OIL CO
 Address: 26TH & DORCAS
 City,State,Zip: OMAHA, NE
 File Number: 061893-MF-1130
 Owner/RP: MILDER OIL
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK
 Incident Type: ABOVEGROUND STORAGE TANK
 SFM Num: NONE
 Owner Mailing Address: 1941 S 26TH
 Owner Mailing City: OMAHA
 Owner Mailing State: NE
 Owner Mailing Zip: Not reported
 Discovery Date: 06/17/1993
 Material Released: WASTE OIL

B11
 South
 < 1/8
 0.032 mi.
 170 ft.

MILDER OIL
26TH & DORCAS
OMAHA, NE

Site 5 of 11 in cluster B

NE LAST **S106780334**
 N/A

Relative:
Lower

Actual:
1089 ft.

LAST:
 Name: MILDER OIL
 Address: 26TH & DORCAS
 City,State,Zip: OMAHA, NE
 File Number: 052892-DT-1530
 Owner/RP: MILDER OIL
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
 Incident Type: ABOVEGROUND STORAGE TANK
 SFM Num: NONE
 Owner Mailing Address: PO BOX 3707
 Owner Mailing City: OMAHA
 Owner Mailing State: NE
 Owner Mailing Zip: 68102
 Discovery Date: 05/28/1992
 Material Released: WASTE OIL

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

B12
South
< 1/8
0.032 mi.
170 ft.

RED GIANT
26TH & DORCAS
OMAHA, NE

Site 6 of 11 in cluster B

NE LAST **S106780336**
 N/A

Relative:
Lower

Actual:
1089 ft.

LAST:
Name: RED GIANT
Address: 26TH & DORCAS
City,State,Zip: OMAHA, NE
File Number: 060702-ML-1441
Owner/RP: RED GIANT OIL CO
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type: ABOVEGROUND STORAGE TANK
SFM Num: NONE
Owner Mailing Address: 1701 S 3RD ST
Owner Mailing City: COUNCIL BLUFFS
Owner Mailing State: IA
Owner Mailing Zip: 51503
Discovery Date: 06/07/2002
Material Released: WASTE OIL

Name: RED GIANT
Address: 26TH & DORCAS
City,State,Zip: OMAHA, NE
File Number: 060702-ML-1441
Owner/RP: RED GIANT OIL CO
Facility Status: LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type: ABOVEGROUND STORAGE TANK
SFM Num: NONE
Owner Mailing Address: 1701 S 3RD ST
Owner Mailing City: COUNCIL BLUFFS
Owner Mailing State: IA
Owner Mailing Zip: 51503
Discovery Date: 06/07/2002
Material Released: WASTE OIL

B13
South
< 1/8
0.032 mi.
170 ft.

MILDER OIL COMPANY
26TH & DORCAS ST
OMAHA, NE not p

Site 7 of 11 in cluster B

NE AST **A100459121**
 N/A

Relative:
Lower

Actual:
1089 ft.

AST:
Name: MILDER OIL COMPANY
Address: 26TH & DORCAS ST
City,State,Zip: OMAHA, NE not provid
Facility Id: 1409
Facility Telephone: n/a
Owner Type: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner Addr 2: Not reported
Owner City,St,Zip: Not reported
Owner County: Not reported
Owner Phone: Not reported
Owner Rep Signature: Not reported
Contact Person: Not reported
Contact Title: Not reported
Contact Phone: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

MILDER OIL COMPANY (Continued)

A100459121

Official Title: Not reported
 Fire Department: Not reported
 Fire Department Phone: Not reported
 Notification: Not reported

 Tank Location: Not reported
 Tank Description: Not reported
 Substance: Not reported
 Date Registration Is Received: Not reported
 Comments: Not reported
 Year: Not reported
 Permit Number: Not reported
 Date Received: Not reported
 Receipt: Not reported
 No of Tanks or Piping: Not reported
 Deputy: Not reported
 Date Issued: Not reported
 Approved: Not reported
 Notes: Not reported
 Installation Contractor: Not reported
 Contractor Address: Not reported
 Contractor City: Not reported
 Contractor State: Not reported
 Contractor Zip: Not reported
 Contractor Phone: Not reported

B14
SSE
 < 1/8
 0.040 mi.
 213 ft.

MILDER OIL CO
1941 S 26TH ST
OMAHA, NE 68105

Site 8 of 11 in cluster B

NE BROWNFIELDS **S105529162**
NE SPILLS **N/A**
NE NPDES

Relative:
Lower

Actual:
1088 ft.

BROWNFIELDS:
 Name: MILDER OIL CO
 Address: 1941 S 26TH ST
 City,State,Zip: OMAHA, NE 68105
 Facility ID: 14468
 Facility Location Desc: 1920-21-40-41-2215 S 26; NE&SE Cnrs Dorcas(Vac)&26
 Program Acronym: BF
 Status: C
 latitude: 41.24083
 Longitude: 95.94917
 Lat/Lon Description: 2nd cont prev enclosing above ground stg tnks-15'W
 lat/Lon Source: GPS-WAAS
 Program ID: BF0219
 Program Description: Virgil Anderson
 Program Status: Active
 Fstatus Decode Values: Closed

NE SPILL:
 Name: MILDER OIL BULK PLANT
 Address: 1941 S 26TH ST
 City,State,Zip: OMAHA, NE
 File Number: 022892-ML-0825
 Owner Name: SEARLE PETROLEUM
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
 Incident Type: MOTOR VEHICLE

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

MILDER OIL CO (Continued)

S105529162

SFM Num: NONE
 Owner Mailing Address: PO BOX A
 Owner Mailing City: COUNCIL BLUFFS
 Owner Mailing State: IA
 Owner Mailing Zip: 51502
 Discovery Date: 02/28/1992
 Material Released: DIESEL #5 AND #6

NE NPDES:

Name: MILDER OIL CO
 Address: 1941 S 26TH ST
 City,State,Zip: OMAHA, NE 68105
 Facility ID: 14468
 Directions to Facility: 1920-21-40-41-2215 S 26; NE&SE Cnrs Dorcas(Vac)&26
 Program Acronym: PCS
 Permit: Not reported
 Application Number: Not reported
 Issued: Not reported
 Expires: Not reported
 Extended: Not reported

**B15
 SE
 < 1/8
 0.043 mi.
 225 ft.**

**RROADLANDS INC
 1921 S 26TH ST
 OMAHA, NE 68105**

NE BROWNFIELDS

**S111863962
 N/A**

Site 9 of 11 in cluster B

**Relative:
 Lower
 Actual:
 1088 ft.**

BROWNFIELDS:

Name: RROADLANDS INC
 Address: 1921 S 26TH ST
 City,State,Zip: OMAHA, NE 68105
 Facility ID: 11083
 Facility Location Desc: 1921-41-2215 S 26; SE Cnr Dorcas(Vac)&26th St
 Program Acronym: BF
 Status: M
 latitude: 41.239717
 Longitude: 95.950064
 Lat/Lon Description: southeast corner property
 lat/Lon Source: DIG-DOQ
 Program ID: BF0220
 Program Description: Railroad Land
 Program Status: Active
 Fstatus Decode Values: Merged

**B16
 SE
 < 1/8
 0.043 mi.
 225 ft.**

**WAREHOUSES
 1921 SOUTH 26TH STREET
 OMAHA, NE 68105**

**NE BROWNFIELDS
 NE ASBESTOS**

**S111863961
 N/A**

Site 10 of 11 in cluster B

**Relative:
 Lower
 Actual:
 1088 ft.**

BROWNFIELDS:

Name: ALLIED OIL & SUPPLY INC
 Address: 1921 S 26TH ST
 City,State,Zip: OMAHA, NE 68105
 Facility ID: 100246
 Facility Location Desc: NW & NE Cnrs 26 & Dorcas Sts

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WAREHOUSES (Continued)

S111863961

Program Acronym: BF
Status: O
Latitude: 41.239717
Longitude: 95.950064
Lat/Lon Description: southeast corner property
lat/Lon Source: DIG-DOQ
Program ID: BF0221
Program Description: Not reported
Program Status: Active
Fstatus Decode Values: Operating

Name: ALLIED OIL & SUPPLY INC
Address: 1921 S 26TH ST
City,State,Zip: OMAHA, NE 68105
Facility ID: 100246
Facility Location Desc: NW & NE Cnrs 26 & Dorcas Sts
Program Acronym: BF
Status: O
Latitude: 41.239717
Longitude: 95.950064
Lat/Lon Description: southeast corner property
lat/Lon Source: DIG-DOQ
Program ID: BF0224
Program Description: Allied Oil West Site
Program Status: Active
Fstatus Decode Values: Operating

ASBESTOS:

Name: WAREHOUSES
Address: 1921 SOUTH 26TH STREET
City,State,Zip: OMAHA, NE 68105
Project Notification Date: 08/26/2014
State Project Number: 2014-O346
Business Entity Initials: MAA
Owner Name: R Roadland, Inc.
Start Date: 09/09/2014
Finish Date: 09/16/2014
Demo: -1
Region: Omaha
Year: 2014
Schedule Type: Completed
Project Description: Removal of 2,000 sq. ft. of non-friable floor tile and mastic, 700 sq. ft. of non-friable roof flashing, 40 sq. ft. of friable boiler insulation, 12 sq. ft. of non-friable window glazing, and dismantle 100 In. ft. of friable pipe insulation from demo war

Associated With: Not reported
Contractor Project Number: Not reported
Project Notification Date: 08/26/2014
Business Entity: McGill Asbestos Abatement Co., Inc.
Additional Addresses: Not reported
Square Feet: 2752
Linear Feet: 100
Cubic Feet: Not reported
Start Time: 1030
Stop Time: 1200
Fee Paid: False
Acknowledgement Sent: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WAREHOUSES (Continued)

S111863961

Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	True
Final Report:	Not reported
Final Report Rec Date:	Not reported
10 Day Waiver:	False
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	11

B17
SSE
 < 1/8
 0.043 mi.
 226 ft.

CAN PAC RECYCLING, INC.
2215 SOUTH 26TH STREET
OMAHA, NE 68105
 Site 11 of 11 in cluster B

NE SWRCY S121796047
N/A

Relative:
Lower
Actual:
1088 ft.

SWRCY:	
Name:	CAN PAC RECYCLING, INC.
Address:	2215 SOUTH 26TH STREET
City,State,Zip:	OMAHA, NE 68105
Mail Address:	2215 S. 26th Street, Omaha, NE 68105
Contact:	Pat Salvatore
Facility Telephone:	402-346-2489
Fax:	402-346-9269
Email:	Not reported
Hours of Operation:	Mon-Fri 9-5 Sat 9-2 Closed for lunch weekdays 12:30 to 1:00
Recycling:	,Metals,Other Recycling,Plastic
Hazardous Waste:	,Batteries
E Scrap:	Not reported
Other:	Not reported

D18
SSW
 < 1/8
 0.048 mi.
 254 ft.

PAXTON MITCHELL CO
2614 MARTHA ST
OMAHA, NE 68105
 Site 1 of 3 in cluster D

NE UST U004058332
N/A

Relative:
Higher
Actual:
1098 ft.

UST:	
Name:	PAXTON MITCHELL CO
Address:	2614 MARTHA ST
City:	OMAHA
Zip:	68105

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PAXTON MITCHELL CO (Continued)

U004058332

Facility:

Facility ID: 6867
Owner Name: PAXTON-MITCHELL CO
Owner Address: 2614 MARTHA ST
Owner City,St,Zip: OMAHA, NE 68105
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: PAXTON-MITCHELL CO
Owner Address: 2614 MARTHA ST
Owner City,St,Zip: OMAHA, NE 68105
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

D19
SSW
< 1/8
0.048 mi.
254 ft.

**GREDE OMAHA LLC - FORMER SITE OF
2614 MARTHA STREET
OMAHA, NE 68105**
Site 2 of 3 in cluster D

**CORRACTS 1001027537
RCRA NonGen / NLR NER000000372
2020 COR ACTION
ICIS**

**Relative:
Higher
Actual:
1098 ft.**

CORRACTS:

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: INVESTIGATION IMPOSITION
Actual Date: 00:00.0
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: INVESTIGATION WORKPLAN APPROVED
Actual Date: 00:00.0
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: INVESTIGATION COMPLETE
Actual Date: 00:00.0
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: REMEDY DECISION
Actual Date: 00:00.0
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: REMEDY CONSTRUCTION-REMEDY CONSTRUCTED
Actual Date: Not reported
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: HUMAN EXPOSURES CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE
Actual Date: Not reported
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: RELEASE TO GW CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE
Actual Date: 00:00.0
Air Release Indicator: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: READY FOR ANTICIPATED USE DETERMINATION - READY FOR ANTICIPATED USE
Actual Date: Not reported
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: RFA COMPLETED
Actual Date: 00:00.0
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

Name: GREDE OMAHA LLC - FORMER SITE OF
Address: 2614 MARTHA STREET
Address 2: Not reported
EPA ID: NER000000372
Area Name: ENTIRE FACILITY
Corrective Action: CA PRIORITIZATION-LOW CA PRIORITY
Actual Date: 00:00.0
Air Release Indicator: Not reported
Groundwater Release Indicator: Not reported
Soil Release Indicator: Not reported
Surface Water Release Indicator: Not reported

[Click this hyperlink](#) while viewing on your computer to access additional CORRACTS: detail in the EDR Site Report.

RCRA NonGen / NLR:

Date Form Received by Agency: 2014-05-01 00:00:00.0
Handler Name: GREDE OMAHA LLC - FORMER SITE OF
Handler Address: 2614 MARTHA STREET
Handler City,State,Zip: OMAHA, NE 68105
EPA ID: NER000000372
Contact Name: GARY RODENBURG
Contact Address: MARTHA STREET
Contact City,State,Zip: OMAHA, NE 68108
Contact Telephone: 402-237-9059
Contact Fax: Not reported
Contact Email: WMARLATT@GREDE.COM
Contact Title: Not reported
EPA Region: 07

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Corrective Action Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	MARTHA STREET
Mailing City, State, Zip:	OMAHA, NE 68105
Owner Name:	GREDE OMAHA LLC
Owner Type:	Private
Operator Name:	GREDE OMAHA LLC
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	Yes
Corrective Action Workload Universe:	Yes
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	Yes
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	Low
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	No
Groundwater Controls Indicator:	Yes
Operating TSD Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2014-05-14 08:44:07.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Waste Code:	F003
Waste Description:	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	GREDE OMAHA LLC
Legal Status:	Private
Date Became Current:	2011-11-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Owner
Owner/Operator Name:	GREDE OMAHA LLC
Legal Status:	Private
Date Became Current:	2011-11-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	2614 MARTHA STREET
Owner/Operator City,State,Zip:	OMAHA, NE 68105
Owner/Operator Telephone:	402-237-9059
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
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Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Owner/Operator Name: GREDE OMAHA LLC
 Legal Status: Private
 Date Became Current: 2011-11-01 00:00:00.
 Date Ended Current: Not reported
 Owner/Operator Address: Not reported
 Owner/Operator City,State,Zip: Not reported
 Owner/Operator Telephone: Not reported
 Owner/Operator Telephone Ext: Not reported
 Owner/Operator Fax: Not reported
 Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
 Owner/Operator Name: DON'T KNOW
 Legal Status: Private
 Date Became Current: Not reported
 Date Ended Current: Not reported
 Owner/Operator Address: DON'T KNOW
 Owner/Operator City,State,Zip: DON'T KNOW, NE
 Owner/Operator Telephone: Not reported
 Owner/Operator Telephone Ext: Not reported
 Owner/Operator Fax: Not reported
 Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
 Owner/Operator Name: GREDE OMAHA LLC
 Legal Status: Private
 Date Became Current: 2011-11-01 00:00:00.
 Date Ended Current: Not reported
 Owner/Operator Address: 2614 MARTHA STREET
 Owner/Operator City,State,Zip: OMAHA, NE 68105
 Owner/Operator Telephone: 402-237-9059
 Owner/Operator Telephone Ext: Not reported
 Owner/Operator Fax: Not reported
 Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1995-06-30 00:00:00.0
 Handler Name: PAXTON MITCHELL
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 State District Owner: Not reported
 Large Quantity Handler of Universal Waste: No
 Recognized Trader Importer: No
 Recognized Trader Exporter: No
 Spent Lead Acid Battery Importer: No
 Spent Lead Acid Battery Exporter: No
 Current Record: No
 Non Storage Recycler Activity: Not reported
 Electronic Manifest Broker: Not reported

Receive Date: 2013-10-11 00:00:00.0
 Handler Name: GREDE OMAHA LLC
 Federal Waste Generator Description: Small Quantity Generator
 State District Owner: Not reported
 Large Quantity Handler of Universal Waste: No
 Recognized Trader Importer: No
 Recognized Trader Exporter: No
 Spent Lead Acid Battery Importer: No

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported
Receive Date:	2014-05-01 00:00:00.0
Handler Name:	GREDE OMAHA LLC - FORMER SITE OF
Federal Waste Generator Description:	Not a generator, verified
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Code:	331511
NAICS Description:	IRON FOUNDRIES

Facility Has Received Notices of Violation:

Found Violation:	No
Agency Which Determined Violation:	Not reported
Violation Short Description:	Not reported
Date Violation was Determined:	Not reported
Actual Return to Compliance Date:	Not reported
Return to Compliance Qualifier:	Not reported
Violation Responsible Agency:	Not reported
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	Not reported
Date of Enforcement Action:	Not reported
Enforcement Responsible Agency:	Not reported
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	Not reported
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	Not reported
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	EPA
Violation Short Description:	Generators - General
Date Violation was Determined:	1994-12-14 00:00:00.0
Actual Return to Compliance Date:	1995-05-09 00:00:00.0
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	EPA
Scheduled Compliance Date:	1994-12-24 00:00:00.0
Enforcement Identifier:	000
Date of Enforcement Action:	1994-12-14 00:00:00.0
Enforcement Responsible Agency:	EPA
Enforcement Docket Number:	Not reported
Enforcement Attorney:	R7
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R7DLG
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	No
Agency Which Determined Violation:	Not reported
Violation Short Description:	Not reported
Date Violation was Determined:	Not reported
Actual Return to Compliance Date:	Not reported
Return to Compliance Qualifier:	Not reported
Violation Responsible Agency:	Not reported
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	Not reported
Date of Enforcement Action:	Not reported
Enforcement Responsible Agency:	Not reported
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	Not reported

Map ID
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Database(s)

EDR ID Number
EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	Not reported
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	No
Agency Which Determined Violation:	Not reported
Violation Short Description:	Not reported
Date Violation was Determined:	Not reported
Actual Return to Compliance Date:	Not reported
Return to Compliance Qualifier:	Not reported
Violation Responsible Agency:	Not reported
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	Not reported
Date of Enforcement Action:	Not reported
Enforcement Responsible Agency:	Not reported
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	Not reported
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	Not reported
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 2012-08-16 00:00:00.0
Evaluation Responsible Agency: EPA
Found Violation: No
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: R7DNW
Evaluation Responsible Sub-Organization: ENSV
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 1994-12-14 00:00:00.0
Evaluation Responsible Agency: EPA
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: R7DLG
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: 1995-05-09 00:00:00.0
Scheduled Compliance Date: 1994-12-24 00:00:00.0
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2021-02-24 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: No
Evaluation Type Description: FOCUSED COMPLIANCE INSPECTION
Evaluation Responsible Person Identifier: DTZ
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 1997-09-23 00:00:00.0
Evaluation Responsible Agency: EPA
Found Violation: No
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: R7DLG
Evaluation Responsible Sub-Organization: ENSV
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Map ID
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

GREDE OMAHA LLC - FORMER SITE OF (Continued)

1001027537

2020 COR ACTION:

EPA ID: NER000000372
Region: 7
Action: Not reported

ICIS:

Enforcement Action ID: NECOOA00003105500015220
FRS ID: 110001507922
Action Name: Sent Notice of Violation
Facility Name: GREDE OMAHA LLC
Facility Address: 2614 MARTHA ST
OMAHA, NE 68105-3261
Enforcement Action Type: Notice of Violation
Facility County: DOUGLAS
Program System Acronym: AIR
Enforcement Action Forum Desc: Administrative - Informal
EA Type Code: NOV
Facility SIC Code: 3321
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.237780
Longitude in Decimal Degrees: -95.9509
Permit Type Desc: Not reported
Program System Acronym: NECOO0003105500015
Facility NAICS Code: 331511
Tribal Land Code: Not reported

Enforcement Action ID: NECOOA0000310550001500220
FRS ID: 110001507922
Action Name: GREDE OMAHA LLC 310550001500220
Facility Name: GREDE OMAHA LLC
Facility Address: 2614 MARTHA ST
OMAHA, NE 68105-3261
Enforcement Action Type: Notice of Violation
Facility County: DOUGLAS
Program System Acronym: AIR
Enforcement Action Forum Desc: Administrative - Informal
EA Type Code: NOV
Facility SIC Code: 3321
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.237780
Longitude in Decimal Degrees: -95.9509
Permit Type Desc: Not reported
Program System Acronym: NECOO0003105500015
Facility NAICS Code: 331511
Tribal Land Code: Not reported

Map ID
Direction
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

D20
SSW
< 1/8
0.048 mi.
254 ft.

PAXTON-MITCHELL COMPANY
2614 MARTHA ST
OMAHA, NE
Site 3 of 3 in cluster D

NE LUST S107690953
NE TIER 2 N/A

Relative:
Higher
Actual:
1098 ft.

LUST:
Name: PAXTON-MITCHELL COMPANY
Address: 2614 MARTHA ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 12078-DBH-1530
Owner/RP: PAXTON-MITCHELL COMPANY
SFM Num: 6867
Owner Mailing Address: 2614 MARTHA ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68105
Discovery Date: 12/07/1988
Material Released: DIESEL

TIER 2:

Name: GREDE OMAHA LLC
Address: 2614 MARTHA ST
City,State,Zip: OMAHA, NE 68105-3261
Facility ID: 10536

Year: 2011
SR No: 1079
Location: Bds: N-Dorcas,S-Kent,W-28St&I80,E-26St&27Ave&UPRR
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2009
SR No: 1171
Location: Bds: N-Dorcas,S-Kent,W-28St&I80,E-26St&27Ave&UPRR
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2008
SR No: 1109
Location: Bds: N-Dorcas,S-Kent,W-28St&I80,E-26St&27Ave&UPRR
Mailing Name: Not reported
Mailing Address: Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PAXTON-MITCHELL COMPANY (Continued)

S107690953

Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2007
SR No: 1148
Location: Bds: N-Dorcas,S-Kent,W-28St&I80,E-26St&27Ave&UPRR
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2006
SR No: Not reported
Location: Not reported
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Chemical:
Facid: 10536
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 7439896
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 4
Chemical ID: 4633
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): IRON, (CAST)
Solid: Not reported
Storage Code: Not reported

Map ID
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

PAXTON-MITCHELL COMPANY (Continued)

S107690953

Chemical Reporting Name(Trade Name): CASTINGS GRAY/DUCTILE; CAST IRON RETURNS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10536
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 1318747
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 4627
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): CLAY
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): ALAPATCH CLAY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10536
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 7439896
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 4
Chemical ID: 4694
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): IRON
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): NODULAR IRON RETURNS
sudrel: Not reported
tempcd: Not reported

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MAP FINDINGS

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Database(s)

EDR ID Number
 EPA ID Number

PAXTON-MITCHELL COMPANY (Continued)

S107690953

trdsec:	Not reported
Facid:	10536
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	7439896
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4634
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	STEEL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	STEEL SCRAP
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

21
West
< 1/8
0.066 mi.
349 ft.

OAKCREEK PAINTING INC (CLOSED)
2711 SHIRLEY
OMAHA, NE 68164

RCRA NonGen / NLR **1001968626**
NER000004861

Relative:
Higher
Actual:
1141 ft.

RCRA NonGen / NLR:	
Date Form Received by Agency:	2000-05-01 00:00:00.0
Handler Name:	OAKCREEK PAINTING INC (CLOSED)
Handler Address:	2711 SHIRLEY
Handler City,State,Zip:	OMAHA, NE 68164
EPA ID:	NER000004861
Contact Name:	DON JONES
Contact Address:	11668 MEREDITH AVENUE
Contact City,State,Zip:	OMAHA, NE 68164
Contact Telephone:	402-681-4279
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	07
Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	MEREDITH AVENUE

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Database(s)

EDR ID Number
 EPA ID Number

OAKCREEK PAINTING INC (CLOSED) (Continued)

1001968626

Mailing City,State,Zip:	OMAHA, NE 68164
Owner Name:	DON JONES
Owner Type:	Private
Operator Name:	Not reported
Operator Type:	Not reported
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRC Permit Baseline:	Not on the Baseline
2018 GPRC Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRC Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2000-09-16 13:20:04.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OAKCREEK PAINTING INC (CLOSED) (Continued)

1001968626

Recycler Activity Without Storage: Not reported
Manifest Broker: Not reported
Sub-Part P Indicator: No

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: DON JONES
Legal Status: Private
Date Became Current: Not reported
Date Ended Current: Not reported
Owner/Operator Address: 11668 MEREDITH AVENUE
Owner/Operator City,State,Zip: OMAHA, NE 68164
Owner/Operator Telephone: 402-681-4279
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2000-05-01 00:00:00.0
Handler Name: OAKCREEK PAINTING INC (CLOSED)
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Codes: No NAICS Codes Found

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

E22
ESE
1/8-1/4
0.153 mi.
810 ft.

MIDLANDS INTERNATIONAL
2121 SOUTH 24TH
OMAHA, NE 68107
Site 1 of 3 in cluster E

RCRA-SQG 1001118633
NER000002980

Relative:
Higher

RCRA-SQG:
Date Form Received by Agency: 1996-09-04 00:00:00.0
Handler Name: MIDLANDS INTERNATIONAL
Handler Address: 2121 SOUTH 24TH
Handler City,State,Zip: OMAHA, NE 68107
EPA ID: NER000002980
Contact Name: GLENN HARRE

Actual:
1138 ft.

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

MIDLANDS INTERNATIONAL (Continued)

1001118633

Contact Address:	2121 SOUTH 24TH
Contact City,State,Zip:	OMAHA, NE 68107
Contact Telephone:	402-345-8498
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	07
Land Type:	Private
Federal Waste Generator Description:	Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	SOUTH 24TH
Mailing City,State,Zip:	OMAHA, NE 68107
Owner Name:	SUPERIOR LIGHT & SIGN
Owner Type:	Private
Operator Name:	Not reported
Operator Type:	Not reported
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRC Permit Baseline:	Not on the Baseline
2018 GPRC Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRC Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

MIDLANDS INTERNATIONAL (Continued)

1001118633

Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDU Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2000-09-16 13:20:04.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code:	F003
Waste Description:	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste Code:	F005
Waste Description:	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	SUPERIOR LIGHT & SIGN
Legal Status:	Private
Date Became Current:	Not reported
Date Ended Current:	Not reported
Owner/Operator Address:	2121 SOUTH 24TH
Owner/Operator City,State,Zip:	OMAHA, NE 68107
Owner/Operator Telephone:	402-345-0800
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MIDLANDS INTERNATIONAL (Continued)

1001118633

Historic Generators:

Receive Date: 1996-09-04 00:00:00.0
Handler Name: MIDLANDS INTERNATIONAL
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Codes: No NAICS Codes Found

Facility Has Received Notices of Violation:

Found Violation: No
Agency Which Determined Violation: Not reported
Violation Short Description: Not reported
Date Violation was Determined: Not reported
Actual Return to Compliance Date: Not reported
Return to Compliance Qualifier: Not reported
Violation Responsible Agency: Not reported
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MIDLANDS INTERNATIONAL (Continued)

1001118633

Evaluation Action Summary:
Evaluation Date: 1997-02-12 00:00:00.0
Evaluation Responsible Agency: EPA
Found Violation: No
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: R7CSS
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

E23 BROWNING FERRIS IND. NE LUST S104916440
ESE 2121 SOUTH 24TH STREET N/A
1/8-1/4 OMAHA, NE
0.153 mi.
810 ft. Site 2 of 3 in cluster E

Relative: LUST:
Higher Name: BROWNING FERRIS IND.
Actual: Address: 2121 SOUTH 24TH STREET
1138 ft. City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 012990-99-0007
Owner/RP: BROWNING FERRIS IND.
SFM Num: 2488
Owner Mailing Address: 2121 SOUTH 24TH ST.
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: Not reported
Discovery Date: 12/08/1989
Material Released: GASOLINE, DIESEL

E24 BROWNING FERRIS IND NE INC NE UST U004054530
ESE 2121 S 24TH ST N/A
1/8-1/4 OMAHA, NE 68101
0.153 mi.
810 ft. Site 3 of 3 in cluster E

Relative: UST:
Higher Name: BROWNING FERRIS IND NE INC
Actual: Address: 2121 S 24TH ST
1138 ft. City: OMAHA
Zip: 68101
Facility:
Facility ID: 2488
Owner Name: BROWNING-FERRIS IND NE INC
Owner Address: 2121 S 24TH ST
Owner City,St,Zip: OMAHA, NE 68101
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BROWNING FERRIS IND NE INC (Continued)

U004054530

Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 2

Owner: BROWNING-FERRIS IND NE INC
Owner Address: 2121 S 24TH ST
Owner City,St,Zip: OMAHA, NE 68101
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

F25
SE
1/8-1/4
0.157 mi.
831 ft.

KITTY CLOVER
2200 S 24TH ST
OMAHA, NE 68108
Site 1 of 4 in cluster F

NE LUST U003945743
NE UST N/A
NE SPILLS
NE AIRS

Relative:
Higher
Actual:
1147 ft.

LUST:
Name: KITTY CLOVER
Address: 2200 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040788-TH-1105
Owner/RP: KITTY CLOVER
SFM Num: 7648
Owner Mailing Address: 387 PARK AVE SOUTH
Owner Mailing City: NEW YORK
Owner Mailing State: NY
Owner Mailing Zip: 10016
Discovery Date: 04/07/1988
Material Released: GASOLINE, DIESEL

Name: KITTY CLOVER
Address: 2200 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040788-TH-1105
Owner/RP: KITTY CLOVER
SFM Num: 7648
Owner Mailing Address: 387 PARK AVE SOUTH
Owner Mailing City: NEW YORK
Owner Mailing State: NY
Owner Mailing Zip: 10016
Discovery Date: 04/07/1988
Material Released: GASOLINE, DIESEL

UST:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

KITTY CLOVER (Continued)

U003945743

Name: KITTY CLOVER
Address: 2200 S 24TH ST
City: OMAHA
Zip: 68108

Facility:

Facility ID: 7648
Owner Name: CULBRO CORPORATION
Owner Address: 387 PARK AVE SOUTH
Owner City,St,Zip: NEW YORK, NY 10016
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: CULBRO CORPORATION
Owner Address: 387 PARK AVE SOUTH
Owner City,St,Zip: NEW YORK, NY 10016
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

NE SPILL:

Name: ALLIED OIL & SUPPLY INC
Address: 2200 S 24TH ST
City,State,Zip: OMAHA, NE
File Number: 090606-JF-1215
Owner Name: ALLIED OIL & SUPPLY, INC
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: LAND RELEASE
SFM Num: NONE
Owner Mailing Address: 2209 S 24TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 09/06/2006
Material Released: WASTE OIL

NE AIRS:

Name: ALLIED CONSTRUCTION SPECIALTY
Address: 2200 S 24TH ST
City,State,Zip: OMAHA, NE 68108
Facility ID: 58955
Directions to Facility: Bds: S-Martha, N&W-RR X, E-24th, W of Allied Oil

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

F26 **ALLIED OIL AND SUPPLY INC** **RCRA NonGen / NLR** **1007371211**
ESE **2209 S 24TH STREET**
1/8-1/4 **OMAHA, NE 68108**
0.181 mi.
958 ft. **Site 2 of 4 in cluster F**

Relative:
Higher

RCRA NonGen / NLR:

Actual:
1147 ft.

Date Form Received by Agency: 2007-12-26 00:00:00.0
 Handler Name: ALLIED OIL AND SUPPLY INC
 Handler Address: 2209 S 24TH STREET
 Handler City,State,Zip: OMAHA, NE 68108
 EPA ID: NER000004382
 Contact Name: WILLIAM BECKWITH
 Contact Address: S 24TH STREET
 Contact City,State,Zip: OMAHA, NE 68108
 Contact Telephone: 402-829-1265
 Contact Fax: Not reported
 Contact Email: BBECKWITH@ALLIED-OIL.COM
 Contact Title: Not reported
 EPA Region: 07
 Land Type: Private
 Federal Waste Generator Description: Not a generator, verified
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: S 24TH STREET
 Mailing City,State,Zip: OMAHA, NE 68108
 Owner Name: ANN M HEINSON
 Owner Type: Private
 Operator Name: ALLIED OIL AND SUPPLY INC
 Operator Type: Private
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: Yes
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No
 Smelting Melting and Refining Furnace Exemption: No
 Underground Injection Control: No
 Off-Site Waste Receipt: No
 Universal Waste Indicator: No
 Universal Waste Destination Facility: No
 Federal Universal Waste: No
 Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site Converter Treatment storage and Disposal Facility: Not reported
 Active Site State-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site State-Reg Handler: ---
 Federal Facility Indicator: Not reported
 Hazardous Secondary Material Indicator: NN
 Sub-Part K Indicator: Not reported
 Commercial TSD Indicator: No
 Treatment Storage and Disposal Type: Not reported
 2018 GPRA Permit Baseline: Not on the Baseline
 2018 GPRA Renewals Baseline: Not on the Baseline
 Permit Renewals Workload Universe: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

ALLIED OIL AND SUPPLY INC (Continued)

1007371211

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2007-12-27 09:18:11.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	ANN M HEINSON
Legal Status:	Private
Date Became Current:	1976-06-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Owner/Operator Indicator:	Operator
Owner/Operator Name:	ALLIED OIL AND SUPPLY INC
Legal Status:	Private
Date Became Current:	1976-06-01 00:00:00.
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ALLIED OIL AND SUPPLY INC (Continued)

1007371211

Owner/Operator Indicator: Operator
Owner/Operator Name: ALLIED OIL AND SUPPLY INC
Legal Status: Private
Date Became Current: 1976-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: ANN M HEINSON
Legal Status: Private
Date Became Current: 1976-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: ALLIED OIL AND SUPPLY INC
Legal Status: Private
Date Became Current: 1976-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: ANN M HEINSON
Legal Status: Private
Date Became Current: 1976-06-01 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2004-05-28 00:00:00.0
Handler Name: ALLIED OIL AND SUPPLY INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ALLIED OIL AND SUPPLY INC (Continued)

1007371211

Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2007-12-13 00:00:00.0
Handler Name: ALLIED OIL AND SUPPLY INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2007-12-26 00:00:00.0
Handler Name: ALLIED OIL AND SUPPLY INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 42313
NAICS Description: TIRE AND TUBE MERCHANT WHOLESALERS

NAICS Code: 42472
NAICS Description: PETROLEUM AND PETROLEUM PRODUCTS MERCHANT WHOLESALERS (EXCEPT BULK STATIONS AND TERMINALS)

NAICS Code: 44132
NAICS Description: TIRE DEALERS

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

F27
ESE
1/8-1/4
0.181 mi.
958 ft.

ALLIED OIL & SUPPLY INC
2209 S 24TH ST
OMAHA, NE 68108

NE UST **U004054058**
N/A

Site 3 of 4 in cluster F

Relative:
Higher
Actual:
1147 ft.

UST:
Name: ALLIED CONSTRUCTION SPECIALITIES
Address: 2209 S 24TH ST
City: OMAHA
Zip: 68108

Facility:
Facility ID: 1152
Owner Name: ALLIED OIL & SUPPLY INC
Owner Address: PO BOX 3687
Owner City,St,Zip: OMAHA, NE
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 1

Facility ID: 1153
Owner Name: ALLIED OIL & SUPPLY INC
Owner Address: PO BOX 3763
Owner City,St,Zip: OMAHA, NE 68108
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 2

Owner: ALLIED OIL & SUPPLY INC
Owner Address: PO BOX 3687
Owner City,St,Zip: OMAHA, NE
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

F28
ESE
1/8-1/4
0.181 mi.
958 ft.

CONRAD HANSON
2209 S 24TH
OMAHA, NE
Site 4 of 4 in cluster F

NE LUST **S104737818**
N/A

Relative:
Higher
Actual:
1147 ft.

LUST:
 Name: CONRAD HANSON
 Address: 2209 S 24TH
 City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
 Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
 File Number: 110689-99-0004
 Owner/RP: CONRAD HANSON
 SFM Num: 1153
 Owner Mailing Address: 2209 S 24TH
 Owner Mailing City: OMAHA
 Owner Mailing State: NE
 Owner Mailing Zip: 68105
 Discovery Date: 09/27/1989
 Material Released: DIESEL, WASTE OIL

29
NE
1/8-1/4
0.186 mi.
983 ft.

DRAKE-WILLIAMS STEEL INC
2301 HICKORY ST
OMAHA, NE 68108

RCRA-VSQG **1014394163**
NER000508606

Relative:
Lower
Actual:
1072 ft.

RCRA-VSQG:
 Date Form Received by Agency: 2010-12-27 00:00:00.0
 Handler Name: DRAKE-WILLIAMS STEEL INC
 Handler Address: 2301 HICKORY ST
 Handler City,State,Zip: OMAHA, NE 68108
 EPA ID: NER000508606
 Contact Name: MARK A CAIN
 Contact Address: HICKORY ST
 Contact City,State,Zip: OMAHA, NE 68108
 Contact Telephone: 402-943-3431
 Contact Fax: 402-943-3410
 Contact Email: MCAIN@DWSTEEL.COM
 Contact Title: SAFETY AND TRAINING COORDINATOR
 EPA Region: 07
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: HICKORY ST
 Mailing City,State,Zip: OMAHA, NE 68108
 Owner Name: DRAKE-WILLIAMS STEEL INC
 Owner Type: Private
 Operator Name: DRAKE-WILLIAMS STEEL INC
 Operator Type: Private
 Short-Term Generator Activity: Yes
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

DRAKE-WILLIAMS STEEL INC (Continued)

1014394163

Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRC Permit Baseline:	Not on the Baseline
2018 GPRC Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRC Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDs Where RCRA CA has Been Imposed Universe:	No
TSDs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-01-20 18:29:44.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code: D007
 Waste Description: CHROMIUM

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DRAKE-WILLIAMS STEEL INC (Continued)

1014394163

Waste Code: D008
Waste Description: LEAD

Waste Code: F003
Waste Description: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste Code: F005
Waste Description: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Handler - Owner Operator:

Owner/Operator Indicator: Operator
Owner/Operator Name: DRAKE-WILLIAMS STEEL INC
Legal Status: Private
Date Became Current: 1902-06-04 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: 2301 HICKORY ST
Owner/Operator City,State,Zip: OMAHA, NE 68108
Owner/Operator Telephone: 402-943-3431
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: DRAKE-WILLIAMS STEEL INC
Legal Status: Private
Date Became Current: 1902-06-04 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: 2301 HICKORY ST
Owner/Operator City,State,Zip: OMAHA, NE 68108
Owner/Operator Telephone: 402-943-3431
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Owner
Owner/Operator Name: DRAKE-WILLIAMS STEEL INC
Legal Status: Private
Date Became Current: 1902-06-04 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: 2301 HICKORY ST
Owner/Operator City,State,Zip: OMAHA, NE 68108
Owner/Operator Telephone: 402-943-3431

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DRAKE-WILLIAMS STEEL INC (Continued)

1014394163

Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: DRAKE-WILLIAMS STEEL INC
Legal Status: Private
Date Became Current: 1902-06-04 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: 2301 HICKORY ST
Owner/Operator City,State,Zip: OMAHA, NE 68108
Owner/Operator Telephone: 402-943-3431
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2010-10-25 00:00:00.0
Handler Name: DRAKE-WILLIAMS STEEL INC
Federal Waste Generator Description: Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: No
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

Receive Date: 2010-12-27 00:00:00.0
Handler Name: DRAKE-WILLIAMS STEEL INC
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 332312
NAICS Description: FABRICATED STRUCTURAL METAL MANUFACTURING

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

G30
NE
1/8-1/4
0.208 mi.
1099 ft.

RESIDENCE
1523 SOUTH 24TH STREET
OMAHA, NE 68108

NE LUST S105029560
NE ASBESTOS N/A

Site 1 of 4 in cluster G

Relative:
Higher

LUST:

Actual:
1104 ft.

Name: CENTRAL MAINT HEADQTRS
Address: 1523 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 112487-TH-1200
Owner/RP: CITY OF OMAHA
SFM Num: Not reported
Owner Mailing Address: 1819 FARNAM
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68183
Discovery Date: 11/16/1987
Material Released: WASTE OIL

Name: OMAHA MAINTENANCE FAC
Address: 1523 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 082197-NM-0800
Owner/RP: CITY OF OMAHA
SFM Num: 253
Owner Mailing Address: 2608 LAKE ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68111
Discovery Date: 05/01/1997
Material Released: GASOLINE & WASTE OIL

Name: MAINTENANCE FACILITY
Address: 1523 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 073096-GW-0845
Owner/RP: CITY OF OMAHA
SFM Num: 253
Owner Mailing Address: 2608 LAKE ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68111
Discovery Date: 07/24/1996
Material Released: #2 DIESEL FUEL

Name: CITY OF OMAHA
Address: 1523 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 121991-CT-0800
Owner/RP: CITY OF OMAHA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

RESIDENCE (Continued)

S105029560

SFM Num: 253
Owner Mailing Address: 2606 N 26TH ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68111
Discovery Date: 11/20/1991
Material Released: WASTE OIL

Name: CENTRAL MAINT HEADQTRS
Address: 1523 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 112487-TH-1200
Owner/RP: CITY OF OMAHA
SFM Num: Not reported
Owner Mailing Address: 1819 FARNAM
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68183
Discovery Date: 11/16/1987
Material Released: WASTE OIL

ASBESTOS:

Name: OMAHA JOINT MAINTENANCE
Address: 1523 S. 24TH STREET
City,State,Zip: OMAHA, NE
Project Notification Date: 10/24/2003
State Project Number: 2003-O366
Business Entity Initials: ARI
Owner Name: City of Omaha
Start Date: 12/02/2003
Finish Date: 12/03/2003
Demo: Not reported
Region: Omaha
Year: 2003
Schedule Type: Not reported
Project Description: Not reported
Associated With: Not reported
Contractor Project Number: Not reported
Project Notification Date: 10/24/2003
Business Entity: Not reported
Additional Addresses: Not reported
Square Feet: 1210
Linear Feet: 18
Cubic Feet: Not reported
Start Time: 07:00
Stop Time: 16:30
Fee Paid: True
Acknowledgement Sent: No
Follow-up Comments: Waiver for splash guard only - See Log
Insp Date: Not reported
FA Report: False
Final Report: ATC
Final Report Rec Date: Not reported
10 Day Waiver: False
Emergency: False

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

RESIDENCE (Continued)

S105029560

Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	12/3;
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	Not reported
Name:	RESIDENCE
Address:	1523 SOUTH 24TH STREET
City,State,Zip:	OMAHA, NE 68108
Project Notification Date:	09/20/2012
State Project Number:	2012-O332
Business Entity Initials:	ABC
Owner Name:	City of Omaha
Start Date:	09/21/2012
Finish Date:	09/21/2012
Demo:	Not reported
Region:	Omaha
Year:	2012
Schedule Type:	Completed
Project Description:	Removal of approximately 10 sq. ft. of friable transite debris in the parking lot on property.
Associated With:	Not reported
Contractor Project Number:	Not reported
Project Notification Date:	09/20/2012
Business Entity:	ABC Abatement Company
Additional Addresses:	Not reported
Square Feet:	10
Linear Feet:	Not reported
Cubic Feet:	Not reported
Start Time:	1000
Stop Time:	1524
Fee Paid:	False
Acknowledgement Sent:	Not reported
Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	False
Final Report:	Not reported
Final Report Rec Date:	Not reported
10 Day Waiver:	True
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

RESIDENCE (Continued)

S105029560

Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	8
Name:	CITY OF OMAHA PARKS AND RECREATION
Address:	1523 SOUTH 24TH STREET
City,State,Zip:	OMAHA, NE 68108
Project Notification Date:	06/24/2015
State Project Number:	2015-O163
Business Entity Initials:	ESA
Owner Name:	City of Omaha Parks and Recreation
Start Date:	05/19/2015
Finish Date:	06/24/2015
Demo:	Not reported
Region:	Omaha
Year:	2015
Schedule Type:	On Site
Project Description:	NOTE: Testing performed by Cardno ATC revealed floor tile, felt-paper, and glue contain no asbestos. Removal of 1,800 sq. ft. of non-friable floor tile (no mastic) from Room #105 and the connecting offices in building.
Associated With:	Not reported
Contractor Project Number:	15121
Project Notification Date:	06/24/2015
Business Entity:	ESA, Inc.- Omaha Office
Additional Addresses:	Not reported
Square Feet:	1800
Linear Feet:	Not reported
Cubic Feet:	Not reported
Start Time:	0800
Stop Time:	1530
Fee Paid:	False
Acknowledgement Sent:	Not reported
Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	False
Final Report:	Not reported
Final Report Rec Date:	Not reported
10 Day Waiver:	False
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

RESIDENCE (Continued)

S105029560

Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	8
Name:	OPW CENTRAL MAINTENANCE
Address:	1523 SOUTH 24TH STREET
City,State,Zip:	OMAHA, NE 68108
Project Notification Date:	12/12/2018
State Project Number:	2018-O061
Business Entity Initials:	MAA
Owner Name:	City of Omaha
Start Date:	03/12/2018
Finish Date:	12/31/2018
Demo:	0
Region:	Omaha
Year:	2021
Schedule Type:	On Site
Project Description:	Removal of 58,700 sq. ft. of friable and non-friable roofing felt.
Associated With:	Not reported
Contractor Project Number:	Not reported
Project Notification Date:	12/12/2018
Business Entity:	McGill Asbestos Abatement Co., Inc.
Additional Addresses:	Not reported
Square Feet:	58700
Linear Feet:	Not reported
Cubic Feet:	Not reported
Start Time:	0600
Stop Time:	1500
Fee Paid:	True
Acknowledgement Sent:	Not reported
Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	True
Final Report:	Not reported
Final Report Rec Date:	Not reported
10 Day Waiver:	False
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	10

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

G31 **MAINTENANCE FACILITY**
NE **1523 S 24 ST**
1/8-1/4 **OMAHA, NE**
0.208 mi.
1099 ft. **Site 2 of 4 in cluster G**

NE LUST **1000911087**
 N/A

Relative:
Higher
Actual:
1104 ft.

LUST:
 Name: MAINTENANCE FACILITY
 Address: 1523 S 24 ST
 City,State,Zip: OMAHA, NE
Facility Status: **NO FURTHER ACTION (INCIDENT CLOSED)**
 Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
 File Number: 03060-JHB-1430
 Owner/RP: CITY OF OMAHA
 SFM Num: 253
 Owner Mailing Address: 2606 N 26TH ST
 Owner Mailing City: OMAHA
 Owner Mailing State: NE
 Owner Mailing Zip: 68111
 Discovery Date: 11/29/1989
 Material Released: #2 DIESEL

G32 **CENTRAL MAINTENANCE HDQ**
NE **1523 S 24TH ST**
1/8-1/4 **OMAHA, NE 68108**
0.208 mi.
1099 ft. **Site 3 of 4 in cluster G**

NE UST **U004054839**
 N/A

Relative:
Higher
Actual:
1104 ft.

UST:
 Name: CENTRAL MAINTENANCE HDQ
 Address: 1523 S 24TH ST
 City: OMAHA
 Zip: 68108

Facility:
 Facility ID: 253
 Owner Name: CITY OF OMAHA
 Owner Address: 1819 FARNAM ST RM 1006
 Owner City,St,Zip: OMAHA, NE 68183
 Tanks Currently In Use: 0
 Tanks Temp Out Of Use: 0
 Tanks Perm Out Of Use: 0
 Tanks Closed In Place: 0
 Tanks Removed: 6

Owner: CITY OF OMAHA
 Owner Address: 1819 FARNAM ST RM 1006
 Owner City,St,Zip: OMAHA, NE 68183
 Tank Corrosion Protection: Not reported
 Tank Id/Tank Status: 1 / Not Reported
 Tank Contents: Not reported
 Tank Size: Not reported
 Tank Date Installed: Not reported
 Tank Type: Not reported
 Tank Construction: Not reported
 Tank Internal Protection: Not reported
 Tank External Protection: Not reported
 Tank Secondary Containment: Not reported
 Piping Construction Material: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

G33 **CITY OF OMAHA BUILDING SERVICES** **RCRA-VSQG** **1004747852**
NE **1523 S 24TH ST**
1/8-1/4 **OMAHA, NE 68108**
0.208 mi.
1099 ft. **Site 4 of 4 in cluster G**

Relative: RCRA-VSQG:
Higher Date Form Received by Agency: 1996-02-20 00:00:00.0
Actual: Handler Name: CITY OF OMAHA BUILDING SERVICES
1104 ft. Handler Address: 1523 S 24TH ST
 Handler City,State,Zip: OMAHA, NE 68108
 EPA ID: NE0000384701
 Contact Name: RON FRITZ
 Contact Address: 1523 S 24TH ST
 Contact City,State,Zip: OMAHA, NE 68108
 Contact Telephone: 402-444-5997
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 07
 Land Type: Municipal
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: Not reported
 State District: Not reported
 Mailing Address: S 24TH ST
 Mailing City,State,Zip: OMAHA, NE 68108
 Owner Name: CITY OF OMAHA
 Owner Type: Municipal
 Operator Name: Not reported
 Operator Type: Not reported
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No
 Small Quantity On-Site Burner Exemption: No
 Smelting Melting and Refining Furnace Exemption: No
 Underground Injection Control: No
 Off-Site Waste Receipt: No
 Universal Waste Indicator: No
 Universal Waste Destination Facility: No
 Federal Universal Waste: No
 Active Site Fed-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site Converter Treatment storage and Disposal Facility: Not reported
 Active Site State-Reg Treatment Storage and Disposal Facility: Not reported
 Active Site State-Reg Handler: ---
 Federal Facility Indicator: Not reported
 Hazardous Secondary Material Indicator: NN
 Sub-Part K Indicator: Not reported
 Commercial TSD Indicator: No
 Treatment Storage and Disposal Type: Not reported
 2018 GPRP Permit Baseline: Not on the Baseline
 2018 GPRP Renewals Baseline: Not on the Baseline
 Permit Renewals Workload Universe: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

CITY OF OMAHA BUILDING SERVICES (Continued)

1004747852

Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2000-09-16 13:20:05.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code: D001
 Waste Description: IGNITABLE WASTE

Waste Code: D002
 Waste Description: CORROSIVE WASTE

Waste Code: F003
 Waste Description: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	CITY OF OMAHA
Legal Status:	Municipal
Date Became Current:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CITY OF OMAHA BUILDING SERVICES (Continued)

1004747852

Date Ended Current: Not reported
Owner/Operator Address: 1819 FARNAM ST
Owner/Operator City,State,Zip: OMAHA, NE 68108
Owner/Operator Telephone: 402-444-5329
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1996-02-20 00:00:00.0
Handler Name: CITY OF OMAHA BUILDING SERVICES
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Codes: No NAICS Codes Found

Facility Has Received Notices of Violation:

Found Violation: No
Agency Which Determined Violation: Not reported
Violation Short Description: Not reported
Date Violation was Determined: Not reported
Actual Return to Compliance Date: Not reported
Return to Compliance Qualifier: Not reported
Violation Responsible Agency: Not reported
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

CITY OF OMAHA BUILDING SERVICES (Continued)

1004747852

SEP Type: Not reported
 SEP Type Description: Not reported
 Proposed Amount: Not reported
 Final Monetary Amount: Not reported
 Paid Amount: Not reported
 Final Count: Not reported
 Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 2000-09-12 00:00:00.0
 Evaluation Responsible Agency: State
 Found Violation: No
 Evaluation Type Description: COMPLIANCE ASSISTANCE VISIT
 Evaluation Responsible Person Identifier: NEJDH
 Evaluation Responsible Sub-Organization: Not reported
 Actual Return to Compliance Date: Not reported
 Scheduled Compliance Date: Not reported
 Date of Request: Not reported
 Date Response Received: Not reported
 Request Agency: Not reported
 Former Citation: Not reported

H34
South
1/8-1/4
0.211 mi.
1112 ft.

GIBSON PETROLEUM
2351 SOUTH 27TH AVENUE
OMAHA, NE
Site 1 of 2 in cluster H

NE LUST 1004422465
N/A

Relative:
Higher
Actual:
1100 ft.

LUST:
 Name: GIBSON PETROLEUM
 Address: 2351 SOUTH 27TH AVENUE
 City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
 Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
 File Number: 043090-99-0021
 Owner/RP: GIBSON PETROLEUM
 SFM Num: 7417
 Owner Mailing Address: 2351 SOUTH 27TH AVE.
 Owner Mailing City: OMAHA
 Owner Mailing State: NE
 Owner Mailing Zip: Not reported
 Discovery Date: 03/08/1990
 Material Released: GASOLINE

H35
South
1/8-1/4
0.211 mi.
1112 ft.

GIBSON IND INC
2351 S 27TH AVE
OMAHA, NE 68105
Site 2 of 2 in cluster H

NE UST U004056144
N/A

Relative:
Higher
Actual:
1100 ft.

UST:
 Name: GIBSON IND INC
 Address: 2351 S 27TH AVE
 City: OMAHA
 Zip: 68105

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GIBSON IND INC (Continued)

U004056144

Facility:

Facility ID: 7417
Owner Name: GIBSON IND INC
Owner Address: 2351 S 27TH AVE
Owner City,St,Zip: OMAHA, NE 68105
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: GIBSON IND INC
Owner Address: 2351 S 27TH AVE
Owner City,St,Zip: OMAHA, NE 68105
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

36
SE
1/8-1/4
0.216 mi.
1140 ft.

BUCKYS EXPRESS #24
2223 S 24TH ST
OMAHA, NE 68108

NE LUST U000913003
NE UST N/A
NE HIST UST

Relative:
Higher
Actual:
1154 ft.

LUST:

Name: BUCKYS AMOCO 24
Address: 2223 S 24TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 071597-GW-1410
Owner/RP: BUCKY'S INC
SFM Num: 3169
Owner Mailing Address: BOX 31099
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68132
Discovery Date: 07/15/1997
Material Released: GASOLINE

Name: VICKERS STATION 2399
Address: 2223 S 24TH
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 013092-PH-1130
Owner/RP: VICKERS/TOTAL PETROLEUM
SFM Num: 3169
Owner Mailing Address: 6425 JOHNSON DRIVE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUCKYS EXPRESS #24 (Continued)

U000913003

Owner Mailing City: MISSION
Owner Mailing State: KS
Owner Mailing Zip: 66202
Discovery Date: 01/29/1991
Material Released: GASOLINE

UST:

Name: BUCKYS EXPRESS #24
Address: 2223 S 24TH ST
City: OMAHA
Zip: 68108

Facility:

Facility ID: 3169
Owner Name: BUCKS INC
Owner Address: PO BOX 31099
Owner City,St,Zip: OMAHA, NE
Tanks Currently In Use: 4
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 4

Owner: BUCKS INC
Owner Address: PO BOX 31099
Owner City,St,Zip: OMAHA, NE
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 5 / Currently in Use
Tank Contents: Regular Unleaded
Tank Size: 12000
Tank Date Installed: 1997
Tank Type: Federally Regulated
Tank Construction: Fiberglass Reinforced Plastic
Tank Internal Protection: None
Tank External Protection: None
Tank Secondary Containment: Not reported
Piping Construction Material: Fiberglass Reinforced Plastic

Tank Id/Tank Status: 6 / Currently in Use
Tank Contents: E-10
Tank Size: 12000
Tank Date Installed: 1997
Tank Type: Federally Regulated
Tank Construction: Fiberglass Reinforced Plastic
Tank Internal Protection: None
Tank External Protection: None
Tank Secondary Containment: Not reported
Piping Construction Material: Fiberglass Reinforced Plastic

Tank Id/Tank Status: 7 / Currently in Use
Tank Contents: Regular Unleaded
Tank Size: 12000
Tank Date Installed: 1997
Tank Type: Federally Regulated
Tank Construction: Fiberglass Reinforced Plastic
Tank Internal Protection: None
Tank External Protection: None

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUCKYS EXPRESS #24 (Continued)

U000913003

Tank Secondary Containment: Not reported
Piping Construction Material: Fiberglass Reinforced Plastic

Tank Id/Tank Status: 8 / Currently in Use
Tank Contents: #2 Diesel
Tank Size: 8000
Tank Date Installed: 1997
Tank Type: Federally Regulated
Tank Construction: Fiberglass Reinforced Plastic
Tank Internal Protection: None
Tank External Protection: None
Tank Secondary Containment: Not reported
Piping Construction Material: Fiberglass Reinforced Plastic

HIST UST:

Facility ID: 3169
Owner: BUCKY'S INC
Owner Address: PO BOX 31099
Owner City,St,Zip: OMAHA, NE 681320099
Tank Number: 5
Tank Usage Status: Currently in Use
Tank Size (Gal): 12000
Tank Construction Material: Fiberglass Reinforced Plastic
Tank Content(s): Gasoline
Tank Installed: 1997
Piping Construction Material(s): Fiberglass Reinforced Plastic

Facility ID: 3169
Owner: BUCKY'S INC
Owner Address: PO BOX 31099
Owner City,St,Zip: OMAHA, NE 681320099
Tank Number: 6
Tank Usage Status: Currently in Use
Tank Size (Gal): 12000
Tank Construction Material: Fiberglass Reinforced Plastic
Tank Content(s): Gasoline
Tank Installed: 1997
Piping Construction Material(s): Fiberglass Reinforced Plastic

Facility ID: 3169
Owner: BUCKY'S INC
Owner Address: PO BOX 31099
Owner City,St,Zip: OMAHA, NE 681320099
Tank Number: 7
Tank Usage Status: Currently in Use
Tank Size (Gal): 12000
Tank Construction Material: Fiberglass Reinforced Plastic
Tank Content(s): Gasoline
Tank Installed: 1997
Piping Construction Material(s): Fiberglass Reinforced Plastic

Facility ID: 3169
Owner: BUCKY'S INC
Owner Address: PO BOX 31099
Owner City,St,Zip: OMAHA, NE 681320099
Tank Number: 8
Tank Usage Status: Currently in Use

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUCKYS EXPRESS #24 (Continued)

U000913003

Tank Size (Gal): 8000
Tank Construction Material: Fiberglass Reinforced Plastic
Tank Content(s): #2 Diesel
Tank Installed: 1997
Piping Construction Material(s): Fiberglass Reinforced Plastic

I37
SSE
1/8-1/4
0.240 mi.
1266 ft.

ANDERSEN FIRE EQUIP CO INC
2316 S 24TH ST
OMAHA, NE 68108

NE UST **U004054118**
N/A

Site 1 of 2 in cluster I

Relative:
Higher

UST:
Name: ANDERSEN FIRE EQUIP CO INC
Address: 2316 S 24TH ST
City: OMAHA
Zip: 68108

Actual:
1167 ft.

Facility:
Facility ID: 6025
Owner Name: ANDERSEN FIRE EQUIP CO INC
Owner Address: 2316 S 24TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: ANDERSEN FIRE EQUIP CO INC
Owner Address: 2316 S 24TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

I38
SSE
1/8-1/4
0.240 mi.
1266 ft.

ANDERSON FIRE EQUIPMENT
2316 S 24TH
OMAHA, NE

NE LUST **S106249636**
N/A

Site 2 of 2 in cluster I

Relative:
Higher

LUST:
Name: ANDERSON FIRE EQUIPMENT
Address: 2316 S 24TH
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040788-TH-1045

Actual:
1167 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON FIRE EQUIPMENT (Continued)

S106249636

Owner/RP: ANDERSON FIRE EQUIPMENT
SFM Num: 6025
Owner Mailing Address: 2316 S 24TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 04/07/1988
Material Released: GASOLINE

Name: ANDERSON FIRE EQUIPMENT
Address: 2316 S 24TH
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040788-TH-1045
Owner/RP: ANDERSON FIRE EQUIPMENT
SFM Num: 6025
Owner Mailing Address: 2316 S 24TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 04/07/1988
Material Released: GASOLINE

39
East
1/4-1/2
0.261 mi.
1378 ft.

OMAHA GAS CO
S 20TH STREET
OMAHA, NE 68108

EDR MGP 1008408664
N/A

Relative:
Lower
Actual:
1091 ft.

Manufactured Gas Plants:
Alternate Name: METROPOLITAN UTILITIES DISTRICT-GAS PLANT. No additional information available

40
ESE
1/4-1/2
0.304 mi.
1607 ft.

ALLIED CONSTRUCTION SPECI
2209 S 21ST ST
OMAHA, NE

NE LUST S103219761
N/A

Relative:
Higher
Actual:
1106 ft.

LUST:
Name: ALLIED CONSTRUCTION SPECI
Address: 2209 S 21ST ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 051998-GW-1017
Owner/RP: ALLIED OIL & SUPPLY
SFM Num: 1152
Owner Mailing Address: PO BOX 3687
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68103
Discovery Date: 04/08/1998
Material Released: DIESEL

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

J41
SSE
1/4-1/2
0.327 mi.
1726 ft.

ABEESHA INC
2430 S 24TH ST
OMAHA, NE

Site 1 of 2 in cluster J

NE LUST U000912916
NE UST N/A
NE HIST UST

Relative:
Higher

Actual:
1186 ft.

LUST:
Name: CORNER FOOD MART
Address: 2430 S 24TH
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040700-99-0000
Owner/RP: P H POGGE INC
SFM Num: 4135
Owner Mailing Address: 2474 DEER PARK BLVD
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 11/10/1999
Material Released: GASOLINE

UST:
Name: ABEESHA INC
Address: 2430 S 24TH ST
City: OMAHA
Zip: Not reported

Facility:
Facility ID: 4135
Owner Name: IMRAN ALI
Owner Address: 11112 CIMARRON ST
Owner City,St,Zip: PAPILLION, NE 68046
Tanks Currently In Use: 3
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: IMRAN ALI
Owner Address: 11112 CIMARRON ST
Owner City,St,Zip: PAPILLION, NE 68046
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Currently in Use
Tank Contents: Regular Unleaded
Tank Size: 8000
Tank Date Installed: 1987
Tank Type: Federally Regulated
Tank Construction: Steel
Tank Internal Protection: None
Tank External Protection: Galvanic/Sacrificial Current Cathodic Protection
Tank Secondary Containment: Not reported
Piping Construction Material: Plastic

Tank Id/Tank Status: 2 / Currently in Use
Tank Contents: Regular Unleaded
Tank Size: 8000
Tank Date Installed: 1989
Tank Type: Federally Regulated

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ABEESHA INC (Continued)

U000912916

Tank Construction: Steel
Tank Internal Protection: None
Tank External Protection: Galvanic/Sacrificial Current Cathodic Protection
Tank Secondary Containment: Not reported
Piping Construction Material: Plastic

Tank Id/Tank Status: 3 / Currently in Use
Tank Contents: E-10
Tank Size: 8000
Tank Date Installed: 1989
Tank Type: Federally Regulated
Tank Construction: Steel
Tank Internal Protection: None
Tank External Protection: Galvanic/Sacrificial Current Cathodic Protection
Tank Secondary Containment: Not reported
Piping Construction Material: Plastic

HIST UST:

Facility ID: 4135
Owner: PH POGGE & CO INC
Owner Address: 2474 DEER PARK BLVD
Owner City,St,Zip: OMAHA, NE 681050000
Tank Number: 1
Tank Usage Status: Currently in Use
Tank Size (Gal): 8000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1987
Piping Construction Material(s): Plastic

Facility ID: 4135
Owner: PH POGGE & CO INC
Owner Address: 2474 DEER PARK BLVD
Owner City,St,Zip: OMAHA, NE 681050000
Tank Number: 2
Tank Usage Status: Currently in Use
Tank Size (Gal): 8000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1989
Piping Construction Material(s): Plastic

Facility ID: 4135
Owner: PH POGGE & CO INC
Owner Address: 2474 DEER PARK BLVD
Owner City,St,Zip: OMAHA, NE 681050000
Tank Number: 3
Tank Usage Status: Currently in Use
Tank Size (Gal): 8000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1989
Piping Construction Material(s): Plastic

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

J42 **CORNER FOOD MART**
SSE **2430 S 24 ST**
1/4-1/2 **OMAHA, NE**
0.327 mi.
1726 ft. **Site 2 of 2 in cluster J**

NE LUST **S101292642**
N/A

Relative:
Higher
Actual:
1186 ft.

LUST:
Name: CORNER FOOD MART
Address: 2430 S 24 ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 12119-DBH-1500
Owner/RP: PH POGGE & CO, INC
SFM Num: 4135
Owner Mailing Address: 4201 S 24 ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68107
Discovery Date: 07/14/1989
Material Released: GASOLINE

43 **SAINT ANN PARISH**
NNE **2247 POPPLETON AVENUE**
1/4-1/2 **OMAHA, NE 68108**
0.331 mi.
1749 ft.

NE LUST **1005823161**
NE ASBESTOS **N/A**

Relative:
Higher
Actual:
1112 ft.

LUST:
Name: ST ANN CHURCH
Address: 2247 POPPLETON AVE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - NOT REGULATED UNDER FEDERAL RULES
File Number: 071890-99-0006
Owner/RP: ST ANN CHURCH
SFM Num: 3381
Owner Mailing Address: 2247 POPPLETON AVE
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 06/29/1990
Material Released: HEATING OIL (DIESEL)

ASBESTOS:

Name: SAINT ANN CHURCH & RECTORY
Address: 2247 POPPLETON AVENUE
City,State,Zip: OMAHA, NE
Project Notification Date: 08/07/2008
State Project Number: 2008-O256
Business Entity Initials: MAA
Owner Name: Saint Peter Claver Cristo Rey
Start Date: 08/21/2008
Finish Date: 09/30/2008
Demo: Not reported
Region: Omaha
Year: 2008
Schedule Type: Not reported
Project Description: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SAINT ANN PARISH (Continued)

1005823161

Associated With:	Not reported
Contractor Project Number:	08068
Project Notification Date:	08/07/2008
Business Entity:	McGill Asbestos Abatement Company, Inc.
Additional Addresses:	Not reported
Square Feet:	25500
Linear Feet:	150
Cubic Feet:	Not reported
Start Time:	Not reported
Stop Time:	Not reported
Fee Paid:	True
Acknowledgement Sent:	No
Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	False
Final Report:	AMI
Final Report Rec Date:	Not reported
10 Day Waiver:	False
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	Not reported
Name:	SAINT ANN PARISH
Address:	2247 POPPLETON AVENUE
City,State,Zip:	OMAHA, NE 68108
Project Notification Date:	08/14/2013
State Project Number:	2013-O319
Business Entity Initials:	WHEELER
Owner Name:	Saint Ann Redevelopment, LLC
Start Date:	07/29/2013
Finish Date:	08/16/2013
Demo:	-1
Region:	Omaha
Year:	2013
Schedule Type:	Not reported
Project Description:	Removal of 5,000 sq. ft. of friable ceiling scrape, 50 sq. ft. of friable floor tile, 20 sq. ft. of friable caulk, 3 sq. ft. of friable pipe insulation, and one-hundred and eighty six friable fittings from demo parish.
Associated With:	Not reported
Contractor Project Number:	13056
Project Notification Date:	08/14/2013
Business Entity:	Wheeler Contracting, Inc.
Additional Addresses:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SAINT ANN PARISH (Continued)

1005823161

Square Feet:	5073
Linear Feet:	186
Cubic Feet:	Not reported
Start Time:	0700
Stop Time:	1630
Fee Paid:	True
Acknowledgement Sent:	Not reported
Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	False
Final Report:	B2E
Final Report Rec Date:	08/26/2013
10 Day Waiver:	False
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	True
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	True
Waivers/Notes 1:	Waiver to omit PPE during prep-work only. If asbestos-containing materials are loose or deteriorated, PPE must be worn.
Waivers/Notes 2:	Waiver to shut-down negative air supplies at the end of work day, due to security reasons.
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	8

K44
NNE
1/4-1/2
0.341 mi.
1801 ft.

MIDTOWN GAS
1222 S 24TH ST
OMAHA, NE 68108
Site 1 of 2 in cluster K

NE LUST **U001129350**
NE UST **N/A**
NE HIST UST

Relative:
Higher
Actual:
1127 ft.

LUST:

Name:	7-ELEVEN 118
Address:	1222 S 24TH
City,State,Zip:	OMAHA, NE
Facility Status:	LUST TRUST FUND PRIORITY LIST - PENDING WORK
Incident Type:	UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number:	071693-NM-1015
Owner/RP:	CONTEMPORARY INDUST PETRO
SFM Num:	465
Owner Mailing Address:	711 N 108TH CT
Owner Mailing City:	OMAHA
Owner Mailing State:	NE
Owner Mailing Zip:	68108
Discovery Date:	10/26/1990
Material Released:	GAS DIESEL
Name:	7-ELEVEN 118
Address:	1222 S 24TH
City,State,Zip:	OMAHA, NE
Facility Status:	LUST TRUST FUND PRIORITY LIST - PENDING WORK

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MIDTOWN GAS (Continued)

U001129350

Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 071693-NM-1015
Owner/RP: CONTEMPORARY INDUST PETRO
SFM Num: 465
Owner Mailing Address: 711 N 108TH CT
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 10/26/1990
Material Released: GAS DIESEL

UST:

Name: MIDTOWN GAS
Address: 1222 S 24TH ST
City: OMAHA
Zip: 68108

Facility:

Facility ID: 465
Owner Name: LUCKY 7 LLC
Owner Address: 2302 S 13TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tanks Currently In Use: 2
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 0

Owner: LUCKY 7 LLC
Owner Address: 2302 S 13TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Currently in Use
Tank Contents: Regular Unleaded
Tank Size: 8000
Tank Date Installed: 1969
Tank Type: Federally Regulated
Tank Construction: Steel
Tank Internal Protection: None
Tank External Protection: Impressed Current Cathodic Protection
Tank Secondary Containment: Not reported
Piping Construction Material: Fiberglass Reinforced Plastic

Tank Id/Tank Status: 2 / Currently in Use
Tank Contents: E-10
Tank Size: 6000
Tank Date Installed: 1969
Tank Type: Federally Regulated
Tank Construction: Steel
Tank Internal Protection: None
Tank External Protection: Impressed Current Cathodic Protection
Tank Secondary Containment: Not reported
Piping Construction Material: Fiberglass Reinforced Plastic

HIST UST:

Facility ID: 465
Owner: KUM & GO LC

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MIDTOWN GAS (Continued)

U001129350

Owner Address: 6400 WESTOWN PKWY
Owner City,St,Zip: WEST DES MOINES, IA 502660000
Tank Number: 1
Tank Usage Status: Currently in Use
Tank Size (Gal): 8000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1969
Piping Construction Material(s): Fiberglass Reinforced Plastic

Facility ID: 465
Owner: KUM & GO LC
Owner Address: 6400 WESTOWN PKWY
Owner City,St,Zip: WEST DES MOINES, IA 502660000
Tank Number: 2
Tank Usage Status: Currently in Use
Tank Size (Gal): 6000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1969
Piping Construction Material(s): Fiberglass Reinforced Plastic

**L45
NW
1/4-1/2
0.345 mi.
1819 ft.**

**TERRY FROST LEASING
1349 PARK AVE
OMAHA, NE
Site 1 of 5 in cluster L**

**NE LUST S106249698
N/A**

**Relative:
Higher
Actual:
1219 ft.**

LUST:
Name: TERRY FROST LEASING
Address: 1349 PARK AVE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 111989-TH-0710
Owner/RP: TERRY FROST LEASING
SFM Num: 453
Owner Mailing Address: 711 N 108TH CT
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68154
Discovery Date: 11/19/1989
Material Released: GASOLINE

Name: TERRY FROST LEASING
Address: 1349 PARK AVE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 111989-TH-0710
Owner/RP: TERRY FROST LEASING
SFM Num: 453
Owner Mailing Address: 711 N 108TH CT
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68154
Discovery Date: 11/19/1989
Material Released: GASOLINE

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

46 NE 1/4-1/2 0.345 mi. 1820 ft.	OMAHA USARC 2101 WOOLWORTH AVE OMAHA, NE 68108	NE SHWS NE LUST NE NPDES	S102420619 N/A
---	---	---	---------------------------------

Relative: SHWS:
Lower Name: OMAHA USARC
Address: 2101 WOOLWORTH AVE
City,State,Zip: OMAHA, NE 68108
DEQ ID: 61586
Program Acronym: SF
Directions to Facility: N-Woolworth,E-20,W-22,SE-RRX,Includes 2211 Hickory

LUST:
Name: DEPT OF THE ARMY
Address: 2101 WOOLWORTH
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 052193-NM-1458
Owner/RP: DEPT OF THE ARMY
SFM Num: 8070
Owner Mailing Address: 2101 WOOLWORTH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 01/14/1993
Material Released: DIESEL AND GASOLINE

NE NPDES:
Name: OMAHA USARC
Address: 2101 WOOLWORTH AVE
City,State,Zip: OMAHA, NE 68108
Facility ID: 61586
Directions to Facility: N-Woolworth,E-20,W-22,SE-RRX,Includes 2211 Hickory
Program Acronym: PCS
Permit: Not reported
Application Number: Not reported
Issued: Not reported
Expires: Not reported
Extended: Not reported

L47 NW 1/4-1/2 0.357 mi. 1885 ft.	EARL TAYLOR GARAGE 1331 PARK AVE OMAHA, NE 68105 Site 2 of 5 in cluster L	NE LUST NE NPDES	1004331921 N/A
--	--	-----------------------------------	---------------------------------

Relative: LUST:
Higher Name: NEON PRODUCT CO INC
Address: 1331 PARK AVE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: AP3180
Owner/RP: NEON PRODUCTS CO INC
SFM Num: 3180
Owner Mailing Address: 1331 PARK AVE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

EARL TAYLOR GARAGE (Continued)

1004331921

Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68105
Discovery Date: 07/16/1990
Material Released: UNKNOWN

Name: NEON PRODUCT CO INC
Address: 1331 PARK AVE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: AP3180
Owner/RP: NEON PRODUCTS CO INC
SFM Num: 3180
Owner Mailing Address: 1331 PARK AVE
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68105
Discovery Date: 07/16/1990
Material Released: UNKNOWN

NE NPDES:

Name: EARL TAYLOR GARAGE
Address: 1331 PARK AVE
City,State,Zip: OMAHA, NE 68105
Facility ID: 10519
Directions to Facility: 1 lot N of NE cnr Park Ave & Woolworth St
Program Acronym: PCS
Permit: Not reported
Application Number: Not reported
Issued: Not reported
Expires: Not reported
Extended: Not reported

M48
East
1/4-1/2
0.366 mi.
1932 ft.

ANDERSON EXCAVATING & WRECKING
1824 S 20TH ST
OMAHA, NE 68108

Site 1 of 9 in cluster M

NE SHWS **U004054125**
NE UST **N/A**
NE BROWNFIELDS
NE ASBESTOS
NE NPDES

Relative:
Lower
Actual:
1085 ft.

SHWS:
Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 S 20TH ST
City,State,Zip: OMAHA, NE 68108
DEQ ID: 49531
Program Acronym: SF
Directions to Facility: 480,Martha-E,,20-N,W Sd,N Sd Lynch Prk,W End Center

UST:

Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 S 20TH ST
City: OMAHA
Zip: 68108

Facility:

Facility ID: 2482
Owner Name: ANDERSON EXCAVATING & WRECKING

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING (Continued)

U004054125

Owner Address: 1824 S 20TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tanks Currently In Use: 0
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 0
Tanks Removed: 7

Owner: ANDERSON EXCAVATING & WRECKING
Owner Address: 1824 S 20TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 1 / Not Reported
Tank Contents: Not reported
Tank Size: Not reported
Tank Date Installed: Not reported
Tank Type: Not reported
Tank Construction: Not reported
Tank Internal Protection: Not reported
Tank External Protection: Not reported
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

BROWNFIELDS:

Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 S 20TH ST
City,State,Zip: OMAHA, NE 68108
Facility ID: 49531
Facility Location Desc: 480,Martha-E,20-N,W Sd,N Sd Lynch Prk,W End Center
Program Acronym: BF
Status: C
Latitude: 41.24151
Longitude: 95.94231
Lat/Lon Description: Center Street gate
lat/Lon Source: GPS-WAAS
Program ID: BF0094
Program Description: Not reported
Program Status: Active
Fstatus Decode Values: Closed

ASBESTOS:

Name: ANDERSON EXCAVATING
Address: 1824 S. 20TH STREET
City,State,Zip: OMAHA, NE
Project Notification Date: 11/22/2005
State Project Number: 2005-O307
Business Entity Initials: AND
Owner Name: Anderson Excavating
Start Date: 11/23/2005
Finish Date: 11/23/2005
Demo: Not reported
Region: Omaha
Year: 2005
Schedule Type: Not reported
Project Description: Not reported
Associated With: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING (Continued)

U004054125

Contractor Project Number: Not reported
Project Notification Date: 11/22/2005
Business Entity: Anderson Excavating Co
Additional Addresses: Not reported
Square Feet: 21974
Linear Feet: 0
Cubic Feet: Not reported
Start Time: 07:00
Stop Time: 16:30
Fee Paid: False
Acknowledgement Sent: No
Follow-up Comments: Not reported
Insp Date: Not reported
FA Report: False
Final Report: Not reported
Final Report Rec Date: Not reported
10 Day Waiver: False
Emergency: False
Canceled: False
Completed: False
Non-Friable: False
Non-Friable Amount: Not reported
Landfill Receipts: False
Work/Worker Practices: False
Inspection Report: Not reported
Inspection Date: Not reported
Enforcement: False
Additional Information: False
Waivers/Notes 1: Not reported
Waivers/Notes 2: Not reported
Waivers/Notes 3: Not reported
Waivers/Notes 4: Not reported
Final Rpt Status: Not reported

NE NPDES:

Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 S 20TH ST
City,State,Zip: OMAHA, NE 68108
Facility ID: 49531
Directions to Facility: 480,Martha-E,20-N,W Sd,N Sd Lynch Prk,W End Center
Program Acronym: PCS
Permit: Not reported
Application Number: Not reported
Issued: Not reported
Expires: Not reported
Extended: Not reported

M49 ANDERSON EXCAVATING & WRECKING CO
East 1824 SOUTH 20TH STREET
1/4-1/2 OMAHA, NE 68108
0.366 mi. Site 2 of 9 in cluster M
1932 ft.
Relative: Lower
Actual: 1085 ft.
SEMS Archive:
Site ID: 0701871

SEMS-ARCHIVE 1000218706
NE LUST NED007292568
RCRA NonGen / NLR
ICIS
US AIRS
FINDS
ECHO

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

EPA ID: NED007292568
Name: ANDERSON EXCAVATING & WRECKING CO
Address: S 20TH ST
Address 2: Not reported
City,State,Zip: OMAHA, NE 68108
Cong District: 02
FIPS Code: 31055
FF: N
NPL: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:

Region: 07
Site ID: 0701871
EPA ID: NED007292568
Site Name: ANDERSON EXCAVATING & WRECKING CO
NPL: N
FF: N
OU: 00
Action Code: VS
Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 1984-02-01 05:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 07
Site ID: 0701871
EPA ID: NED007292568
Site Name: ANDERSON EXCAVATING & WRECKING CO
NPL: N
FF: N
OU: 00
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 1980-07-01 04:00:00
Finish Date: 1980-07-01 04:00:00
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0701871
EPA ID: NED007292568
Site Name: ANDERSON EXCAVATING & WRECKING CO
NPL: N
FF: N
OU: 00
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: Not reported
Finish Date: 1984-02-01 05:00:00
Qual: N
Current Action Lead: St Perf

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

LUST:

Name: ANDERSON EXCAVATING
Address: 1824 S 20TH, CENTER & 20, W SI
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 092200-99-0000
Owner/RP: ANDERSON EXCAVATING
SFM Num: 2482
Owner Mailing Address: 1824 S 20TH ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 12/22/1999
Material Released: DIESEL

RCRA NonGen / NLR:

Date Form Received by Agency: 1997-08-15 00:00:00.0
Handler Name: ANDERSON EXCAVATING & WRECKING CO
Handler Address: 1824 SOUTH 20TH STREET
Handler City,State,Zip: OMAHA, NE 68108
EPA ID: NED007292568
Contact Name: COLIN CRONLAND
Contact Address: S 20TH ST
Contact City,State,Zip: OMAHA, NE 68108
Contact Telephone: 402-345-8811
Contact Fax: Not reported
Contact Email: Not reported
Contact Title: Not reported
EPA Region: 07
Land Type: Not reported
Federal Waste Generator Description: Not a generator, verified
Non-Notifier: Not reported
Biennial Report Cycle: Not reported
Accessibility: Not reported
Active Site Indicator: Not reported
State District Owner: Not reported
State District: Not reported
Mailing Address: S 20TH ST
Mailing City,State,Zip: OMAHA, NE 68108
Owner Name: VIRGIL D ANDERSON
Owner Type: Private
Operator Name: Not reported
Operator Type: Not reported
Short-Term Generator Activity: No
Importer Activity: No
Mixed Waste Generator: No
Transporter Activity: No
Transfer Facility Activity: No
Recycler Activity with Storage: No
Small Quantity On-Site Burner Exemption: No
Smelting Melting and Refining Furnace Exemption: No
Underground Injection Control: No
Off-Site Waste Receipt: No
Universal Waste Indicator: No
Universal Waste Destination Facility: No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2000-09-16 13:19:58.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	VIRGIL D ANDERSON
Legal Status:	Private
Date Became Current:	Not reported
Date Ended Current:	Not reported
Owner/Operator Address:	Not reported
Owner/Operator City,State,Zip:	Not reported
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

Historic Generators:

Receive Date: 1997-08-15 00:00:00.0
Handler Name: ANDERSON EXCAVATING & WRECKING CO
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 562
NAICS Description: WASTE MANAGEMENT AND REMEDIATION SERVICES

Facility Has Received Notices of Violation:

Found Violation: No
Agency Which Determined Violation: Not reported
Violation Short Description: Not reported
Date Violation was Determined: Not reported
Actual Return to Compliance Date: Not reported
Return to Compliance Qualifier: Not reported
Violation Responsible Agency: Not reported
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

Found Violation: No
Agency Which Determined Violation: Not reported
Violation Short Description: Not reported
Date Violation was Determined: Not reported
Actual Return to Compliance Date: Not reported
Return to Compliance Qualifier: Not reported
Violation Responsible Agency: Not reported
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 2003-04-29 00:00:00.0
Evaluation Responsible Agency: EPA
Found Violation: No
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: R7GRW
Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2003-04-29 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: No
Evaluation Type Description: CASE DEVELOPMENT INSPECTION
Evaluation Responsible Person Identifier: NETDA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

Evaluation Responsible Sub-Organization: Not reported
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

ICIS:

Enforcement Action ID: 07-1997-A015
FRS ID: 110001516226
Action Name: ANDERSON EXCAVATING & WRECKING 31055C001600006
Facility Name: ANDERSON EXCAVATING & WRECKING
Facility Address: 1824 S 20TH STREET
OMAHA, NE 681083802
Enforcement Action Type: CAA 113D Withdrawn
Facility County: DOUGLAS
Program System Acronym: AIR
Enforcement Action Forum Desc: Administrative - Formal
EA Type Code: 113DWD
Facility SIC Code: 1795
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.24261
Longitude in Decimal Degrees: -95.94223
Permit Type Desc: Not reported
Program System Acronym: NE00000031055C0016
Facility NAICS Code: 238910
Tribal Land Code: Not reported

Enforcement Action ID: 07-1997-A014
FRS ID: 110001516226
Action Name: ANDERSON EXCAVATING & WRECKING 31055C001600005
Facility Name: ANDERSON EXCAVATING & WRECKING
Facility Address: 1824 S 20TH STREET
OMAHA, NE 681083802
Enforcement Action Type: CAA 113D1 Action For Penalty
Facility County: DOUGLAS
Program System Acronym: AIR
Enforcement Action Forum Desc: Administrative - Formal
EA Type Code: 113D1
Facility SIC Code: 1795
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.24261
Longitude in Decimal Degrees: -95.94223
Permit Type Desc: Not reported
Program System Acronym: NE00000031055C0016
Facility NAICS Code: 238910
Tribal Land Code: Not reported

Enforcement Action ID: 07-1997-0021
FRS ID: 110001516226
Action Name: ANDERSON EXCAVATING & WRECKING CO., OMAHA, NE
Facility Name: ANDERSON EXCAVATING & WRECKING COMPANY
Facility Address: 1824 SOUTH 20TH STREET
OMAHA, NE 681083802
Enforcement Action Type: CAA 113D1 Action For Penalty

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

Facility County: DOUGLAS
Program System Acronym: ICIS
Enforcement Action Forum Desc: Administrative - Formal
EA Type Code: 113D1
Facility SIC Code: 1794
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.24198
Longitude in Decimal Degrees: -95.94223
Permit Type Desc: Not reported
Program System Acronym: 9114
Facility NAICS Code: Not reported
Tribal Land Code: Not reported

Facility Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 1794

Facility Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 1795

Facility Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 1794

Facility Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 1795

Facility Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 1794

Facility Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
Tribal Indicator: N
Fed Facility: No
NAIC Code: Not reported
SIC Code: 1795

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

US AIRS MINOR:

Envid: 1000218706
Region Code: 07
Programmatic ID: AIR NE00000031055C0016
Facility Registry ID: 110001516226
D and B Number: Not reported
Primary SIC Code: 1795
NAICS Code: 238910
Default Air Classification Code: MIN
Facility Type of Ownership Code: POF
Air CMS Category Code: Not reported
HPV Status: Not reported

US AIRS MINOR:

Region Code: 07
Programmatic ID: AIR NE00000031055C0016
Facility Registry ID: 110001516226
Air Operating Status Code: OPR
Default Air Classification Code: MIN
Air Program: Stratospheric Ozone Protection
Activity Date: 1996-07-30 00:00:00
Activity Status Date: Not reported
Activity Group: Compliance Monitoring
Activity Type: Information Request
Activity Status: Not reported

Region Code: 07
Programmatic ID: AIR NE00000031055C0016
Facility Registry ID: 110001516226
Air Operating Status Code: OPR
Default Air Classification Code: MIN
Air Program: Stratospheric Ozone Protection
Activity Date: 1996-10-22 00:00:00
Activity Status Date: Not reported
Activity Group: Compliance Monitoring
Activity Type: Information Request
Activity Status: Not reported

Region Code: 07
Programmatic ID: AIR NE00000031055C0016
Facility Registry ID: 110001516226
Air Operating Status Code: OPR
Default Air Classification Code: MIN
Air Program: Stratospheric Ozone Protection
Activity Date: 1997-03-21 00:00:00
Activity Status Date: 1997-03-21 00:00:00
Activity Group: Enforcement Action
Activity Type: Administrative - Formal
Activity Status: Closed

Region Code: 07
Programmatic ID: AIR NE00000031055C0016
Facility Registry ID: 110001516226
Air Operating Status Code: OPR
Default Air Classification Code: MIN
Air Program: Stratospheric Ozone Protection
Activity Date: 1996-12-24 00:00:00

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ANDERSON EXCAVATING & WRECKING CO (Continued)

1000218706

Activity Status Date: 1996-12-24 00:00:00
Activity Group: Enforcement Action
Activity Type: Administrative - Formal
Activity Status: Final Order Issued

FINDS:

Registry ID: 110001516226

Click Here:

Environmental Interest/Information System:

AFS (Aerometric Information Retrieval System (AIRS) Facility Subsystem) replaces the former Compliance Data System (CDS), the National Emission Data System (NEDS), and the Storage and Retrieval of Aerometric Data (SAROAD). AIRS is the national repository for information concerning airborne pollution in the United States. AFS is used to track emissions and compliance data from industrial plants. AFS data are utilized by states to prepare State Implementation Plans to comply with regulatory programs and by EPA as an input for the estimation of total national emissions. AFS is undergoing a major redesign to support facility operating permits required under Title V of the Clean Air Act.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

STATE MASTER
AIR MINOR

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and its Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000218706
Registry ID: 110001516226
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110001516226>
Name: ANDERSON EXCAVATING & WRECKING
Address: 1824 SOUTH 20TH STREET
City,State,Zip: OMAHA, NE 68108

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

M50	ANDERSON EXCAVATING COMPANY - SILVEY	IA SWF/LF	S105890990
East	1824 S. 20TH		N/A
1/4-1/2	POTTAWATTAMIE (County), NE 68108		
0.366 mi.			
1932 ft.	Site 3 of 9 in cluster M		

Relative:	SWF/LF:	
Lower	Name:	ANDERSON EXCAVATING COMPANY - SILVEY
	Address:	1824 S. 20TH
Actual:	City,State,Zip:	NE 68108
1085 ft.	Facility ID:	78-SDP-24-05
	Facility Type:	Petroleum Contaminated Soil Landfarm
	Permit Stage:	Denied
	Expiration Date:	Not reported
	Project Officer:	Graesch
	Affiliation:	Responsible Official of Agency served,Automated Email
	Phone:	Work: (402) 345-8800
	Contact Name:	Virgil Anderson
	Contact Title:	Owner
	Contact eMail:	andersonexcavatingco@hotmail.com
	Contact Company:	Anderson Excavating Company
	Contact Address:	1920 Dorcas Street
	Contact Address2:	Not reported
	Contact City,St,Zip:	Omaha, NE 68108
	Field Office:	4
	Loc Supplement:	Subentity Location: NW1/4 of NW1/4 Sec. 14, T74N,
	Latitude:	41.217359
	Longitude:	-95.878389

M51	ANDERSON EXCAVATING COMPANY - LOVELAND	IA SWF/LF	S116290320
East	1824 S 20TH ST		N/A
1/4-1/2	POTTAWATTAMIE (County), NE 68108		
0.366 mi.			
1932 ft.	Site 4 of 9 in cluster M		

Relative:	SWF/LF:	
Lower	Name:	ANDERSON EXCAVATING COMPANY - LOVELAND
	Address:	1824 S 20TH ST
Actual:	City,State,Zip:	NE 68108
1085 ft.	Facility ID:	78-SDP-25-05
	Facility Type:	Petroleum Contaminated Soil Landfarm
	Permit Stage:	Denied
	Expiration Date:	Not reported
	Project Officer:	Graesch
	Affiliation:	Special Waste Generator
	Phone:	Work: (402) 345-8811
	Contact Name:	Don Goers
	Contact Title:	Not reported
	Contact eMail:	Not reported
	Contact Company:	Anderson Excavating Company
	Contact Address:	1824 South 20th Street
	Contact Address2:	Not reported
	Contact City,St,Zip:	Omaha, NE 68108
	Field Office:	4
	Loc Supplement:	Subentity Location: NW1/4 of NW1/4 Sec. 3, T77N, R
	Latitude:	41.501220
	Longitude:	-95.897199

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

L52 NW 1/4-1/2 0.366 mi. 1933 ft.	COMMONGOOD RECYCLING 1340 PARK AVENUE OMAHA, NE 68105 Site 3 of 5 in cluster L	NE SWRCY	S121796113 N/A
--	---	-----------------	---------------------------------

Relative: Higher Actual: 1218 ft.	SWRCY: Name: COMMONGOOD RECYCLING Address: 1340 PARK AVENUE City,State,Zip: OMAHA, NE 68105 Mail Address: Not reported Contact: Not reported Facility Telephone: Not reported Fax: Not reported Email: Not reported Hours of Operation: Pick up days are Monday and Saturday. Recycling: ,Commingled - Recycling,Glass,Metals,Paper,Plastic Hazardous Waste: ,Aerosols & Pressurized Cylinders E Scrap: Not reported Other: Not reported	
--	--	--

L53 NW 1/4-1/2 0.369 mi. 1946 ft.	DON SHAFER DISPLAY 1325 PARK AVE OMAHA, NE 68105 Site 4 of 5 in cluster L	NE SHWS	S111698811 N/A
--	--	----------------	---------------------------------

Relative: Higher Actual: 1225 ft.	SHWS: Name: DON SHAFER DISPLAY Address: 1325 PARK AVE City,State,Zip: OMAHA, NE 68105 DEQ ID: 11172 Program Acronym: SF Directions to Facility: N of NE Cnr Woolworth St & Park Ave, W of 29th St	
--	--	--

L54 NW 1/4-1/2 0.369 mi. 1946 ft.	SHAFER DISPLAYS INC 1325 PARK AVE OMAHA, NE 68105 Site 5 of 5 in cluster L	SEMS-ARCHIVE RCRA NonGen / NLR	1000228228 NED035144526
--	---	---	--

Relative: Higher Actual: 1225 ft.	SEMS Archive: Site ID: 0701891 EPA ID: NED035144526 Name: SHAFER DISPLAYS INC Address: 1325 PARK AVE Address 2: Not reported City,State,Zip: OMAHA, NE 68105 Cong District: 02 FIPS Code: 31055 FF: N NPL: Not on the NPL Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information SEMS Archive Detail: Region: 07 Site ID: 0701891 EPA ID: NED035144526 Site Name: SHAFER DISPLAYS INC	
--	--	--

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SHAFER DISPLAYS INC (Continued)

1000228228

NPL: N
 FF: N
 OU: 00
 Action Code: VS
 Action Name: ARCH SITE
 SEQ: 1
 Start Date: Not reported
 Finish Date: 1984-02-01 05:00:00
 Qual: Not reported
 Current Action Lead: EPA Perf In-Hse

Region: 07
 Site ID: 0701891
 EPA ID: NED035144526
 Site Name: SHAFER DISPLAYS INC
 NPL: N
 FF: N
 OU: 00
 Action Code: DS
 Action Name: DISCVRY
 SEQ: 1
 Start Date: 1980-08-01 04:00:00
 Finish Date: 1980-08-01 04:00:00
 Qual: Not reported
 Current Action Lead: EPA Perf

Region: 07
 Site ID: 0701891
 EPA ID: NED035144526
 Site Name: SHAFER DISPLAYS INC
 NPL: N
 FF: N
 OU: 00
 Action Code: PA
 Action Name: PA
 SEQ: 1
 Start Date: Not reported
 Finish Date: 1984-02-01 05:00:00
 Qual: N
 Current Action Lead: St Perf

RCRA NonGen / NLR:
 Date Form Received by Agency: 1980-08-18 00:00:00.0
 Handler Name: SHAFER DISPLAYS INC
 Handler Address: 1325 PARK AVE
 Handler City,State,Zip: OMAHA, NE 68105
 EPA ID: NED035144526
 Contact Name: DON C SHAFER
 Contact Address: PARK AVE
 Contact City,State,Zip: OMAHA, NE 68105
 Contact Telephone: 402-346-6140
 Contact Fax: Not reported
 Contact Email: Not reported
 Contact Title: Not reported
 EPA Region: 07
 Land Type: Private

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SHAFER DISPLAYS INC (Continued)

1000228228

Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Not reported
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	PARK AVE
Mailing City, State, Zip:	OMAHA, NE 68105
Owner Name:	DON C SHAFER
Owner Type:	Private
Operator Name:	DON C SHAFER
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHAFER DISPLAYS INC (Continued)

1000228228

Addressed Significant Non-Complier Universe: No
Significant Non-Complier With a Compliance Schedule Universe: No
Financial Assurance Required: Not reported
Handler Date of Last Change: 2006-06-28 12:53:44.0
Recognized Trader-Importer: No
Recognized Trader-Exporter: No
Importer of Spent Lead Acid Batteries: No
Exporter of Spent Lead Acid Batteries: No
Recycler Activity Without Storage: Not reported
Manifest Broker: Not reported
Sub-Part P Indicator: No

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: DON C SHAFER
Legal Status: Private
Date Became Current: 1980-08-18 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: DON C SHAFER
Legal Status: Private
Date Became Current: 1980-08-18 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: Not reported
Owner/Operator City,State,Zip: Not reported
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 1980-08-18 00:00:00.0
Handler Name: SHAFER DISPLAYS INC
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 33995
NAICS Description: SIGN MANUFACTURING

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SHAFER DISPLAYS INC (Continued)

1000228228

Facility Has Received Notices of Violations:
 Violations: No Violations Found

Evaluation Action Summary:
 Evaluations: No Evaluations Found

K55	ANNA ROTELLA BAKERY	NE LUST	S102420563
NNE	1202 S 24TH		N/A
1/4-1/2	OMAHA, NE		
0.371 mi.			
1960 ft.	Site 2 of 2 in cluster K		

Relative:	LUST:		
Higher	Name:	ANNA ROTELLA BAKERY	
	Address:	1202 S 24TH	
Actual:	City,State,Zip:	OMAHA, NE	
1114 ft.	Facility Status:	NO FURTHER ACTION (INCIDENT CLOSED)	
	Incident Type:	UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES	
	File Number:	060391-CT-0600	
	Owner/RP:	ANNA ROTELLA BAKERY	
	SFM Num:	5361	
	Owner Mailing Address:	211 S 38TH AVE	
	Owner Mailing City:	OMAHA	
	Owner Mailing State:	NE	
	Owner Mailing Zip:	68105	
	Discovery Date:	05/10/1991	
	Material Released:	GAS WASTE OIL	

56	NOX-CRETE MANUFACTURING INC	NE BROWNFIELDS	1005450694
ENE	1444 S 20TH ST	NE AIRS	N/A
1/4-1/2	OMAHA, NE 68108	NE NPDES	
0.374 mi.		NE TIER 2	
1973 ft.			

Relative:	BROWNFIELDS:		
Lower	Name:	NOX-CRETE MANUFACTURING INC	
	Address:	1444 S 20TH ST	
Actual:	City,State,Zip:	OMAHA, NE 68108	
1057 ft.	Facility ID:	10550	
	Facility Location Desc:	I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St	
	Program Acronym:	BF	
	Status:	O	
	latitude:	41.24361	
	Longitude:	95.942353	
	Lat/Lon Description:	entrance to plant (parking east across S 20th St)	
	lat/Lon Source:	GOOGLE	
	Program ID:	BF0178	
	Program Description:	Not reported	
	Program Status:	Active	
	Fstatus Decode Values:	Operating	

NE AIRS:			
	Name:	NOX-CRETE MANUFACTURING INC	
	Address:	1444 S 20TH ST	

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

City,State,Zip: OMAHA, NE 68108
Facility ID: 10550
Directions to Facility: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St

NE NPDES:

Name: NOX-CRETE MANUFACTURING INC
Address: 1444 S 20TH ST
City,State,Zip: OMAHA, NE 68108
Facility ID: 10550
Directions to Facility: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Program Acronym: PCS
Permit: Not reported
Application Number: Not reported
Issued: Not reported
Expires: Not reported
Extended: Not reported

Name: NOX-CRETE MANUFACTURING INC
Address: 1444 S 20TH ST
City,State,Zip: OMAHA, NE
Facility ID: 10550
Directions to Facility: Not reported
Program Acronym: Not reported
Permit: NPDES Industrial Stormwater
Application Number: NER910780
Issued: 01/11/2018
Expires: 06/30/2018
Extended: Not reported

TIER 2:

Name: NOX-CRETE MANUFACTURING INC
Address: 1444 S 20TH ST
City,State,Zip: OMAHA, NE 68108-3443
Facility ID: 10550

Year: 2019
SR No: Not reported
Location: Not reported
Mailing Name: Michael A Linn
Mailing Address: PO Box 8102
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Omaha
Mailing State: NE
Mailing Zip: 68108-0102
Latitude: 41.24361
Longitude: 95.942353

Year: 2018
SR No: Not reported
Location: Not reported
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2017
SR No: Not reported
Location: Not reported
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2016
SR No: 1914
Location: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2015
SR No: 1858
Location: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2014
SR No: 971
Location: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Year: 2013
SR No: 1672
Location: I-480,Martha-E,,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2012
SR No: 1641
Location: I-480,Martha-E,,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2011
SR No: 1588
Location: I-480,Martha-E,,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2010
SR No: 1664
Location: I-480,Martha-E,,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2009
SR No: 1725
Location: I-480,Martha-E,,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2008
SR No: 1645
Location: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2007
SR No: 1710
Location: I-480,Martha-E,20-N,N Sd BNSF,S Sd UPRR,W Sd 20 St
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Year: 2006
SR No: Not reported
Location: Not reported
Mailing Name: Not reported
Mailing Address: Not reported
Mailing Address 2: Not reported
Mailing Suite: Not reported
Mailing City: Not reported
Mailing State: Not reported
Mailing Zip: Not reported
Latitude: Not reported
Longitude: Not reported

Chemical:
Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 79-14-1
imm: Y

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Y
Storage Location:	3, 6, 7, 8, W1, W2, W5
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	GLYCOLIC ACID 70 %
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	RAIL SIDING
Mix:	Not reported
Max. Amount:	500,000 - 999,999
Pressure:	1
Pure:	Y
Average Amount:	100,000 - 499,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Q
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, W1, W3,w5

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: O
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-55-8
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: RAIL SIDING
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Q
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: OUTSIDE EP ROOM #5
Mix: Not reported
Max. Amount: 500,000 - 999,999
Pressure: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: P
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Y

EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, W1, W3
Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1

Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: D
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: E
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, W1, W3, W5
Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 0

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: O
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: 3T
Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: C
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: 5
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: RAIL SIDING
Mix: Not reported
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Q
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 9003-27-4
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 5
Mix: Y
Max. Amount: 10,000 - 24,999
Pressure: 1
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): POLYBUTENE (SOL PRODUCTION TANK)
sudrel: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003-27-4
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	5T, 3T
Mix:	Y
Max. Amount:	25,000 - 49,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003-27-4
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, 5, W1, W2, W5
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003-27-4
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, W1, W3
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	79-14-1
imm:	Not reported
EHS:	Not reported
Liquid:	Y
Storage Location:	3,7,8, W1, W2, W5
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Glycolic acid
Solid:	Not reported
Storage Code:	K
Chemical Reporting Name(Trade Name):	Glycolic acid
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	98-56-6
imm:	Not reported
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM 5, ROOM W1, ROOM W3
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Y
Average Amount:	5,000 - 9,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	Parachlorobenzotrifluoride (PCBTF)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	98-56-6
imm:	Not reported
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM 5, ROOM W1, ROOM W3
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	F
Chemical Reporting Name(Trade Name):	Parachlorobenzotrifluoride (PCBTF)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	98-56-6
imm:	Not reported
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	Parachlorobenzotrifluoride (SOL PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	91-08-7
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 7, ROOM 6, ROOM 3, ROOM W3
Mix:	Y
Max. Amount:	100 - 499
Pressure:	1
Pure:	Y
Average Amount:	0 - 99
Chemical ID:	2962
Reaction:	Y
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,6-DIISOCYANATE
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	TOLUENE 2,6-DIISOCYANATE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Y

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476-30-2
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476-30-2
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	TANK ROOM # 4, 3T

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Y
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Y
Average Amount:	50,000 - 74,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (TANK INSIDE BUILDING)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	25,000 - 49,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	XYLENE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-95-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5, 5T
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	AROMATIC-100 (ST TANK)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	P
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (TANK WAGON)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	INSIDE TANK ROOM 4,
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4106

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (ST TANK)
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Y
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-95-6
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: 1
Pure: Y
Average Amount: 10,000 - 24,999
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: P
Chemical Reporting Name(Trade Name): AROMATIC-100 (TANK WAGON)
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Y
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 1330-20-7
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 5
Mix: Y
Max. Amount: 25,000 - 49,999
Pressure: 1
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: C
Chemical Reporting Name(Trade Name): XYLENE (SOL PROD TANK)
sudrel: Not reported
tempcd: 5
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Y
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 68476-30-2
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3,, ROOM W1, ROOM W3, ROOM W5
Mix: Y
Max. Amount: 75,000 - 99,999
Pressure: 1
Pure: Not reported
Average Amount: 50,000 - 74,999
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): FUEL OIL #1 & #2
Solid: Not reported
Storage Code: E
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS (SOL FIN PROD)
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Y
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 8052-41-3
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 5
Mix: Y
Max. Amount: 100,000 - 499,999
Pressure: 1
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (SOL PROD TANK)
sudrel: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	P
Chemical Reporting Name(Trade Name):	XYLENE (TANK WAGON)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-95-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, 5, W1, W2, W3, W5
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL - FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476-30-2
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOMS 3, W1, W3, w5
Mix:	Y
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5, 5T
Mix:	Y
Max. Amount:	25,000 - 49,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	XYLENE (ST TANK)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-95-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	Room 5
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL- PROD TANK)
sudrel:	Not reported
tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported

Map ID
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	68476-30-2
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Y
Average Amount:	50,000 - 74,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	P
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM 5, W1, W2, W5
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	E
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Y

Map ID
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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5, 5T
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (STORAGE TANK)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 5,

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EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL PROD TANK)
sudrel:	Not reported
tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	P
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT (TANK WAGON)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	75,000 - 99,999
Pressure:	1

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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM W1, ROOM W2, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	TANK BAY 4, ROOM 3T
Mix:	Y
Max. Amount:	75,000 - 99,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4631

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Database(s)

EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 71-36-3
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix: Y
Max. Amount: 10,000 - 24,999
Pressure: 1
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): N-BUTYL ALCOHOL
Solid: Not reported
Storage Code: O
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 71-36-3
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: OUTSIDE EP ROOM 5,
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: 1
Pure: Y
Average Amount: 10,000 - 24,999
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): N-BUTYL ALCOHOL
Solid: Not reported

Map ID
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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: P
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-47-8
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Y
Max. Amount: 75,000 - 99,999
Pressure: 1
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported
Storage Code: E
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 540-88-5
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOMS #5,#3, W3, W1,w5
Mix: Y
Max. Amount: 25,000 - 49,999
Pressure: 1
Pure: Y
Average Amount: 5,000 - 9,999
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TERT-BUTYL ACETATE
Solid: Not reported
Storage Code: D
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported

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MAP FINDINGS

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Database(s)

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EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Y
del: Not reported
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 540-88-5
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: EP ROOM # 5
Mix: Y
Max. Amount: 25,000 - 49,999
Pressure: 1
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TERT-BUTYL ACETATE
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Y
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 540-88-5
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 5, ROOM 3, ROOM W1, ROOM W3
Mix: Y
Max. Amount: 25,000 - 49,999
Pressure: 1
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TERT-BUTYL ACETATE
Solid: Not reported
Storage Code: F
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Map ID
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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, 5, W1, W3
Mix:	Y
Max. Amount:	25,000 - 49,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	F
Chemical Reporting Name(Trade Name):	XYLENE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, 5, W1, W2, W3, W5
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	F
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y

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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Y
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-95-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	3, 5, W1, W2, W3, W5
Mix:	Y
Max. Amount:	10,000 - 24,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	F
Chemical Reporting Name(Trade Name):	AROMATIC 100
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	584-84-9
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 6
Mix:	Y
Max. Amount:	500 - 999
Pressure:	1
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	4370
Reaction:	Y
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	TOLUENE-2,4-DIISOCYANATE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Not reported
Year:	2019
Gas:	Not reported

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EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	91-08-7
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 6
Mix:	Y
Max. Amount:	100 - 499
Pressure:	1
Pure:	Not reported
Average Amount:	0 - 99
Chemical ID:	2962
Reaction:	Y
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,6-DIISOCYANATE
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	TOLUENE-2,6-DIISOCYANATE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Y
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	584-84-9
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 7, ROOM 6, ROOM 3, ROOM W1, ROOM W3
Mix:	Y
Max. Amount:	500 - 999
Pressure:	1
Pure:	Y
Average Amount:	100 - 499
Chemical ID:	4370
Reaction:	Y
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	TOLUENE 2,4 DIISOCYANATE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Y

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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM W1, ROOM W2, ROOM W3, ROOM W5
Mix:	Y
Max. Amount:	25,000 - 49,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	INSIDE TANK ROOM 4, 3T
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Y
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM # 5

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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported
Storage Code: P
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE (TANK WAGON)
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-52-5
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: 3T, INSIDE TANK ROOM 4
Mix: Y
Max. Amount: 50,000 - 74,999
Pressure: 1
Pure: Y
Average Amount: 25,000 - 49,999
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-55-8
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, ROOM W3, ROOM W1, ROOM W5
Mix: Y
Max. Amount: 100,000 - 499,999
Pressure: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Y
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	P
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344-09-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4678

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE (BRITESIL)
Solid: Not reported
Storage Code: P
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION (TANK WAGON)
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-53-6
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPHTHENIC DISTILLATE
Solid: Not reported
Storage Code: D
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-55-8
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, ROOM W3, ROOM W1, ROOM W5
Mix: Y
Max. Amount: 100,000 - 499,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: O
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-52-5
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Y
Max. Amount: 50,000 - 74,999
Pressure: 1
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: D
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-53-6
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: TANK ROOM 4, 3T
Mix: Y
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPTHENIC DISTILLATE
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPTHENIC DISTILLATE
sudrel: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344-09-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 6
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (ST TANK)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	P
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Y
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	A
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (ST TANK)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3,ROOM W1
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	E
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	6834-92-0
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 6, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4331
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE
Solid:	Not reported
Storage Code:	E
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (FIN PROD)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3,ROOM W1, ROOM W-3, ROOM W5
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	E
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (FIN SOL)
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported

Map ID
Direction
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	64742-53-6
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3, ROOM W1,W3
Mix:	Y
Max. Amount:	500,000 - 999,999
Pressure:	1
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	E
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3T
Mix:	Y
Max. Amount:	100,000 - 499,999
Pressure:	1
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	C
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	5
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344-09-8
imm:	Y

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM # 6,3,W1, W2, W5
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	O
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344-09-8
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 6, 3, W1, W2, W5
Mix:	Y
Max. Amount:	50,000 - 74,999
Pressure:	1
Pure:	Y
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	D
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	4
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2019
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Y
EHS:	Not reported
Liquid:	Y
Storage Location:	ROOM 3T

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Y
Max. Amount: 50,000 - 74,999
Pressure: 1
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: C
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHTHINIC DISTILLATE
sudrel: Not reported
tempcd: 5
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-53-6
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: TANK BAY 10
Mix: Not reported
Max. Amount: 500,000 - 999,999
Pressure: 1
Pure: Y
Average Amount: 100,000 - 499,999
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPHTHENIC DISTILLATE
Solid: Not reported
Storage Code: A
Chemical Reporting Name(Trade Name): HYDROTREATED NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 64742-52-5
imm: Y
EHS: Not reported
Liquid: Y
Storage Location: TANK BAY 10
Mix: Not reported
Max. Amount: 50,000 - 74,999
Pressure: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Y
Average Amount: 25,000 - 49,999
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: A
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2019
Gas: Not reported
SR Number: Not reported
Case Number: 79-14-1
imm: Y

EHS: Not reported
Liquid: Y
Storage Location: 3, 6, 7, 8, W2, W5
Mix: Y
Max. Amount: 50,000 - 74,999
Pressure: 1
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: E
Chemical Reporting Name(Trade Name): GLYCOLIC ACID 70%
sudrel: Not reported
tempcd: 4
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 79-14-1
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3, 6, 7, 8, W1, W2, W5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	GLYCOLIC ACID 70 %
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	RAIL SIDING
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, W1, W3,w5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-55-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: RAIL SIDING
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM #5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301-69-9
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, W1, W3
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	DISTILLATES (FISHER TROPSCH) HEAVY
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301-69-9
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	DISTILLATES (FISHER TROPSCH) HEAVY
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, W1, W3, W5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 848301-69-9
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3T
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301-69-9
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	RAIL SIDING
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	DISTILLATES (FISHER TROPSCH) HEAVY
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003-27-4
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE (SOL PRODUCTION TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	9003-27-4
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	5T, 3T
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003-27-4
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W2, W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003-27-4
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS: Not reported
Liquid: Not reported
Storage Location: 3, W1, W3
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): POLYBUTENE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 79-14-1
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3,7,8, W1, W2, W5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Glycolic acid
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): Glycolic acid
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 91-08-7
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 7, ROOM 6, ROOM 3, ROOM W3

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: 100 - 499
Pressure: Not reported
Pure: Not reported
Average Amount: 100 - 499
Chemical ID: 2962
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TOLUENE-2,6-DIISOCYANATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE 2,6-DIISOCYANATE (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 8052-41-3
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Not reported
Max. Amount: 75,000 - 99,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 68476-30-2
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476-30-2
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK ROOM # 4, 3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (TANK INSIDE BUILDING)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3188

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-95-6
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5, 5T
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC-100 (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 8052-41-3
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: 75,000 - 99,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4,
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-95-6
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (TANK WAGON)
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476-30-2
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3,, ROOM W1, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 8052-41-3
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: 75,000 - 99,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (SOL PROD TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 1330-20-7
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-95-6
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W2, W3, W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL - FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	75,000 - 99,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 68476-30-2
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOMS 3, W1, W3, w5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): FUEL OIL #1 & #2
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 1330-20-7
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5, 5T
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-95-6
imm: Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	Room 5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL- PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476-30-2
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052-41-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM 5, W1, W2, W5

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	75,000 - 99,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, 5T
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (STORAGE TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5,
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4631

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-47-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 75,000 - 99,999
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-47-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 75,000 - 99,999
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 4, ROOM 3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	71-36-3
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM 5,
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-47-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 540-88-5
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOMS #5,#3, W3, W1,w5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TERT-BUTYL ACETATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 540-88-5
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: EP ROOM # 5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 1,000 - 4,999
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TERT-BUTYL ACETATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	540-88-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W3
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	1,000 - 4,999
Chemical ID:	3421
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TERT-BUTYL ACETATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330-20-7
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W3
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 8052-41-3
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3, 5, W1, W2, W5
Mix: Not reported
Max. Amount: 75,000 - 99,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-95-6
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3, 5, W1, W2, W3, W5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC 100
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 584-84-9
imm: Not reported

Map ID
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	1,000 - 4,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	4370
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE-2,4-DIISOCYANATE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	91-08-7
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	100 - 499
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	2962
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,6-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE-2,6-DIISOCYANATE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	584-84-9
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 7, ROOM 6, ROOM 3, ROOM W1, ROOM W3

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	1,000 - 4,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	4370
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2,4 DIISOCYANATE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4, 3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3T, INSIDE TANK ROOM 4
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-55-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W3, ROOM W1, ROOM W5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-53-6
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPHENIC DISTILLATE
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 1344-09-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE (BRITESIL)
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-53-6
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPHTHENIC DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W3, ROOM W1,ROOM W5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 64742-53-6
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: TANK ROOM 4, 3T
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPHTHENIC DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 1344-09-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 6
Mix: Not reported
Max. Amount: 50,000 - 74,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE (BRITESIL)
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3,ROOM W1
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	6834-92-0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4331
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3,ROOM W1, ROOM W-3, ROOM W5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (FIN SOL)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-55-8
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3T

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 1344-09-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM # 6,3,W1, W2, W5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE (BRITESIL)
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2018
Gas: Not reported
SR Number: Not reported
Case Number: 1344-09-8
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 6, 3, W1, W2, W5
Mix: Not reported
Max. Amount: 50,000 - 74,999
Pressure: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3T
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHTHINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-53-6
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742-52-5
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2018
Gas:	Not reported
SR Number:	Not reported
Case Number:	79-14-1
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 6, 7, 8, W2, W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	GLYCOLIC ACID 70%
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	91087
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 7, ROOM 6, ROOM 3, ROOM W3
Mix:	Not reported
Max. Amount:	100 - 499
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	2962
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,6-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2,6-DIISOCYANATE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, W3
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK ROOM # 4, 3T
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (TANK INSIDE BUILDING)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5, ROOM 3, ROOM W1, ROOM W3,
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5, 5T
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC-100 (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4,
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC-100 (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (SOL PROD TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3,, ROOM W1, W3
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W2, W3, W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL - FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W3, ROOM W5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported

Map ID
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOMS 3, W1, W3
Mix: Not reported
Max. Amount: 50,000 - 74,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): FUEL OIL #1 & #2
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5, 5T
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 3188

Map ID
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Room 5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC-100 (SOL- PROD TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM #5
Mix: Not reported
Max. Amount: 50,000 - 74,999
Pressure: Not reported
Pure: Not reported
Average Amount: 25,000 - 49,999
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): FUEL OIL #1 & #2
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM 5, W1, W2, W5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, 5T
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (STORAGE TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5,
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742478
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM #5
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 50,000 - 74,999
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742478
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W1, ROOM W3
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 50,000 - 74,999
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PETROLEUM DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3,
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 4, ROOM 3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 71363
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): N-BUTYL ALCOHOL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 71363
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM 5,
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): N-BUTYL ALCOHOL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742478
imm: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, W3
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PETROLEUM DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	540885
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOMS #5,#3, W3, W1
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	1,000 - 4,999
Chemical ID:	3421
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TERT-BUTYL ACETATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	540885
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	EP ROOM # 5

Map ID
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Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	1,000 - 4,999
Chemical ID:	3421
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TERT-BUTYL ACETATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	540885
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5, ROOM 3, ROOM W1, ROOM W3
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	1,000 - 4,999
Chemical ID:	3421
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TERT-BUTYL ACETATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W3
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W2, W5
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W2, W3, W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	4668

Map ID
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC 100
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	584849
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	500 - 999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	4370
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE-2,4-DIISOCYANATE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	91087
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	100 - 499
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	2962
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,6-DIISOCYANATE
Solid:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE-2,6-DIISOCYANATE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	584849
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 7, ROOM 6, ROOM 3, ROOM W1, ROOM W3
Mix:	Not reported
Max. Amount:	500 - 999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100 - 499
Chemical ID:	4370
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2,4 DIISOCYANATE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742558
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4, 3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742558
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3T, INSIDE TANK ROOM 4
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742558
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, ROOM W3, ROOM W1
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported

Map ID
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, W3
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742558
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W3, ROOM W1
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, ROOM W1, ROOM W3
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK ROOM 4, 3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742558
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	PARAFFINIC MINERAL OIL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3,ROOM W1
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	6834920
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6, ROOM 3, ROOM W1, ROOM W2, ROOM W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4331

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION (FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742558
imm: Not reported
EHS: Not reported
Liquid: Not reported

Storage Location: ROOM 3,ROOM W1, ROOM W-3
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 75,000 - 99,999

Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE (FIN SOL)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742536
imm: Not reported
EHS: Not reported
Liquid: Not reported

Storage Location: ROOM 3, ROOM W1
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 100,000 - 499,999

Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED NAPHTHENIC DISTILLATE
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 64742558
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3T
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 75,000 - 99,999
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): PARAFFINIC MINERAL OIL
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 1344098
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM # 6,3,W1, W2, W5
Mix: Not reported
Max. Amount: 25,000 - 49,999
Pressure: Not reported
Pure: Not reported
Average Amount: 10,000 - 24,999
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE (BRITESIL)
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION
sudrel: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6, 3, W1, W2, W5
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE (BRITESIL)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3T
Mix:	Not reported
Max. Amount:	50,000 - 74,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	25,000 - 49,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHTHINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	25,000 - 49,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	79141
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 6, 7, 8, W2, W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	GLYCOLIC ACID 70%
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	79141
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 6, 7, 8, W1, W2, W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	10,000 - 24,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	GLYCOLIC ACID 70 %
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	RAIL SIDING
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, W1, W3
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	100,000 - 499,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742558
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	RAIL SIDING
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	75,000 - 99,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301699
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	DISTILLATES (FISHER TROPSCH) HEAVY
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301699
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3T, TANK ROOM 4

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 50,000 - 74,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 848301699
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, W1, W3
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 50,000 - 74,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 848301699
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3, W1, W3
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	DISTILLATES (FISHER TROPSCH) HEAVY
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301699
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3, W1, W3
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	DISTILLATES (FISHER TROPSCH) HEAVY
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	848301699
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3T
Mix:	Not reported
Max. Amount:	100,000 - 499,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	50,000 - 74,999
Chemical ID:	0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 848301699
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: RAIL SIDING
Mix: Not reported
Max. Amount: 100,000 - 499,999
Pressure: Not reported
Pure: Not reported
Average Amount: 50,000 - 74,999
Chemical ID: 0

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): DISTILLATES (FISHER TROPSCH) HEAVY
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 9003274
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003274
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	5T, 3T
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2017
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003274
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	3, 5, W1, W2, W5
Mix:	Not reported
Max. Amount:	10,000 - 24,999
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5,000 - 9,999
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2017
Gas: Not reported
SR Number: Not reported
Case Number: 9003274
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 3, W1, W3
Mix: Not reported
Max. Amount: 10,000 - 24,999
Pressure: Not reported
Pure: Not reported
Average Amount: 5,000 - 9,999
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): POLYBUTENE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 8052413
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742478
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL - FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (FIN SOL)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 0
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3T
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4668

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (STORAGE TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL PROD TANK)
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	540885
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3421
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 71363
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 71363
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5T
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 584849
imm: Not reported
EHS: Y
Liquid: Not reported
Storage Location: ROOM 6
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4370
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE-2
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 91087
imm: Not reported
EHS: Y
Liquid: Not reported
Storage Location: ROOM 6
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 2962
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE-2
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 1344098
imm: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	6834920
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4331
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 584849
imm: Not reported
EHS: Y
Liquid: Not reported
Storage Location: ROOM 7
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4370
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE 2
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 91087
imm: Not reported
EHS: Y
Liquid: Not reported
Storage Location: ROOM 7
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	2962
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	540885
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOMS #5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3421
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOMS 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4519

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 10
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK BAY 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK ROOM # 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (TANK INSIDE BUILDING)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK ROOM 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC 100
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	79141
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	0
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	GLYCOLIC ACID 70
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 79141
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 6
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): GLYCOLIC ACID 70
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 540885
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 0
imm: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS: Not reported
Liquid: Not reported
Storage Location: INSIDE TANK ROOM 4
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 8052413
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: INSIDE TANK ROOM 4
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: INSIDE TANK ROOM 4

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: Not reported
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC-100 (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 64742536
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4709

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 1344098
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Room 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL- PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	RAIL SIDING
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM # 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHTHINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2016
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2016
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 5

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	79141
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: Not reported
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): GLYCOLIC ACID 70
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 79141

imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: 6

Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported

Average Amount: Not reported
Chemical ID: 0
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): GLYCOLIC ACID 70
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 540885

imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: EP ROOM # 5

Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported

Average Amount: Not reported
Chemical ID: 3421

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TERT-BUTYL ACETATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	INSIDE TANK ROOM 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (TANK WAGON)
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742536
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 1344098
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: OUTSIDE EP ROOM # 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION (TANK WAGON)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM # 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM #5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT (TANK WAGON)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	OUTSIDE EP ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Room 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL- PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	RAIL SIDING

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 1344098
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM # 6
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4678
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHTHINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742536
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742536
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4709

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 0
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 0
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742478
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4631
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HIGH FLASH STODDARD SOLVENT
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC-100 (SOL - FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported

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Database(s)

EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4772
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT PARAFFINIC DISTILLATE (FIN SOL)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 3T

Map ID
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC-100 (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported

Map ID
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MAP FINDINGS

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Database(s)

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EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS (SOL PROD TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3348

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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (STORAGE TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 71363

imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported

Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (SOL PROD TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 8052413

imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported

Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS (SOL FIN PROD)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 540885
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 71363
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel: Not reported

Map ID
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MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE (SOL FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOM 5T
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 584849
imm: Not reported
EHS: Y
Liquid: Not reported
Storage Location: ROOM 6
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4370
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE-2
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

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MAP FINDINGS

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Database(s)

EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	91087
imm:	Not reported
EHS:	Y
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	2962
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE-2
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (ST TANK)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported

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EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	6834920
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4331
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION (FIN PROD)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	1344098
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	ROOM 6
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4678
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	584849
imm:	Not reported

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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS: Y
Liquid: Not reported
Storage Location: ROOM 7
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4370
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE 2
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 91087
imm: Not reported
EHS: Y
Liquid: Not reported
Storage Location: ROOM 7
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 2962
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE 2
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 540885
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOMS #5

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EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 3421
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TERT-BUTYL ACETATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: ROOMS 3
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 0
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: TANK BAY 10
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported

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EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: Not reported
Chemical ID: 4772
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT PARAFFINIC DISTILLATE (ST TANK)
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742536
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: TANK BAY 10
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4709
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: TANK BAY 10
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4691

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HYDROTREATED HEAVY NAPHTHENIC DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 64742478
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: TANK BAY 4
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4631
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): HIGH FLASH STODDARD SOLVENT
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2015
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: TANK ROOM # 4
Mix: Not reported
Max. Amount: Not reported
Pressure: Not reported
Pure: Not reported
Average Amount: Not reported
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): Not reported
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS (TANK INSIDE BUILDING)
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	TANK ROOM 4
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2015
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	5
Mix:	Not reported
Max. Amount:	Not reported
Pressure:	Not reported
Pure:	Not reported
Average Amount:	Not reported
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	Not reported
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC 100
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 300925
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 3
Pressure: Not reported
Pure: Not reported
Average Amount: 2
Chemical ID: 4710
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): ALUMINUM STEARATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): Not reported
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 8042475
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 4145
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): OIL, (MINERAL)
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): ALIPHATIC PETROLEUM DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	584849
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4370
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2,4 DIISOCYANATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	71363
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	1356
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FATTY ACIDS, (LIQUID)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	FATTY ACID ESTER/ORG FATTY & ROSIN ACIDS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	1356
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FATTY ACIDS, (LIQUID)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	FATTY ACID ESTER/ORG FATTY & ROSIN ACID
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	6834920
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4331
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	SODIUM SILICATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SODIUM SILICATE SOLUTION
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003296
imm:	Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	2
Chemical ID:	4225
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	POLYBUTENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported

Map ID
Direction
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC HYDROCARBON
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	3
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	8052413
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4106
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	NAPHTHA: STODDARD SOLVENT
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4519

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): FUEL OIL #1 & #2
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 8052413
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 4
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 71363
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 3
Pressure: Not reported
Pure: Not reported
Average Amount: 2
Chemical ID: 3348
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): N-BUTYL ALCOHOL
Solid: Not reported

Map ID
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MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	2
Chemical ID:	1356
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FATTY ACIDS, (LIQUID)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	FATTY ACID ESTER/ORG FATTY & ROSIN ACID
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	91087
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	2
Pressure:	Not reported
Pure:	Not reported
Average Amount:	2
Chemical ID:	2962
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,6-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2,6-DIISOCYANATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

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Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4160
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	OILS, EDIBLE: SOYA BEAN
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	SOYBEAN OIL
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	1356
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FATTY ACIDS, (LIQUID)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	FATTY ACID ESTER/ORG FATTY & ROSIN ACIDS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported

Map ID
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Elevation

MAP FINDINGS

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Database(s)

EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	68476302
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4519
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FUEL OIL #1 & #2
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	LIGHT FUEL OILS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	1330207
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	3188
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	XYLENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	XYLENE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported

Map ID
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Elevation

MAP FINDINGS

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Database(s)

EDR ID Number
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NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 8052413
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): MINERAL SPIRITS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported

SR Number: Not reported
Case Number: 64742956
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 4668
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): AROMATIC 100
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): AROMATIC HYDROCARBON
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 71363
imm: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	2
Chemical ID:	3348
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	N-BUTYL ALCOHOL
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	N-BUTYL ALCOHOL
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	300925
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4710
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	ALUMINUM STEARATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure:	Not reported
Average Amount:	3
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	91087
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	2
Pressure:	Not reported
Pure:	Not reported
Average Amount:	2
Chemical ID:	2962

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Reaction: Not reported
Chemical Reporting Name(Active Ingredient): TOLUENE-2,6-DIISOCYANATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): TOLUENE 2,6-DIISOCYANATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 0
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 3
Pressure: Not reported
Pure: Not reported
Average Amount: 2
Chemical ID: 4160
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): OILS, EDIBLE: SOYA BEAN
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SOYBEAN OIL
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 8052413
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 3
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 4106
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): NAPHTHA: STODDARD SOLVENT
Solid: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	MINERAL SPIRITS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	1356
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FATTY ACIDS, (LIQUID)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	FATTY ACID ESTER/ORG FATTY & ROSIN ACIDS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	9003296
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4225
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	POLYBUTENE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	POLYBUTENE
sudrel:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742536
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4709
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED NAPHTHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	HYDROTREATED LIGHT NAPHTHENIC DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742956
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4668
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	AROMATIC 100
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	AROMATIC HYDROCARBON
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 64742525
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 5
Pressure: Not reported
Pure: Not reported
Average Amount: 5
Chemical ID: 4691
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): Not reported
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 1330207
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 3188
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): XYLENE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): XYLENE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	300925
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	3
Pressure:	Not reported
Pure:	Not reported
Average Amount:	2
Chemical ID:	4710
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	ALUMINUM STEARATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	0
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	1356
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	FATTY ACIDS, (LIQUID)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	FATTY ACID ESTER/ORG FATTY & ROSIN ACIDS
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

SR Number: Not reported
Case Number: 6834920
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 3
Pressure: Not reported
Pure: Not reported
Average Amount: 3
Chemical ID: 4331
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SODIUM SILICATE
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): SODIUM SILICATE SOLUTION
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 14808607
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 4
Chemical ID: 4642
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): SAND
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): CRYSTALLINE QUARTZ
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 584849
imm: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	2
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4370
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	TOLUENE-2,4-DIISOCYANATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	TOLUENE 2,4 DIISOCYANATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	64742525
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	5
Chemical ID:	4691
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	HYDROTREATED HEAVY NAPHENIC DISTILLATE
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	Not reported
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	8042475
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported
Pure:	Not reported
Average Amount:	4
Chemical ID:	4145
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	OIL, (MINERAL)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	ALIPHATIC PETROLEUM DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	8042475
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	4
Pressure:	Not reported
Pure:	Not reported
Average Amount:	3
Chemical ID:	4145
Reaction:	Not reported
Chemical Reporting Name(Active Ingredient):	OIL, (MINERAL)
Solid:	Not reported
Storage Code:	Not reported
Chemical Reporting Name(Trade Name):	ALIPHATIC PETROLEUM DISTILLATE
sudrel:	Not reported
tempcd:	Not reported
trdsec:	Not reported
Facid:	10550
conf:	Not reported
del:	Not reported
Fire:	Not reported
Year:	2006
Gas:	Not reported
SR Number:	Not reported
Case Number:	8042475
imm:	Not reported
EHS:	Not reported
Liquid:	Not reported
Storage Location:	Not reported
Mix:	Not reported
Max. Amount:	5
Pressure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NOX-CRETE MANUFACTURING INC (Continued)

1005450694

Pure: Not reported
Average Amount: 4
Chemical ID: 4145
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): OIL, (MINERAL)
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): ALIPHATIC PETROLEUM DISTILLATE
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Facid: 10550
conf: Not reported
del: Not reported
Fire: Not reported
Year: 2006
Gas: Not reported
SR Number: Not reported
Case Number: 68476302
imm: Not reported
EHS: Not reported
Liquid: Not reported
Storage Location: Not reported
Mix: Not reported
Max. Amount: 4
Pressure: Not reported
Pure: Not reported
Average Amount: 4
Chemical ID: 4519
Reaction: Not reported
Chemical Reporting Name(Active Ingredient): FUEL OIL #1 & #2
Solid: Not reported
Storage Code: Not reported
Chemical Reporting Name(Trade Name): LIGHT FUEL OILS
sudrel: Not reported
tempcd: Not reported
trdsec: Not reported

Contact:
Facility ID: 10550
Facility Name: Nox-Crete Manufacturing Inc
302 Contact: Michael A Linn
302 Phone: 402-598-8671
Primary Contact: Michael A Linn
Primary Contact Phone: 402-341-2080
Primary Contact 24 HR: 402-598-8671
Secondary Contact: David M MacFarlane
Secondary Contact Phone: 402-341-2080
Secondary Contact 24 HR: 402-968-4953

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

M57 **N L INDUSTRIES, INC**
East **20TH & CENTER**
1/4-1/2 **OMAHA, NE 68108**
0.378 mi.
1998 ft. **Site 5 of 9 in cluster M**

SEMS **1008341442**
ICIS **NEN000704908**
LEAD SMELTERS
FINDS
ECHO

Relative:
Lower

SEMS:

Actual:
1088 ft.

Site ID: 0704908
 EPA ID: NEN000704908
 Name: FORMER OMAHA WHITE LEAD
 Address: 20TH & CENTER
 Address 2: Not reported
 City,State,Zip: OMAHA, NE 68108
 Cong District: 02
 FIPS Code: 31055
 Latitude: Not reported
 Longitude: Not reported
 FF: N
 NPL: Not on the NPL
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Detail:

Region: 07
 Site ID: 0704908
 EPA ID: NEN000704908
 Site Name: FORMER OMAHA WHITE LEAD
 NPL: N
 FF: N
 OU: 00
 Action Code: SI
 Action Name: SI
 SEQ: 1
 Start Date: 2007-03-01 05:00:00
 Finish Date: 1/14/2008 5:00:00 AM
 Qual: N
 Current Action Lead: EPA Perf In-Hse

Region: 07
 Site ID: 0704908
 EPA ID: NEN000704908
 Site Name: FORMER OMAHA WHITE LEAD
 NPL: N
 FF: N
 OU: 00
 Action Code: DS
 Action Name: DISCVRY
 SEQ: 1
 Start Date: 2005-05-23 04:00:00
 Finish Date: 5/23/2005 4:00:00 AM
 Qual: Not reported
 Current Action Lead: EPA Perf

Region: 07
 Site ID: 0704908
 EPA ID: NEN000704908
 Site Name: FORMER OMAHA WHITE LEAD
 NPL: N
 FF: N
 OU: 00
 Action Code: PA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

N L INDUSTRIES, INC (Continued)

1008341442

Action Name: PA
SEQ: 1
Start Date: 2005-10-01 04:00:00
Finish Date: 1/30/2007 5:00:00 AM
Qual: H
Current Action Lead: EPA Perf

ICIS:

Enforcement Action ID: 07-2011-0219
FRS ID: 110045463681
Action Name: OMAHA LEAD; NL INDUSTRIES, INC
Facility Name: N L INDUSTRIES, INC
Facility Address: 20TH & CENTER
OMAHA, NE 68108
Enforcement Action Type: Civil Judicial Action
Facility County: DOUGLAS
Program System Acronym: ICIS
Enforcement Action Forum Desc: Judicial
EA Type Code: CIV
Facility SIC Code: Not reported
Federal Facility ID: Not reported
Latitude in Decimal Degrees: 41.241424
Longitude in Decimal Degrees: -95.942239
Permit Type Desc: Not reported
Program System Acronym: 2600020561
Facility NAICS Code: Not reported
Tribal Land Code: Not reported

Facility Name: N L INDUSTRIES, INC
Address: 20TH & CENTER
Tribal Indicator: N
Fed Facility: Not reported
NAIC Code: Not reported
SIC Code: Not reported

Lead Smelter Sites:

Site ID: 0704908
Facility Region Id: 07
Latitude: Not reported
Longitude: Not reported
CoC Ind: Not reported
Contaminant Name: Not reported
FF Ind: N
NAI: N
Non-Primary Site-Sub Type: Not reported
NPL: Not on the NPL
Primary Site-Sub Type: Primary metals/mineral processing
(Manufacturing/Processing/Maintenance)
Special Initiative: Not reported

FINDS:

Registry ID: 110045463681

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

N L INDUSTRIES, INC (Continued)

1008341442

Click Here:

Environmental Interest/Information System:

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and it Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

Click this hyperlink while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1008341442
Registry ID: 110045463681
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110045463681>
Name: N L INDUSTRIES, INC
Address: 20TH & CENTER
City,State,Zip: OMAHA, NE 68108

M58
East
1/4-1/2
0.378 mi.
1998 ft.

20TH & CENTER FMGP (AKA LYNCH PARK)
20TH AND CENTER STREET
OMAHA, NE 68108

NE INST CONTROL **S113907402**
N/A

Site 6 of 9 in cluster M

Relative:
Lower
Actual:
1088 ft.

NE INSTUTIONAL CONTROL:

Name: 20TH & CENTER FMGP (AKA LYNCH PARK)
Address: Not reported
City,State,Zip: OMAHA, NE 68108
Lat/Long: 41.241227 -95.941697
Category: Proprietary
Type: Restrictive Covenant
Media: GroundWater,Soil
Compliance Reporting: Annual reporting by then-current fee simple owner of the Property.
Geographic Area: Lot Four(4) and the West Twenty-Seven (27) feet and the East Twenty-Three (23) feet of Lot Three (3) in Block Four (4), together with those portions of the vacated alley lying adjacent thereto on the south, in Improvement Association Addition to the City of Omaha, Douglas County, Nebraska

Text:

The Property is subject to the following activity and use limitations: (a) No groundwater drinking wells shall be installed on the Property. (b) The Property shall not be used for any purpose other than commercial or industrial, and shall not be used for residential use where children may be present for extended periods of time, including schools and day care facilities. (c) Any ground intrusive work (including, but not limited to excavation, digging and drilling) on the property must be conducted in accordance with the Operation and Maintenance Plan (Burns and McDonnell, September 2017).

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

20TH & CENTER FMGP (AKA LYNCH PARK) (Continued)

S113907402

Restrictions: (d) Prior to construction of any structure, a plan shall be submitted and approved by the Agency. In general, the plan will evaluate vapor intrusion and how any exposure will be mitigated. Prohibit drinking wells. Limit land use. Any land disturbance must follow Operation and Maintenance Plan. Obtain prior approval of new structures.

Name: 20TH & CENTER FMGP (AKA LYNCH PARK)
 Address: 20TH AND CENTER STREET
 City,State,Zip: OMAHA, NE 68108
 Lat/Long: 41.2450 -95.9427
 Category: Proprietary
 Type: Restrictive Covenant - UECA
 Media: GroundWater,Soil
 Compliance Reporting: Annual reporting by the then-current fee simple owner of the property.
 Geographic Area: Campbells Addition, Lot 13 Block 1, Campbells Addition, Lot 30 Block 1, and LANDS N 128 S 290 E 128 W 770 FT, NW 1/4 SW 1/4 - 0.37 AC, located in the Southwest 1/4 of Section 27, Township 15 North, Range 13 East in Douglas County, NE

Text: The property is subject to the following activity and use limitations: (a) The property will be restricted to park use only and the property cannot be conveyed. (b) Contact with contaminated soils shall be prevented by maintaining a minimum of 18 inches of soil cover. (c) Any ground intrusive work, including but not limited to excavation, digging and drilling, must be conducted in accordance with the Materials Management Plan (City of Omaha, 2017). (d) No groundwater drinking water wells shall be installed on the property.

Restrictions: Limit future land use. Maintain soil cover. Adhere to Materials Management Plan. Forbid groundwater drinking wells.

M59
East
1/4-1/2
0.378 mi.
1998 ft.

OMAHA GAS CO
20TH & CENTER ST
OMAHA, NE 68108
Site 7 of 9 in cluster M

SEMS-ARCHIVE 1003876055
NED986367530

Relative:
Lower
Actual:
1088 ft.

SEMS Archive:
 Site ID: 0700016
 EPA ID: NED986367530
 Name: OMAHA GAS CO
 Address: 20TH & CENTER ST
 Address 2: Not reported
 City,State,Zip: OMAHA, NE 68108
 Cong District: 02
 FIPS Code: 31055
 FF: N
 NPL: Not on the NPL
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:
 Region: 07
 Site ID: 0700016
 EPA ID: NED986367530
 Site Name: OMAHA GAS CO
 NPL: N
 FF: N
 OU: 00
 Action Code: VS

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OMAHA GAS CO (Continued)

1003876055

Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 1989-09-14 04:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 07
Site ID: 0700016
EPA ID: NED986367530
Site Name: OMAHA GAS CO
NPL: N
FF: N
OU: 00
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 1988-08-02 04:00:00
Finish Date: 1988-08-02 04:00:00
Qual: Not reported
Current Action Lead: EPA Perf

Region: 07
Site ID: 0700016
EPA ID: NED986367530
Site Name: OMAHA GAS CO
NPL: N
FF: N
OU: 00
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: 1989-06-30 04:00:00
Finish Date: 1989-09-14 04:00:00
Qual: N
Current Action Lead: EPA Perf

M60
East
1/4-1/2
0.378 mi.
1998 ft.
Relative:
Lower
Actual:
1088 ft.

OMAHA FMGP SITE
20TH AND CENTER STREET
OMAHA, NE 68108

Site 8 of 9 in cluster M

Manufactured Gas Plants:

Alternate Name: OMAHA GAS CO; METROPOLITAN UTILITIES DISTRICT-GAS PLANT. No additional information available

EDR MGP 1008408662
N/A

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

M61 **SHARED SERVICE SYSTEM INC**
ENE **1725 S 20TH ST**
1/4-1/2 **OMAHA, NE 68108**
0.391 mi.
2064 ft. **Site 9 of 9 in cluster M**

NE LUST **U003945942**
NE UST **N/A**
NE HIST UST
NE SPILLS

Relative:
Lower

LUST:

Actual:
1082 ft.

Name: SHARED SERVICES SYSTEMS
Address: 1725 S 20TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040488-TH-0715
Owner/RP: SHARED SERVICES SYSTEMS
SFM Num: 2102
Owner Mailing Address: 1725 S 20TH ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 04/04/1988
Material Released: FUEL OIL

Name: SHARED SERVICES SYSTEMS
Address: 1725 S 20TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 081889-TH-0800
Owner/RP: SHARED SERVICES SYSTEMS
SFM Num: 2102
Owner Mailing Address: 1725 S 20TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: Not reported
Discovery Date: 01/18/1989
Material Released: FUEL OIL

Name: SHARED SERVICES SYSTEMS
Address: 1725 S 20TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 081889-TH-0800
Owner/RP: SHARED SERVICES SYSTEMS
SFM Num: 2102
Owner Mailing Address: 1725 S 20TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: Not reported
Discovery Date: 01/18/1989
Material Released: FUEL OIL

Name: SHARED SERVICES SYSTEMS
Address: 1725 S 20TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 040488-TH-0715
Owner/RP: SHARED SERVICES SYSTEMS

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHARED SERVICE SYSTEM INC (Continued)

U003945942

SFM Num: 2102
Owner Mailing Address: 1725 S 20TH ST
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 04/04/1988
Material Released: FUEL OIL

UST:

Name: SHARED SERVICE SYSTEM INC
Address: 1725 S 20TH ST
City: OMAHA
Zip: 68108

Facility:

Facility ID: 2102
Owner Name: SHARED SVC SYS INC
Owner Address: 1725 S 20TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tanks Currently In Use: 2
Tanks Temp Out Of Use: 0
Tanks Perm Out Of Use: 0
Tanks Closed In Place: 1
Tanks Removed: 0

Owner: SHARED SVC SYS INC
Owner Address: 1725 S 20TH ST
Owner City,St,Zip: OMAHA, NE 68108
Tank Corrosion Protection: Not reported
Tank Id/Tank Status: 2 / Currently in Use
Tank Contents: #2 Diesel
Tank Size: 10000
Tank Date Installed: 1985
Tank Type: Federally Regulated
Tank Construction: Fiberglass Reinforced Plastic
Tank Internal Protection: None
Tank External Protection: None
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

Tank Id/Tank Status: 3 / Currently in Use
Tank Contents: Heating Oil 1
Tank Size: 10000
Tank Date Installed: 1985
Tank Type: Heating Oil
Tank Construction: Fiberglass Reinforced Plastic
Tank Internal Protection: None
Tank External Protection: None
Tank Secondary Containment: Not reported
Piping Construction Material: Not reported

HIST UST:

Facility ID: 2102
Owner: SHARED SVC SYS INC
Owner Address: 1725 S 20TH ST
Owner City,St,Zip: OMAHA, NE 681080000
Tank Number: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHARED SERVICE SYSTEM INC (Continued)

U003945942

Tank Usage Status: Closed In Place
Tank Size (Gal): 20000
Tank Construction Material: Steel
Tank Content(s): Heating Oil 1
Tank Installed: 1974
Piping Construction Material(s): Unknown

Facility ID: 2102
Owner: SHARED SVC SYS INC
Owner Address: 1725 S 20TH ST
Owner City,St,Zip: OMAHA, NE 681080000
Tank Number: 2

Tank Usage Status: Currently in Use
Tank Size (Gal): 10000
Tank Construction Material: Fiberglass Reinforced Plastic
Tank Content(s): #2 Diesel
Tank Installed: 1985
Piping Construction Material(s): Not reported

Facility ID: 2102
Owner: SHARED SVC SYS INC
Owner Address: 1725 S 20TH ST
Owner City,St,Zip: OMAHA, NE 681080000
Tank Number: 3

Tank Usage Status: Currently in Use
Tank Size (Gal): 10000
Tank Construction Material: Fiberglass Reinforced Plastic
Tank Content(s): Heating Oil 1
Tank Installed: 1985
Piping Construction Material(s): Not reported

NE SPILL:

Name: Not reported
Address: 1725 S 20TH
City,State,Zip: OMAHA, NE
File Number: 032291-DT-0830
Owner Name: SHARED SERVICES SYSTEM
Facility Status: **NO FURTHER ACTION (INCIDENT CLOSED)**
Incident Type: AIR RELEASE
SFM Num: Not reported
Owner Mailing Address: 1725 S 20TH
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68108
Discovery Date: 03/22/1991
Material Released: CHLORINE

62
ESE
1/4-1/2
0.394 mi.
2078 ft.

**FORMER OMAHA FMGP
INTERSECTION OF 20TH & DORCAS STREETS
OMAHA, NE 68108**

**SEMS-ARCHIVE 1009908218
NEN000705523**

**Relative:
Higher
Actual:
1107 ft.**

SEMS Archive:
Site ID: 0705523
EPA ID: NEN000705523
Name: FORMER OMAHA FMGP

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORMER OMAHA FMGP (Continued)

1009908218

Address: INTERSECTION OF 20TH & DORCAS STREETS
Address 2: Not reported
City,State,Zip: OMAHA, NE 68108
Cong District: 02
FIPS Code: 31055
FF: N
NPL: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:

Region: 07
Site ID: 0705523
EPA ID: NEN000705523
Site Name: FORMER OMAHA FMGP
NPL: N
FF: N
OU: 00
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 2007-01-30 05:00:00
Finish Date: 2007-01-30 05:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 07
Site ID: 0705523
EPA ID: NEN000705523
Site Name: FORMER OMAHA FMGP
NPL: N
FF: N
OU: 00
Action Code: SI
Action Name: SI
SEQ: 1
Start Date: 2008-04-01 04:00:00
Finish Date: 2010-05-25 05:00:00
Qual: N
Current Action Lead: EPA Perf

Region: 07
Site ID: 0705523
EPA ID: NEN000705523
Site Name: FORMER OMAHA FMGP
NPL: N
FF: N
OU: 00
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: 2007-01-29 05:00:00
Finish Date: 2007-11-13 05:00:00
Qual: H
Current Action Lead: EPA Perf

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

N63
ESE
1/4-1/2
0.419 mi.
2212 ft.

HERRS GAS & SHOP
2302 S 20TH ST
OMAHA, NE

Site 1 of 2 in cluster N

NE LUST **S105173522**
N/A

Relative:
Higher

Actual:
1118 ft.

LUST:
Name: HERRS GAS & SHOP
Address: 2302 S 20TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: AP7771
Owner/RP: HMR INC
SFM Num: 7771
Owner Mailing Address: PO BOX 268
Owner Mailing City: BELLEVE
Owner Mailing State: NE
Owner Mailing Zip: 68005
Discovery Date: 07/20/1988
Material Released: GAS & WASTE OIL

Name: HERRS GAS & SHOP
Address: 2302 S 20TH ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: AP7771
Owner/RP: HMR INC
SFM Num: 7771
Owner Mailing Address: PO BOX 268
Owner Mailing City: BELLEVE
Owner Mailing State: NE
Owner Mailing Zip: 68005
Discovery Date: 07/20/1988
Material Released: GAS & WASTE OIL

N64
ESE
1/4-1/2
0.419 mi.
2212 ft.

CONVENIENT WORLD
2302 S 20 ST
OMAHA, NE 68108

Site 2 of 2 in cluster N

NE LUST **U003945570**
NE HIST UST **N/A**

Relative:
Higher

Actual:
1118 ft.

LUST:
Name: APPROVED LIGHTING
Address: 2302 S 20 ST
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 11127-DBH-1500
Owner/RP: APPROVED LIGHTING
SFM Num: 5677
Owner Mailing Address: 825 HIDDEN HILLS DR
Owner Mailing City: BELLEVUE
Owner Mailing State: NE
Owner Mailing Zip: 68005
Discovery Date: 11/12/1987
Material Released: GASOLINE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CONVENIENT WORLD (Continued)

U003945570

HIST UST:

Facility ID: 7771
Owner: Duane Menke
Owner Address: 10309 S 25th Street
Owner City,St,Zip: Bellevue, NE 68005
Tank Number: 1
Tank Usage Status: Currently in Use
Tank Size (Gal): 10000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1988
Piping Construction Material(s): Steel

Facility ID: 7771
Owner: Duane Menke
Owner Address: 10309 S 25th Street
Owner City,St,Zip: Bellevue, NE 68005
Tank Number: 2
Tank Usage Status: Currently in Use
Tank Size (Gal): 6000
Tank Construction Material: Steel
Tank Content(s): Gasoline
Tank Installed: 1988
Piping Construction Material(s): Steel

65
NNE
1/4-1/2
0.437 mi.
2308 ft.

BUTERA & SON SERVICE
1102 SOUTH 24TH STREET
OMAHA, NE

NE LUST S102420582
N/A

Relative:
Higher
Actual:
1097 ft.

LUST:

Name: BUTERA & SON SERVICE
Address: 1102 SOUTH 24TH STREET
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - REGULATED UNDER FEDERAL RULES
File Number: 06290-RJF-0900
Owner/RP: BUTERA & SONS SERVICE
SFM Num: 8168
Owner Mailing Address: 1102 SOUTH 24TH ST.
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68101
Discovery Date: 06/29/1990
Material Released: GASOLINE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

66
NE
1/4-1/2
0.451 mi.
2379 ft.

PLAS-TECH INC.
2007 POPPLETON AVE.
OMAHA, NE

NE LUST S105528642
N/A

Relative:
Lower

LUST:

Actual:
1053 ft.

Name: ARATEX SERVICES
Address: 2007 POPPLETON AVENUE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - NOT REGULATED UNDER FEDERAL RULES
File Number: 052990-99-0004
Owner/RP: ARATEX SERVICES
SFM Num: 2773
Owner Mailing Address: 2500 DELAWARE AVE.
Owner Mailing City: DES MOINES
Owner Mailing State: IA
Owner Mailing Zip: 50317
Discovery Date: 11/08/1989
Material Released: DIESEL FUEL

67
WSW
1/4-1/2
0.477 mi.
2521 ft.

OUR LADY OF LOURDES SCHL
2124 S 32ND AVE
OMAHA, NE

NE LUST S106057281
NE ASBESTOS N/A

Relative:
Higher

LUST:

Actual:
1207 ft.

Name: OUR LADY OF LOURDES SCHL
Address: 2124 S 32ND AVE
City,State,Zip: OMAHA, NE
Facility Status: NO FURTHER ACTION (INCIDENT CLOSED)
Incident Type: UNDERGROUND STORAGE TANK - NOT REGULATED UNDER FEDERAL RULES
File Number: 072103-TH-0700
Owner/RP: OUR LADY OF LOURDES SCHO
SFM Num: 12205
Owner Mailing Address: 2124 S 32ND AVE
Owner Mailing City: OMAHA
Owner Mailing State: NE
Owner Mailing Zip: 68117
Discovery Date: 05/08/2003
Material Released: #2 FUEL OIL

ASBESTOS:

Name: OUR LADY OF LOURDES SCHOOL
Address: 2124 S. 32ND AVENUE
City,State,Zip: OMAHA, NE
Project Notification Date: 03/17/2003
State Project Number: 2003-O103
Business Entity Initials: APEX
Owner Name: Our Lady of Lourdes Church/School
Start Date: 03/31/2003
Finish Date: 04/04/2003
Demo: Not reported
Region: Omaha
Year: 2003
Schedule Type: Not reported
Project Description: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

OUR LADY OF LOURDES SCHL (Continued)

S106057281

Associated With:	Not reported
Contractor Project Number:	Not reported
Project Notification Date:	03/17/2003
Business Entity:	Not reported
Additional Addresses:	Not reported
Square Feet:	400
Linear Feet:	60
Cubic Feet:	Not reported
Start Time:	08:00
Stop Time:	15:00
Fee Paid:	True
Acknowledgement Sent:	No
Follow-up Comments:	Not reported
Insp Date:	Not reported
FA Report:	False
Final Report:	Not reported
Final Report Rec Date:	Not reported
10 Day Waiver:	False
Emergency:	False
Canceled:	False
Completed:	False
Non-Friable:	False
Non-Friable Amount:	Not reported
Landfill Receipts:	False
Work/Worker Practices:	False
Inspection Report:	Not reported
Inspection Date:	Not reported
Enforcement:	False
Additional Information:	False
Waivers/Notes 1:	Not reported
Waivers/Notes 2:	Not reported
Waivers/Notes 3:	Not reported
Waivers/Notes 4:	Not reported
Final Rpt Status:	Not reported

68
SSW
1/4-1/2
0.488 mi.
2576 ft.

SCOULAR ELEVATOR
2727 S 28 AVE
OMAHA, NE 68105

NE BROWNFIELDS **S111863977**
N/A

Relative:
Higher
Actual:
1170 ft.

BROWNFIELDS:

Name:	SCOULAR ELEVATOR
Address:	2727 S 28 AVE
City,State,Zip:	OMAHA, NE 68105
Facility ID:	58990
Facility Location Desc:	&2802 Elm St(Vac); E Side S 28Ave,SE Cnr w/Bancrft
Program Acronym:	BF
Status:	C
latitude:	41.234876
Longitude:	95.9534
Lat/Lon Description:	drive
lat/Lon Source:	DIG-DOQ
Program ID:	BF0222
Program Description:	Virgil Anderson
Program Status:	Active
Fstatus Decode Values:	Closed

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

69 NE 1/2-1 0.598 mi. 3155 ft.	DON BLAZEK MOTORS INC 1020 S 20TH ST OMAHA, NE 68108	NE SHWS FINDS	1005482709 N/A
---	---	--------------------------------	---------------------------------

Relative: SHWS:
Lower Name: DON BLAZEK MOTORS INC
Address: 1020 S 20TH ST
Actual: City,State,Zip: OMAHA, NE 68108
1090 ft. DEQ ID: 11602
Program Acronym: SF
Directions to Facility: Leavnwrth,20-S,W Sd 20,E Sd 21,N Sd Midtown Lofts

FINDS:
Registry ID: 110006600053

Click Here:
Environmental Interest/Information System:
STATE MASTER

Click this hyperlink while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

70 NE 1/2-1 0.728 mi. 3844 ft.	OMAHA SHOT & LEAD WORKS 1709 MASON ST OMAHA, NE 68108	NE SHWS	S108785291 N/A
---	--	----------------	---------------------------------

Relative: SHWS:
Lower Name: OMAHA SHOT & LEAD WORKS
Address: 1709 MASON ST
Actual: City,State,Zip: OMAHA, NE 68108
1063 ft. DEQ ID: 85700
Program Acronym: SF
Directions to Facility: Bd:N-Mason,S,S&W-Shelter Wood Window,E-UPRR Tracks

71 NE 1/2-1 0.968 mi. 5110 ft.	EGGERSS O'FLYNG BUILDING 801 S 15TH ST OMAHA, NE 68108	NE SHWS	S110084082 N/A
---	---	----------------	---------------------------------

Relative: SHWS:
Lower Name: EGGERS O'FLYNG BUILDING
Address: 801 S 15TH ST
Actual: City,State,Zip: OMAHA, NE 68108
1045 ft. DEQ ID: 81196
Program Acronym: SF
Directions to Facility: 1413 Leavenworth/803 S 15th; SE Cnr 15&Leavenworth

Count: 13 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
OMAHA	S127330980	20TH AND CENTER FMGP/LYNCH PARK	20TH AND CENTER STREETS, LYNCH	68108	NE VCP
OMAHA	S106249668	LOGAN-FONTENELLE HOMES	21ST & HAMILTON		NE LUST
OMAHA	1015735261	MONARCH ASPHALT OILS INC	S 22ND ST & 'H' ST	68107	SEMS-ARCHIVE, RCRA-VSQQ
OMAHA	1008341444	FORMER LAWRENCE SHOT & LEAD FACILI	24TH & BEUCROFT	68102	SEMS-ARCHIVE, LEAD SMELTERS
OMAHA	S120626650	CREIGHTON DENTAL COLLEGE	BTWN 21ST & 22ND CUMING/BURT		NE LUST
OMAHA	S117716412	TERRACE PLAZA	11414 W CENTER		NE LUST
OMAHA	S118904603	OMAHA AIRPORT AUTHORITY	NE CORNER N 25TH ST E & AVE L		NE LUST
OMAHA	S108917789	OMAHA WHITE LEAD FACILITY	JCT S 20TH & CENTER STS	68108	NE SHWS
OMAHA	S116735724	VA MED CENTER SHOP AREA	MED CENTER SHOP AREA		NE LUST
OMAHA	S120626538	OMAHA VA MEDICAL CENTER	NE OF CENTER ST & PULLER DR		NE LAST
OMAHA	S117716390	PEONY PARK	PEONY PARK		NE LUST
OMAHA	S112185952	PIERCE ST TANK SITE	N SIDE PIERCE ST, BTWN 3TH & 4		NE LUST
OMAHA	S109344999	CULINARY ARTS BLDG	SORENSEN PKWY & N 30TH		NE LUST

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: N/A
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: N/A
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991
Date Data Arrived at EDR: 02/02/1994
Date Made Active in Reports: 03/30/1994
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: EPA
Telephone: N/A
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 02/22/2021
Date Data Arrived at EDR: 03/30/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 79

Source: Environmental Protection Agency
Telephone: 703-603-8704
Last EDR Contact: 06/23/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: 800-424-9346
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 03/22/2021	Source: EPA
Date Data Arrived at EDR: 03/23/2021	Telephone: 800-424-9346
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: 913-551-7003
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: 913-551-7003
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: 913-551-7003
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: 913-551-7003
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/10/2021	Source: Department of the Navy
Date Data Arrived at EDR: 05/13/2021	Telephone: 843-820-7326
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 08/05/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 05/21/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 09/06/2021
	Data Release Frequency: Varies

US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 05/21/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 09/06/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/24/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 85

Source: National Response Center, United States Coast Guard
Telephone: 202-267-2180
Last EDR Contact: 06/17/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

State- and tribal - equivalent CERCLIS

SHWS: Superfund State Program List

The Nebraska Department of Environmental Quality is providing this information from its own database. The data, although not verified to be the most current or accurate for any specific site, is generally based on the contents of the physical documents in the files. You may contact the Records Management Unit at (402) 471-3557 to make arrangements to view or to get a photocopy of the physical file.

Date of Government Version: 03/15/2021
Date Data Arrived at EDR: 03/16/2021
Date Made Active in Reports: 06/03/2021
Number of Days to Update: 79

Source: Dept. of Environmental Quality
Telephone: 402-471-3557
Last EDR Contact: 06/08/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Varies

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Licensed Landfill List

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 03/01/2021
Date Data Arrived at EDR: 03/02/2021
Date Made Active in Reports: 03/03/2021
Number of Days to Update: 1

Source: Department of Environmental Quality
Telephone: 402-471-4210
Last EDR Contact: 06/08/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Varies

State and tribal leaking storage tank lists

LAST: Leaking Aboveground Storage Tank Sites

Releases from an aboveground storage tank system.

Date of Government Version: 04/07/2021
Date Data Arrived at EDR: 04/07/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 78

Source: Department of Environmental Quality
Telephone: 402-471-3557
Last EDR Contact: 07/06/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Quarterly

LUST: Leaking Underground Storage Tank Sites

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 04/07/2021
Date Data Arrived at EDR: 04/07/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 78

Source: Department of Environmental Quality
Telephone: 402-471-3557
Last EDR Contact: 07/06/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-6597
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 06/11/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 10/01/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/16/2020	Telephone: 415-972-3372
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land
Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 10/07/2020	Source: EPA, Region 5
Date Data Arrived at EDR: 12/16/2020	Telephone: 312-886-7439
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2020	Source: EPA Region 1
Date Data Arrived at EDR: 12/16/2020	Telephone: 617-918-1313
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 10/02/2020	Source: EPA Region 4
Date Data Arrived at EDR: 12/18/2020	Telephone: 404-562-8677
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 10/09/2020	Source: EPA Region 8
Date Data Arrived at EDR: 12/16/2020	Telephone: 303-312-6271
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 09/30/2020	Source: EPA Region 7
Date Data Arrived at EDR: 12/22/2020	Telephone: 913-551-7003
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/12/2020	Source: EPA Region 10
Date Data Arrived at EDR: 12/16/2020	Telephone: 206-553-2857
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

State and tribal registered storage tank lists

FEMA UST: Underground Storage Tank Listing
A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/29/2021	Source: FEMA
Date Data Arrived at EDR: 02/17/2021	Telephone: 202-646-5797
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 06/29/2021
Number of Days to Update: 33	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Varies

UST: Facility and Tank Data

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 03/18/2021	Source: Nebraska State Fire Marshal
Date Data Arrived at EDR: 04/27/2021	Telephone: 402-471-9664
Date Made Active in Reports: 07/15/2021	Last EDR Contact: 07/26/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Annually

AST: AST Data

A listing of aboveground storage tank site locations. Aboveground storage tanks dispensing hazardous substances must register such tank with this office. Storage tanks of 1000 gallons or less are exempt from this requirement.

Date of Government Version: 03/22/2021	Source: State Fire Marshal
Date Data Arrived at EDR: 03/23/2021	Telephone: 402-471-9465
Date Made Active in Reports: 06/15/2021	Last EDR Contact: 06/03/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 09/06/2021
	Data Release Frequency: No Update Planned

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-7591
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 06/11/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 10/07/2020	Source: EPA Region 5
Date Data Arrived at EDR: 12/16/2020	Telephone: 312-886-6136
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 10/01/2020	Source: EPA Region 9
Date Data Arrived at EDR: 12/16/2020	Telephone: 415-972-3368
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2020	Source: EPA, Region 1
Date Data Arrived at EDR: 12/16/2020	Telephone: 617-918-1313
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 11/12/2020	Source: EPA Region 10
Date Data Arrived at EDR: 12/16/2020	Telephone: 206-553-2857
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 10/02/2020	Source: EPA Region 4
Date Data Arrived at EDR: 12/18/2020	Telephone: 404-562-9424
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 09/30/2020	Source: EPA Region 7
Date Data Arrived at EDR: 12/22/2020	Telephone: 913-551-7003
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 10/09/2020	Source: EPA Region 8
Date Data Arrived at EDR: 12/16/2020	Telephone: 303-312-6137
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

State and tribal institutional control / engineering control registries

INST CONTROL: Nebraska's Institutional Control Registry

A list of sites within Nebraska that have institutional controls. According to the Environmental Protection Agency (EPA), institutional controls are "non-engineering measures designed to prevent or limit exposure to hazardous substances left in place at a site, or assure effectiveness of the chosen remedy. Institutional controls are usually, but not always, legal controls, such as easements, restrictive covenants, and zoning ordinances." In short, institutional controls are a type of environmental covenant typically used when property is to be cleaned up to a level determined by the potential environmental risks posed by a planned use, rather than to unrestricted use standards. This method of control has proven to be both environmentally and economically beneficial.

Date of Government Version: 03/15/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 03/23/2021	Telephone: 402-471-2214
Date Made Active in Reports: 06/14/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 83	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Annually

State and tribal voluntary cleanup sites

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 07/08/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: No Update Planned

VCP: RAPMA Sites

The Remedial Action Plan Monitoring Act (RAPMA), initially created in 1995, provides property owners and parties responsible for contamination with a mechanism for developing voluntary environmental cleanup plans which are reviewed and approved by the Department.

Date of Government Version: 03/15/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 03/23/2021	Telephone: 402-471-2186
Date Made Active in Reports: 06/14/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 83	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Annually

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 09/29/2015	Telephone: 617-918-1102
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 06/15/2021
Number of Days to Update: 142	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: No Update Planned

State and tribal Brownfields sites

BROWNFIELDS: Potential Brownfields Inventory Listing

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

"NDEQ defines a brownfields site as subpart (A) of CERCLA ? 101(39): 'Real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant.' This is a broad-based approach to capture all potential brownfields sites. In the event that CERCLA 128(a) State Response Program funds are utilized - for example, conducting a Section 128(a) Assessment - the exclusions, site-by-site determinations, and further definitions as provided by the law would need to be met. This would be done on a site-by-site basis." A preliminary Survey and Inventory of Brownfields Sites in Nebraska was constructed based on previously submitted information including sites named specifically by city representatives. The list was built on facility characteristics, which were founded on previous, broad-based contamination experience. Additions to the inventory were made by looking for other sources of potential brownfields sites using Standard Industrial Classification (SIC) codes. A general sector list was constructed to serve as an inventory guide. This list shows all of the different types of sites that are within the inventory (sorted by SIC code), and the number of sites there are of each type. Color-coated blocks, which group together similar SIC codes and the sites that they encompass also sort the sectors.

Date of Government Version: 12/11/2020
Date Data Arrived at EDR: 12/11/2020
Date Made Active in Reports: 02/26/2021
Number of Days to Update: 77

Source: Department of Environmental Quality
Telephone: 402-471-2186
Last EDR Contact: 06/04/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 03/15/2021
Date Data Arrived at EDR: 03/16/2021
Date Made Active in Reports: 06/10/2021
Number of Days to Update: 86

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 06/10/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY: Recycling Resource Directory

A listing of recycling facilities.

Date of Government Version: 12/21/2020
Date Data Arrived at EDR: 12/22/2020
Date Made Active in Reports: 03/15/2021
Number of Days to Update: 83

Source: Department of Environmental Quality
Telephone: 402-471-6974
Last EDR Contact: 06/08/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: No Update Planned

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: No Update Planned

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 05/22/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: No Update Planned

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 05/18/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Quarterly

PFAS: PFAS Site Contamination Listing

The purpose of the Perfluorinated Compounds (PFCs) inventory is to develop a statewide list of facilities that used or produced PFCs in Nebraska. This includes the high profile Perfluorooctanoic Acid (PFOA) and Perfluorooctane Sulfonate (PFOS), which were used in Aqueous Film Forming Foam (AFFF) formulations for fire suppression. In addition to AFFF, PFCs were used in a variety of surface treatments and performance chemicals including fabric and leather treatments, various surfactants, food containers, pesticides, rubber products, antifogging, non-stick cookware, paints and special coatings, airplane hydraulic fluid, waterproof fabric, metal plating, photographic processes, and electronic manufacturing.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/30/2017
Date Data Arrived at EDR: 02/07/2020
Date Made Active in Reports: 03/11/2020
Number of Days to Update: 33

Source: Department of Environment & Energy
Telephone: 402-471-3557
Last EDR Contact: 07/21/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

Local Lists of Registered Storage Tanks

HIST UST: Underground Storage Tank Database Listing

A listing of underground storage tank locations. This listing contains detail information that the UST listing does not. It is no longer updated by the agency. For current information see the UST listing.

Date of Government Version: 02/28/2005
Date Data Arrived at EDR: 09/01/2006
Date Made Active in Reports: 10/11/2006
Number of Days to Update: 40

Source: State Fire Marshal
Telephone: 402-471-2027
Last EDR Contact: 02/23/2009
Next Scheduled EDR Contact: 05/25/2009
Data Release Frequency: No Update Planned

HIST AST: Aboveground Storage Tank Database Listing

A listing of aboveground storage tank locations. This listing contains detail information that the AST listing does not. It is no longer updated by the agency. For current information see the AST listing.

Date of Government Version: 10/19/2004
Date Data Arrived at EDR: 09/01/2006
Date Made Active in Reports: 10/11/2006
Number of Days to Update: 40

Source: State Fire Marshal
Telephone: 402-471-2027
Last EDR Contact: 03/23/2009
Next Scheduled EDR Contact: 06/22/2009
Data Release Frequency: No Update Planned

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/24/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 85

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 06/17/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

SPILLS: Surface Spill List

Releases of petroleum or hazardous substances to the air, land, or water.

Date of Government Version: 04/07/2021
Date Data Arrived at EDR: 04/07/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 78

Source: Department of Environmental Quality
Telephone: 402-471-2186
Last EDR Contact: 07/06/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 10/09/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 03/06/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 62	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

SPILLS 80: SPILLS80 data from FirstSearch

Spills 80 includes those spill and release records available from FirstSearch databases prior to 1990. Typically, they may include chemical, oil and/or hazardous substance spills recorded before 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 80.

Date of Government Version: 04/15/2003	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 03/06/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 62	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: 913-551-7003
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 05/04/2021	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 05/18/2021	Telephone: 202-528-4285
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 05/18/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 08/30/2021
	Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 11/10/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 07/13/2021
Number of Days to Update: 62	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Varies

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/02/2018
Date Data Arrived at EDR: 04/11/2018
Date Made Active in Reports: 11/06/2019
Number of Days to Update: 574

Source: U.S. Geological Survey
Telephone: 888-275-8747
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017
Date Data Arrived at EDR: 02/03/2017
Date Made Active in Reports: 04/07/2017
Number of Days to Update: 63

Source: Environmental Protection Agency
Telephone: 615-532-8599
Last EDR Contact: 08/06/2021
Next Scheduled EDR Contact: 11/22/2021
Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/23/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 86

Source: Environmental Protection Agency
Telephone: 202-566-1917
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013
Date Data Arrived at EDR: 03/21/2014
Date Made Active in Reports: 06/17/2014
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 617-520-3000
Last EDR Contact: 07/26/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: No Update Planned

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017
Date Data Arrived at EDR: 05/08/2018
Date Made Active in Reports: 07/20/2018
Number of Days to Update: 73

Source: Environmental Protection Agency
Telephone: 703-308-4044
Last EDR Contact: 08/06/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Varies

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2016
Date Data Arrived at EDR: 06/17/2020
Date Made Active in Reports: 09/10/2020
Number of Days to Update: 85

Source: EPA
Telephone: 202-260-5521
Last EDR Contact: 06/17/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 08/14/2020
Date Made Active in Reports: 11/04/2020
Number of Days to Update: 82

Source: EPA
Telephone: 202-566-0250
Last EDR Contact: 05/17/2021
Next Scheduled EDR Contact: 08/30/2021
Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 04/19/2021
Date Data Arrived at EDR: 04/20/2021
Date Made Active in Reports: 07/16/2021
Number of Days to Update: 87

Source: EPA
Telephone: 202-564-4203
Last EDR Contact: 07/19/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: EPA
Telephone: 703-416-0223
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Annually

RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 05/07/2021
Date Data Arrived at EDR: 05/13/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 82

Source: Environmental Protection Agency
Telephone: 202-564-8600
Last EDR Contact: 07/14/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/17/1995
Date Data Arrived at EDR: 07/03/1995
Date Made Active in Reports: 08/07/1995
Number of Days to Update: 35

Source: EPA
Telephone: 202-564-4104
Last EDR Contact: 06/02/2008
Next Scheduled EDR Contact: 09/01/2008
Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 12/30/2020
Date Data Arrived at EDR: 01/14/2021
Date Made Active in Reports: 03/05/2021
Number of Days to Update: 50

Source: EPA
Telephone: 202-564-6023
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/19/2020
Date Data Arrived at EDR: 01/08/2021
Date Made Active in Reports: 03/22/2021
Number of Days to Update: 73

Source: EPA
Telephone: 202-566-0500
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016
Date Data Arrived at EDR: 11/23/2016
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 79

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 06/29/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009
Date Data Arrived at EDR: 04/16/2009
Date Made Active in Reports: 05/11/2009
Number of Days to Update: 25

Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Telephone: 202-566-1667
Last EDR Contact: 08/18/2017
Next Scheduled EDR Contact: 12/04/2017
Data Release Frequency: No Update Planned

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009
Date Data Arrived at EDR: 04/16/2009
Date Made Active in Reports: 05/11/2009
Number of Days to Update: 25

Source: EPA
Telephone: 202-566-1667
Last EDR Contact: 08/18/2017
Next Scheduled EDR Contact: 12/04/2017
Data Release Frequency: No Update Planned

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/08/2021
Date Data Arrived at EDR: 03/11/2021
Date Made Active in Reports: 05/11/2021
Number of Days to Update: 61

Source: Nuclear Regulatory Commission
Telephone: 301-415-7169
Last EDR Contact: 07/14/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2019
Date Data Arrived at EDR: 12/01/2020
Date Made Active in Reports: 02/09/2021
Number of Days to Update: 70

Source: Department of Energy
Telephone: 202-586-8719
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017
Date Data Arrived at EDR: 03/05/2019
Date Made Active in Reports: 11/11/2019
Number of Days to Update: 251

Source: Environmental Protection Agency
Telephone: N/A
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019
Date Data Arrived at EDR: 11/06/2019
Date Made Active in Reports: 02/10/2020
Number of Days to Update: 96

Source: Environmental Protection Agency
Telephone: 202-566-0517
Last EDR Contact: 08/06/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 07/01/2019
Date Data Arrived at EDR: 07/01/2019
Date Made Active in Reports: 09/23/2019
Number of Days to Update: 84

Source: Environmental Protection Agency
Telephone: 202-343-9775
Last EDR Contact: 06/22/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: No Update Planned

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020
Date Data Arrived at EDR: 01/28/2020
Date Made Active in Reports: 04/17/2020
Number of Days to Update: 80

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 07/23/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 06/30/2021
Date Data Arrived at EDR: 07/14/2021
Date Made Active in Reports: 07/16/2021
Number of Days to Update: 2

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2017
Date Data Arrived at EDR: 06/22/2020
Date Made Active in Reports: 11/20/2020
Number of Days to Update: 151

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Biennially

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 07/14/2015
Date Made Active in Reports: 01/10/2017
Number of Days to Update: 546

Source: USGS
Telephone: 202-208-3710
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017
Date Data Arrived at EDR: 09/11/2018
Date Made Active in Reports: 09/14/2018
Number of Days to Update: 3

Source: Department of Energy
Telephone: 202-586-3559
Last EDR Contact: 07/23/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/30/2019
Date Data Arrived at EDR: 11/15/2019
Date Made Active in Reports: 01/28/2020
Number of Days to Update: 74

Source: Department of Energy
Telephone: 505-845-0011
Last EDR Contact: 08/12/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: Environmental Protection Agency
Telephone: 703-603-8787
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001
Date Data Arrived at EDR: 10/27/2010
Date Made Active in Reports: 12/02/2010
Number of Days to Update: 36

Source: American Journal of Public Health
Telephone: 703-305-6451
Last EDR Contact: 12/02/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: No Update Planned

US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: No Update Planned

MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 05/27/2021
Date Data Arrived at EDR: 05/27/2021
Date Made Active in Reports: 06/10/2021
Number of Days to Update: 14

Source: DOL, Mine Safety & Health Administration
Telephone: 202-693-9424
Last EDR Contact: 07/01/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Quarterly

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/03/2021
Date Data Arrived at EDR: 05/25/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 78

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 05/25/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Semi-Annually

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020
Date Data Arrived at EDR: 05/27/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 78

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 03/23/2021
Date Data Arrived at EDR: 03/25/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 84

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 06/14/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 02/03/2021
Date Data Arrived at EDR: 03/03/2021
Date Made Active in Reports: 04/05/2021
Number of Days to Update: 33

Source: EPA
Telephone: (913) 551-7003
Last EDR Contact: 05/18/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Quarterly

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/06/2021
Date Data Arrived at EDR: 05/21/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 82

Source: Environmental Protection Agency
Telephone: 202-564-0527
Last EDR Contact: 05/21/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2018	Source: Department of Defense
Date Data Arrived at EDR: 07/02/2020	Telephone: 703-704-1564
Date Made Active in Reports: 09/17/2020	Last EDR Contact: 07/07/2021
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Varies

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 04/04/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/06/2021	Telephone: 202-564-2280
Date Made Active in Reports: 06/25/2021	Last EDR Contact: 07/01/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Quarterly

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 05/14/2021	Source: EPA
Date Data Arrived at EDR: 05/14/2021	Telephone: 800-385-6164
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 08/13/2021
Number of Days to Update: 81	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Quarterly

AIRS: Air State Program List

A listing of air program facilities.

Date of Government Version: 03/15/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 03/16/2021	Telephone: 402-471-3389
Date Made Active in Reports: 06/03/2021	Last EDR Contact: 06/08/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Quarterly

ASBESTOS: Asbestos Notification Listing

Asbestos notification sites

Date of Government Version: 04/28/2021	Source: Department of Health & Human Services
Date Data Arrived at EDR: 04/29/2021	Telephone: 402-471-0549
Date Made Active in Reports: 05/03/2021	Last EDR Contact: 07/27/2021
Number of Days to Update: 4	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

DRYCLEANERS: Drycleaner Facility Listing

A listing of drycleaner facilities in Nebraska.

Date of Government Version: 03/15/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 03/16/2021	Telephone: 402-471-3557
Date Made Active in Reports: 06/03/2021	Last EDR Contact: 06/08/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Varies

Financial Assurance: Financial Assurance Information Listing

Financial assurance information for solid and hazardous waste sites.

Date of Government Version: 12/01/2020	Source: Department of Environmental Quality
Date Data Arrived at EDR: 12/14/2020	Telephone: 402-471-2186
Date Made Active in Reports: 03/03/2021	Last EDR Contact: 06/14/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NPDES: Wastewater Database Listing

A listing of permitted wastewater facilities.

Date of Government Version: 03/01/2021
Date Data Arrived at EDR: 03/03/2021
Date Made Active in Reports: 05/21/2021
Number of Days to Update: 79

Source: Department of Environmental Quality
Telephone: 402-471-3557
Last EDR Contact: 05/26/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Quarterly

TIER 2: Tier 2 Facility Listing

A listing of facilities which store or manufacture hazardous materials that submit a chemical inventory report.

Date of Government Version: 12/31/2019
Date Data Arrived at EDR: 06/03/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 71

Source: Department of Environmental Quality
Telephone: 402-471-3557
Last EDR Contact: 06/01/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Varies

UIC: Underground Injection Control Database

A listing of underground injection well locations. The UIC Program is responsible for regulating the construction, operation, permitting, and closure of injection wells that place fluids underground for storage or disposal.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 04/28/2021
Date Made Active in Reports: 07/15/2021
Number of Days to Update: 78

Source: Department of Environmental Quality
Telephone: 402-471-2186
Last EDR Contact: 07/21/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

MINES MRDS: Mineral Resources Data System

Mineral Resources Data System

Date of Government Version: 04/06/2018
Date Data Arrived at EDR: 10/21/2019
Date Made Active in Reports: 10/24/2019
Number of Days to Update: 3

Source: USGS
Telephone: 703-648-6533
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Varies

PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 02/05/2015
Date Made Active in Reports: 03/06/2015
Number of Days to Update: 29

Source: EPA
Telephone: 202-564-2497
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011
Date Data Arrived at EDR: 08/05/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 55

Source: EPA, Office of Water
Telephone: 202-564-2496
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/05/2014
Date Data Arrived at EDR: 01/06/2015
Date Made Active in Reports: 05/06/2015
Number of Days to Update: 120

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RGA HWS: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Nebraska.

Date of Government Version: N/A	Source: Department of Environmental Quality
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/03/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 186	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Nebraska.

Date of Government Version: N/A	Source: Department of Environmental Quality
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/03/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 186	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 03/24/2021	Source: Department of Energy & Environmental Protection
Date Data Arrived at EDR: 05/11/2021	Telephone: 860-424-3375
Date Made Active in Reports: 07/28/2021	Last EDR Contact: 08/10/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: No Update Planned

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 04/29/2020	Telephone: 518-402-8651
Date Made Active in Reports: 07/10/2020	Last EDR Contact: 07/29/2021
Number of Days to Update: 72	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Quarterly

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018	Source: Department of Natural Resources
Date Data Arrived at EDR: 06/19/2019	Telephone: N/A
Date Made Active in Reports: 09/03/2019	Last EDR Contact: 06/03/2021
Number of Days to Update: 76	Next Scheduled EDR Contact: 09/20/2021
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Electric Power Transmission Line Data

Source: Endeavor Business Media

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Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Listing

Source: Department of Health & Human Services

Telephone: 402-471-2306

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: National Wetlands Inventory

Source: Department of Natural Resources

Telephone: 402-471-2363

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Current USGS 7.5 Minute Topographic Map
Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

MULTIPLE VACANT PROPERTIES
2501 CENTER STREET
OMAHA, NE 68105

TARGET PROPERTY COORDINATES

Latitude (North): 41.24099 - 41° 14' 27.56"
Longitude (West): 95.950341 - 95° 57' 1.23"
Universal Transverse Mercator: Zone 15
UTM X (Meters): 252756.6
UTM Y (Meters): 4569496.0
Elevation: 1095 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map: 6713756 OMAHA SOUTH, NE
Version Date: 2014

North Map: 6713754 OMAHA NORTH, NE
Version Date: 2014

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

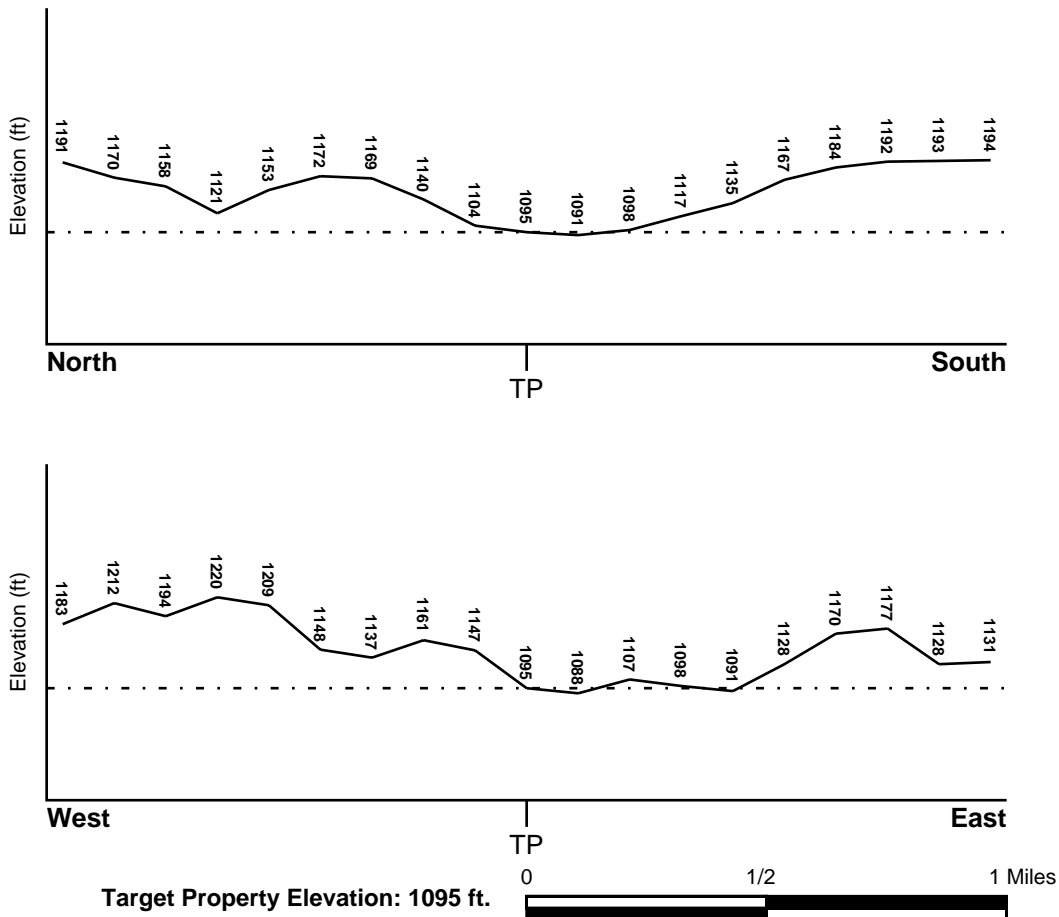
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SE

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
3152740050F	FEMA Q3 Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
19155C0400E	FEMA FIRM Flood data
31055C0243H	FEMA FIRM Flood data
31153C0085G	FEMA FIRM Flood data
31055C0360H	FEMA FIRM Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
OMAHA SOUTH	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

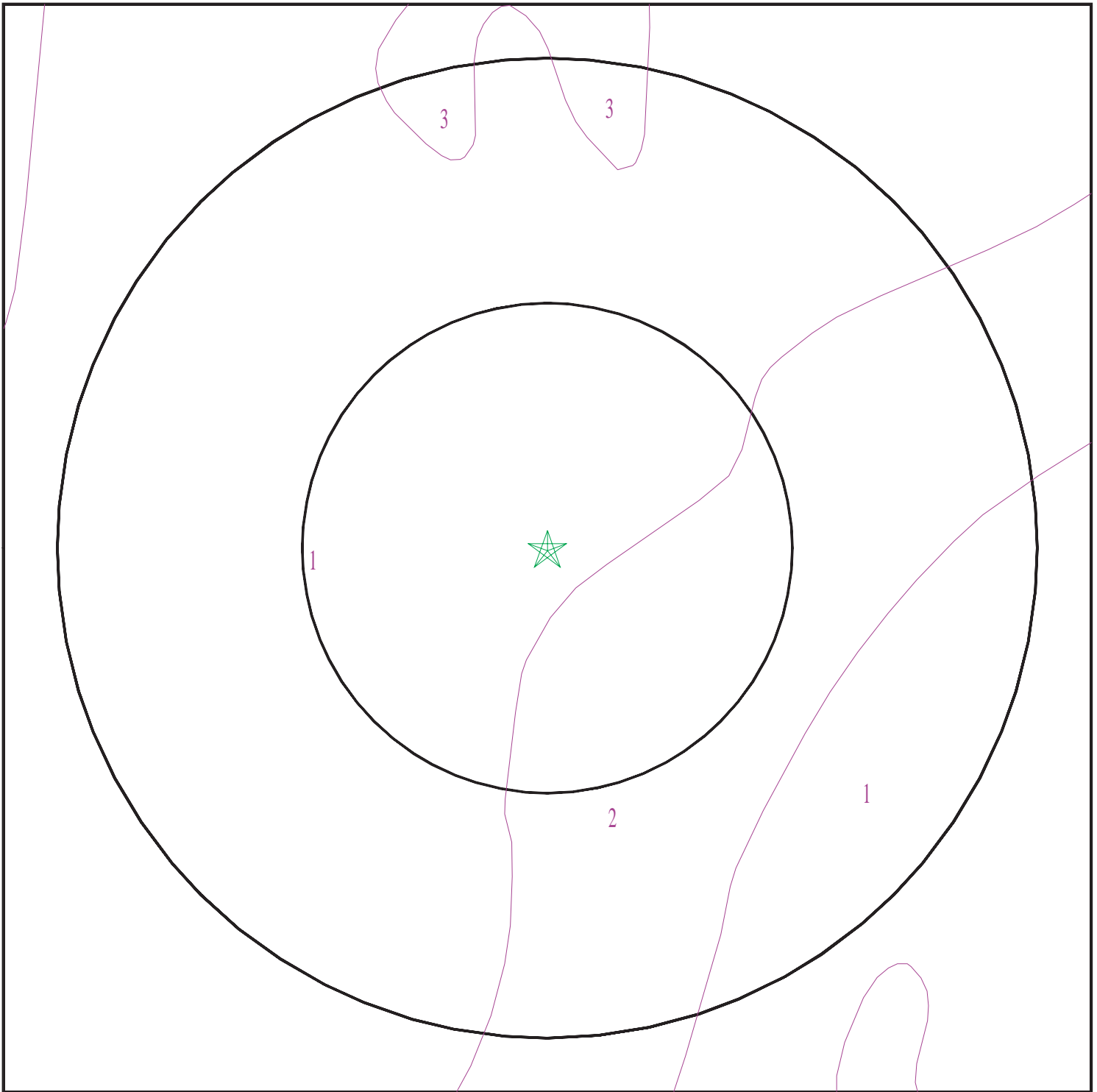
Era:	Paleozoic
System:	Pennsylvanian
Series:	Missourian Series
Code:	PP3 (<i>decoded above as Era, System & Series</i>)

GEOLOGIC AGE IDENTIFICATION

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 6623280.2s



- ★ Target Property
- ∩ SSURGO Soil
- ∩ Water



SITE NAME: Multiple Vacant Properties
ADDRESS: 2501 Center Street
Omaha NE 68105
LAT/LONG: 41.24099 / 95.950341

CLIENT: B2 Environmental
CONTACT: Brock Flowers
INQUIRY #: 6623280.2s
DATE: August 17, 2021 12:29 pm

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Monona

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	silt loam	Not reported	Not reported	Max: 14.11 Min: 4.233	Max: 8.4 Min: 6.6
2	9 inches	33 inches	silt loam	Not reported	Not reported	Max: 14.11 Min: 4.233	Max: 8.4 Min: 6.6
3	33 inches	59 inches	silt loam	Not reported	Not reported	Max: 14.11 Min: 4.233	Max: 8.4 Min: 6.6

Soil Map ID: 2

Soil Component Name: Judson

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	25 inches	silt loam	Not reported	Not reported	Max: 4.23 Min: 2.82	Max: 7.8 Min: 6.1
2	25 inches	37 inches	silty clay loam	Not reported	Not reported	Max: 4.23 Min: 2.82	Max: 7.8 Min: 6.1
3	37 inches	59 inches	silty clay loam	Not reported	Not reported	Max: 4.23 Min: 2.82	Max: 7.8 Min: 6.1

Soil Map ID: 3

Soil Component Name: Monona

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	silt loam	Not reported	Not reported	Max: 14.11 Min: 4.233	Max: 8.4 Min: 6.6

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	9 inches	33 inches	silt loam	Not reported	Not reported	Max: 14.11 Min: 4.233	Max: 8.4 Min: 6.6
3	33 inches	59 inches	silt loam	Not reported	Not reported	Max: 14.11 Min: 4.233	Max: 8.4 Min: 6.6

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
66	USGS40000741138	1/2 - 1 Mile North

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A1	NE8000000238534	0 - 1/8 Mile SE
A2	NE8000000215898	0 - 1/8 Mile ESE
A3	NE8000000215896	0 - 1/8 Mile ENE

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
A4	NE8000000215900	0 - 1/8 Mile SE
A5	NE8000000238533	0 - 1/8 Mile East
A6	NE8000000238535	0 - 1/8 Mile ESE
A7	NE8000000215897	0 - 1/8 Mile East
A8	NE8000000163086	0 - 1/8 Mile ESE
A9	NE8000000163807	0 - 1/8 Mile ESE
A10	NE8000000215899	0 - 1/8 Mile ESE
A11	NE8000000163808	0 - 1/8 Mile ESE
A12	NE8000000163806	0 - 1/8 Mile ESE
A13	NE8000000215901	0 - 1/8 Mile ESE
A14	NE8000000163085	0 - 1/8 Mile SE
A15	NE8000000161197	0 - 1/8 Mile ESE
A16	NE8000000161897	0 - 1/8 Mile SE
A17	NE8000000163084	0 - 1/8 Mile ESE
A18	NE8000000161196	0 - 1/8 Mile ESE
A19	NE8000000163805	0 - 1/8 Mile ESE
B20	NE8000000161198	0 - 1/8 Mile ESE
A21	NE8000000163081	0 - 1/8 Mile ESE
B22	NE8000000163082	0 - 1/8 Mile ESE
B23	NE8000000163083	0 - 1/8 Mile ESE
C24	NE8000000235010	1/8 - 1/4 Mile SE
C25	NE8000000235007	1/4 - 1/2 Mile SE
C26	NE8000000235011	1/4 - 1/2 Mile SE
C27	NE8000000235008	1/4 - 1/2 Mile SE
C28	NE8000000235009	1/4 - 1/2 Mile SE
D29	NE8000000204148	1/4 - 1/2 Mile East
D30	NE8000000204147	1/4 - 1/2 Mile East
D31	NE8000000204159	1/4 - 1/2 Mile East
E32	NE8000000230089	1/4 - 1/2 Mile NE
E33	NE8000000230087	1/4 - 1/2 Mile NE
D34	NE8000000204149	1/4 - 1/2 Mile East
E35	NE8000000230090	1/4 - 1/2 Mile NE
E36	NE8000000230088	1/4 - 1/2 Mile NE
D37	NE8000000233265	1/4 - 1/2 Mile East
D38	NE8000000233264	1/4 - 1/2 Mile East
D39	NE8000000204150	1/4 - 1/2 Mile East
F40	NE8000000204155	1/4 - 1/2 Mile ENE
F41	NE8000000204156	1/4 - 1/2 Mile ENE
G42	NE8000000204145	1/4 - 1/2 Mile ESE
43	NE8000000227051	1/4 - 1/2 Mile WNW
G44	NE8000000204146	1/4 - 1/2 Mile ESE
H45	NE8000000204151	1/4 - 1/2 Mile East
F46	NE8000000204153	1/4 - 1/2 Mile East
H47	NE8000000204152	1/4 - 1/2 Mile East
F48	NE8000000204154	1/4 - 1/2 Mile East
F49	NE8000000204157	1/4 - 1/2 Mile ENE
F50	NE8000000204158	1/4 - 1/2 Mile ENE
I51	NE8000000227401	1/4 - 1/2 Mile West
F52	NE8000000130708	1/4 - 1/2 Mile East
J53	NE8000000196573	1/4 - 1/2 Mile NNE
J54	NE8000000196571	1/4 - 1/2 Mile NNE
J55	NE8000000196572	1/4 - 1/2 Mile NNE

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
I56	NE8000000228704	1/4 - 1/2 Mile West
K57	NE8000000140274	1/2 - 1 Mile ENE
J58	NE8000000241285	1/2 - 1 Mile NNE
J59	NE8000000241284	1/2 - 1 Mile NNE
J60	NE8000000241287	1/2 - 1 Mile NNE
J61	NE8000000241286	1/2 - 1 Mile NNE
K62	NE8000000140271	1/2 - 1 Mile ENE
K63	NE8000000140273	1/2 - 1 Mile ENE
K64	NE8000000140272	1/2 - 1 Mile ENE
65	NE8000000142928	1/2 - 1 Mile ESE
67	NE8000000122595	1/2 - 1 Mile NNW
68	NE8000000192853	1/2 - 1 Mile South
69	NE8000000208405	1/2 - 1 Mile WNW
L70	NE8000000243609	1/2 - 1 Mile ENE
L71	NE8000000243608	1/2 - 1 Mile ENE
L72	NE8000000243610	1/2 - 1 Mile ENE
M73	NE8000000209086	1/2 - 1 Mile NNW
M74	NE8000000209083	1/2 - 1 Mile NNW
M75	NE8000000209085	1/2 - 1 Mile NNW
M76	NE8000000209084	1/2 - 1 Mile NNW
M77	NE8000000209087	1/2 - 1 Mile NNW
78	NE8000000122597	1/2 - 1 Mile NNW
N79	NE8000000084896	1/2 - 1 Mile NNE
N80	NE8000000084898	1/2 - 1 Mile NNE
N81	NE8000000084897	1/2 - 1 Mile NNE
N82	NE8000000084899	1/2 - 1 Mile NNE
O83	NE8000000200506	1/2 - 1 Mile WSW
O84	NE8000000200507	1/2 - 1 Mile West
O85	NE8000000202084	1/2 - 1 Mile West
P86	NE8000000235709	1/2 - 1 Mile North
87	NE8000000098621	1/2 - 1 Mile North
P88	NE8000000235708	1/2 - 1 Mile North
Q89	NE8000000130177	1/2 - 1 Mile East
P90	NE8000000235707	1/2 - 1 Mile North
Q91	NE8000000130176	1/2 - 1 Mile East
R92	NE8000000183557	1/2 - 1 Mile West
R93	NE8000000183558	1/2 - 1 Mile West
R94	NE8000000183556	1/2 - 1 Mile West
R95	NE8000000183555	1/2 - 1 Mile West
96	NE8000000227048	1/2 - 1 Mile WSW
97	NE8000000122596	1/2 - 1 Mile NW
98	NE8000000182224	1/2 - 1 Mile NNE
S99	NE8000000082912	1/2 - 1 Mile ENE
S100	NE8000000082908	1/2 - 1 Mile ENE
101	NE8000000227049	1/2 - 1 Mile West
S102	NE8000000082910	1/2 - 1 Mile ENE
S103	NE8000000082907	1/2 - 1 Mile ENE
S104	NE8000000082909	1/2 - 1 Mile ENE
S105	NE8000000082903	1/2 - 1 Mile ENE
S106	NE8000000082906	1/2 - 1 Mile ENE
107	NE8000000227050	1/2 - 1 Mile SW
S108	NE8000000082905	1/2 - 1 Mile ENE

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

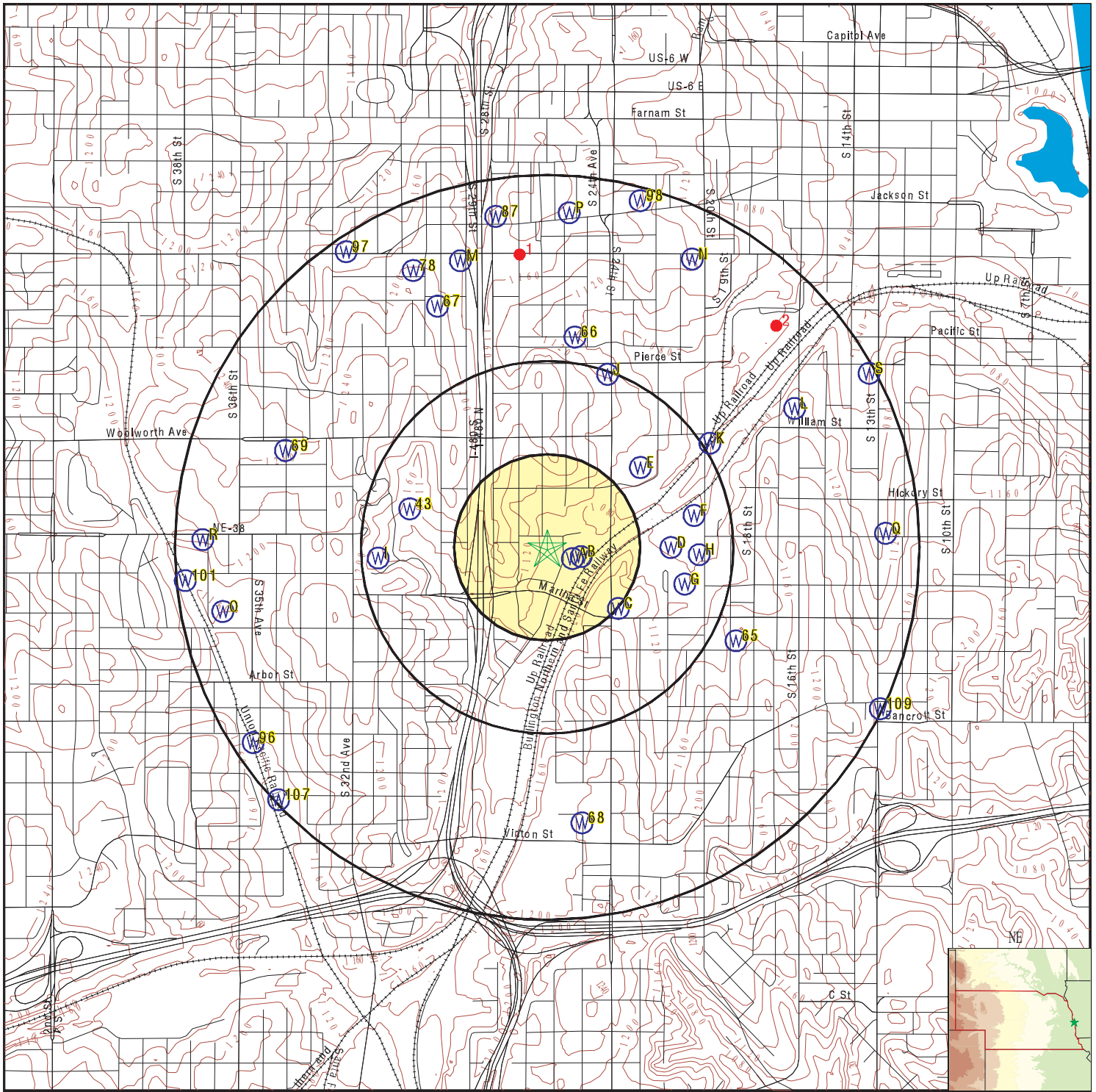
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
109	NE8000000082234	1/2 - 1 Mile ESE
S110	NE8000000082902	1/2 - 1 Mile ENE
S111	NE8000000082911	1/2 - 1 Mile ENE

OTHER STATE DATABASE INFORMATION

STATE OIL/GAS WELL INFORMATION

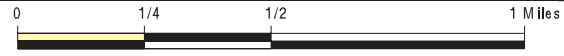
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	NEOG40000022333	1/2 - 1 Mile North
2	NEOG40000022336	1/2 - 1 Mile NE

PHYSICAL SETTING SOURCE MAP - 6623280.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Oil, gas or related wells



SITE NAME: Multiple Vacant Properties
 ADDRESS: 2501 Center Street
 Omaha NE 68105
 LAT/LONG: 41.24099 / 95.950341

CLIENT: B2 Environmental
 CONTACT: Brock Flowers
 INQUIRY #: 6623280.2s
 DATE: August 17, 2021 12:29 pm

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A1
SE
0 - 1/8 Mile
Lower

NE WELLS NE8000000238534

Well ID:	254892	Registration Code:	G-170877H
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	18
Static Water Level:	12	Pumping Water Level:	0
Registration Date:	11-DEC-18	Completion Date:	13-OCT-15
Date Abandoned:	Not Reported		

A2
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000215898

Well ID:	229651	Registration Code:	G-170877C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	14.4	Pumping Water Level:	0
Registration Date:	07-FEB-14	Completion Date:	12-SEP-13
Date Abandoned:	Not Reported		

A3
ENE
0 - 1/8 Mile
Lower

NE WELLS NE8000000215896

Well ID:	229648	Registration Code:	G-170877A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	17.8	Pumping Water Level:	0
Registration Date:	07-FEB-14	Completion Date:	13-SEP-13
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A4
SE
0 - 1/8 Mile
Lower

NE WELLS NE8000000215900

Well ID:	229653	Registration Code:	G-170877E
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	13.2	Pumping Water Level:	0
Registration Date:	07-FEB-14	Completion Date:	13-SEP-13
Date Abandoned:	Not Reported		

A5
East
0 - 1/8 Mile
Lower

NE WELLS NE8000000238533

Well ID:	254891	Registration Code:	G-170877G
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	18
Static Water Level:	10	Pumping Water Level:	0
Registration Date:	11-DEC-18	Completion Date:	13-OCT-15
Date Abandoned:	Not Reported		

A6
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000238535

Well ID:	254893	Registration Code:	G-170877I
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	18
Static Water Level:	10	Pumping Water Level:	0
Registration Date:	11-DEC-18	Completion Date:	13-OCT-15
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

A7
East
0 - 1/8 Mile
Lower

NE WELLS NE8000000215897

Well ID:	229650	Registration Code:	G-170877B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	13.7	Pumping Water Level:	0
Registration Date:	07-FEB-14	Completion Date:	12-SEP-13
Date Abandoned:	Not Reported		

A8
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163086

Well ID:	173874	Registration Code:	G-138325I
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	19.4	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	28-OCT-05
Date Abandoned:	Not Reported		

A9
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163807

Well ID:	173873	Registration Code:	G-138325H
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	14.2	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	28-OCT-05
Date Abandoned:	02-OCT-14		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

A10
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000215899

Well ID:	229652	Registration Code:	G-170877D
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	9.5	Pumping Water Level:	0
Registration Date:	07-FEB-14	Completion Date:	13-SEP-13
Date Abandoned:	Not Reported		

A11
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163808

Well ID:	173875	Registration Code:	G-138325J
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	12.7	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	28-OCT-05
Date Abandoned:	02-OCT-14		

A12
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163806

Well ID:	173872	Registration Code:	G-138325G
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	18
Static Water Level:	13.6	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	28-OCT-05
Date Abandoned:	02-OCT-14		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A13
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000215901

Well ID:	229654	Registration Code:	G-170877F
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	125870	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	8.7	Pumping Water Level:	0
Registration Date:	07-FEB-14	Completion Date:	13-SEP-13
Date Abandoned:	Not Reported		

A14
SE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163085

Well ID:	173871	Registration Code:	G-138325F
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	12.2	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	28-OCT-05
Date Abandoned:	Not Reported		

A15
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000161197

Well ID:	171847	Registration Code:	G-136875B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	15
Static Water Level:	11.8	Pumping Water Level:	0
Registration Date:	12-OCT-05	Completion Date:	06-SEP-05
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A16
SE
0 - 1/8 Mile
Lower

NE WELLS NE8000000161897

Well ID:	171848	Registration Code:	G-136875C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	30
Static Water Level:	11.7	Pumping Water Level:	0
Registration Date:	12-OCT-05	Completion Date:	02-SEP-05
Date Abandoned:	02-OCT-14		

A17
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163084

Well ID:	173870	Registration Code:	G-138325E
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	18
Static Water Level:	10.9	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	27-OCT-05
Date Abandoned:	Not Reported		

A18
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000161196

Well ID:	171846	Registration Code:	G-136875A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	8.2	Pumping Water Level:	0
Registration Date:	12-OCT-05	Completion Date:	06-SEP-05
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A19
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163805

Well ID:	173866	Registration Code:	G-138325A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	8.9	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	27-OCT-05
Date Abandoned:	02-OCT-14		

B20
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000161198

Well ID:	171850	Registration Code:	G-136875D
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	15
Static Water Level:	12.7	Pumping Water Level:	0
Registration Date:	12-OCT-05	Completion Date:	06-SEP-05
Date Abandoned:	Not Reported		

A21
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163081

Well ID:	173867	Registration Code:	G-138325B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	20
Static Water Level:	9.1	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	27-OCT-05
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

B22
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163082

Well ID:	173868	Registration Code:	G-138325C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	16
Static Water Level:	12.9	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	27-OCT-05
Date Abandoned:	Not Reported		

B23
ESE
0 - 1/8 Mile
Lower

NE WELLS NE8000000163083

Well ID:	173869	Registration Code:	G-138325D
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50068	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	16
Static Water Level:	15.6	Pumping Water Level:	0
Registration Date:	05-JAN-06	Completion Date:	27-OCT-05
Date Abandoned:	Not Reported		

C24
SE
1/8 - 1/4 Mile
Higher

NE WELLS NE8000000235010

Well ID:	250495	Registration Code:	G-183802D
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	134728	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	58
Static Water Level:	52.1	Pumping Water Level:	0
Registration Date:	14-NOV-17	Completion Date:	10-OCT-17
Date Abandoned:	12-JUN-18		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

C25
SE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000235007

Well ID:	250492	Registration Code:	G-183802A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	134728	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	57
Static Water Level:	52.6	Pumping Water Level:	0
Registration Date:	14-NOV-17	Completion Date:	09-OCT-17
Date Abandoned:	12-JUN-18		

C26
SE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000235011

Well ID:	250496	Registration Code:	G-183802E
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	134728	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	58
Static Water Level:	53.2	Pumping Water Level:	0
Registration Date:	14-NOV-17	Completion Date:	09-OCT-17
Date Abandoned:	12-JUN-18		

C27
SE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000235008

Well ID:	250493	Registration Code:	G-183802B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	134728	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	57
Static Water Level:	52.3	Pumping Water Level:	0
Registration Date:	14-NOV-17	Completion Date:	10-OCT-17
Date Abandoned:	12-JUN-18		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

C28
SE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000235009

Well ID:	250494	Registration Code:	G-183802C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	134728	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	58
Static Water Level:	51.5	Pumping Water Level:	0
Registration Date:	14-NOV-17	Completion Date:	10-OCT-17
Date Abandoned:	12-JUN-18		

D29
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204148

Well ID:	217771	Registration Code:	G-163391D
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	59.7
Static Water Level:	18.5	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	15-FEB-12
Date Abandoned:	Not Reported		

D30
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204147

Well ID:	217770	Registration Code:	G-163391C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	34.8
Static Water Level:	19.6	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	15-FEB-12
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

D31
East
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000204159

Well ID:	217782	Registration Code:	G-1633910
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	49.8
Static Water Level:	47.3	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	14-FEB-12
Date Abandoned:	Not Reported		

E32
NE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000230089

Well ID:	245387	Registration Code:	G-180843C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	121004	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	40
Static Water Level:	35.5	Pumping Water Level:	0
Registration Date:	24-OCT-16	Completion Date:	30-AUG-16
Date Abandoned:	05-JAN-17		

E33
NE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000230087

Well ID:	245384	Registration Code:	G-180843A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	121004	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	42
Static Water Level:	36.1	Pumping Water Level:	0
Registration Date:	24-OCT-16	Completion Date:	30-AUG-16
Date Abandoned:	05-JAN-17		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

D34
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204149

Well ID:	217772	Registration Code:	G-163391E
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	24.4
Static Water Level:	24.1	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	14-FEB-12
Date Abandoned:	Not Reported		

E35
NE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000230090

Well ID:	245388	Registration Code:	G-180843D
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	121004	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	42
Static Water Level:	36.1	Pumping Water Level:	0
Registration Date:	24-OCT-16	Completion Date:	30-AUG-16
Date Abandoned:	05-JAN-17		

E36
NE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000230088

Well ID:	245386	Registration Code:	G-180843B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	121004	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	36
Static Water Level:	28.3	Pumping Water Level:	0
Registration Date:	24-OCT-16	Completion Date:	30-AUG-16
Date Abandoned:	05-JAN-17		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

D37
East
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000233265

Well ID:	249282	Registration Code:	G-183039B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	31742	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	53.3
Static Water Level:	17	Pumping Water Level:	0
Registration Date:	14-AUG-17	Completion Date:	16-MAY-17
Date Abandoned:	Not Reported		

D38
East
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000233264

Well ID:	249281	Registration Code:	G-183039A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	31742	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	28.3
Static Water Level:	17	Pumping Water Level:	0
Registration Date:	14-AUG-17	Completion Date:	17-MAY-17
Date Abandoned:	Not Reported		

D39
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204150

Well ID:	217773	Registration Code:	G-163391F
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	25.2
Static Water Level:	18	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	16-FEB-12
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

F40
ENE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204155

Well ID:	217778	Registration Code:	G-163391K
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	29.8
Static Water Level:	9.2	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	17-FEB-12
Date Abandoned:	Not Reported		

F41
ENE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204156

Well ID:	217779	Registration Code:	G-163391L
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	50
Static Water Level:	13.9	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	20-FEB-12
Date Abandoned:	Not Reported		

G42
ESE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000204145

Well ID:	217768	Registration Code:	G-163391A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	23.5
Static Water Level:	17.2	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	14-FEB-12
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

43
WNW
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000227051

Well ID:	243123	Registration Code:	G-179470
Well Status:	Active Registered Well	Well Use:	Observation (Ground Water Levels)
Owner ID:	134369	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	12	Static Water Level:	6.1
Pumping Water Level:	0	Registration Date:	16-MAY-16
Completion Date:	01-SEP-15	Date Abandoned:	Not Reported

G44
ESE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000204146

Well ID:	217769	Registration Code:	G-163391B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	50
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	14.3	Completion Date:	14-FEB-12
Registration Date:	27-JUL-12		
Date Abandoned:	Not Reported		

H45
East
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000204151

Well ID:	217774	Registration Code:	G-163391G
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	20.1
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	14.1	Completion Date:	20-FEB-12
Registration Date:	27-JUL-12		
Date Abandoned:	Not Reported		

F46
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204153

Well ID:	217776	Registration Code:	G-163391I
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	29.8
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	6	Completion Date:	16-FEB-12
Registration Date:	27-JUL-12		
Date Abandoned:	Not Reported		

H47
East
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000204152

Well ID:	217775	Registration Code:	G-163391H
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	35.2
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	10.7	Completion Date:	20-FEB-12
Registration Date:	27-JUL-12		
Date Abandoned:	Not Reported		

F48
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204154

Well ID:	217777	Registration Code:	G-163391J
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	44.8
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	38.4	Completion Date:	16-FEB-12
Registration Date:	27-JUL-12		
Date Abandoned:	Not Reported		

F49
ENE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204157

Well ID:	217780	Registration Code:	G-163391M
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	29.8
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	23	Completion Date:	16-FEB-12
Registration Date:	20-JUL-12		
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

F50
ENE
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000204158

Well ID:	217781	Registration Code:	G-163391N
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	120635	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Monitoring Wells Part of a single site		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	45.5
Static Water Level:	25.2	Pumping Water Level:	0
Registration Date:	27-JUL-12	Completion Date:	15-FEB-12
Date Abandoned:	Not Reported		

I51
West
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000227401

Well ID:	243124	Registration Code:	G-179471
Well Status:	Decommissioned Well	Well Use:	Observation (Ground Water Levels)
Owner ID:	134369	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	20	Static Water Level:	11.8
Pumping Water Level:	0	Registration Date:	17-MAY-16
Completion Date:	31-AUG-15	Date Abandoned:	16-AUG-19

F52
East
1/4 - 1/2 Mile
Lower

NE WELLS NE8000000130708

Well ID:	137814	Registration Code:	G-114021B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	110711	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	15	Static Water Level:	7.5
Pumping Water Level:	1	Registration Date:	16-JAN-02
Completion Date:	20-OCT-02	Date Abandoned:	Not Reported

J53
NNE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000196573

Well ID:	209823	Registration Code:	G-158628C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	116663	NRD Name:	Papio-Missouri River

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	33
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	28.5	Completion Date:	04-FEB-11
Registration Date:	11-MAR-11		
Date Abandoned:	30-APR-11		

J54
NNE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000196571

Well ID:	209821	Registration Code:	G-158628A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	116663	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	35
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	29.6	Completion Date:	03-FEB-11
Registration Date:	11-MAR-11		
Date Abandoned:	30-APR-11		

J55
NNE
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000196572

Well ID:	209822	Registration Code:	G-158628B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	116663	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	37
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	31.8	Completion Date:	04-FEB-11
Registration Date:	11-MAR-11		
Date Abandoned:	30-APR-11		

I56
West
1/4 - 1/2 Mile
Higher

NE WELLS NE8000000228704

Well ID:	244662	Registration Code:	G-180403
Well Status:	Active Registered Well	Well Use:	Observation (Ground Water Levels)
Owner ID:	134369	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	14	Static Water Level:	8.8
Pumping Water Level:	0	Registration Date:	02-SEP-16
Completion Date:	18-MAY-16	Date Abandoned:	Not Reported

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

K57
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000140274

Well ID:	148267	Registration Code:	G-120454D
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	22956	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	27	Static Water Level:	17.2
Pumping Water Level:	0	Registration Date:	13-MAR-03
Completion Date:	20-FEB-03	Date Abandoned:	01-MAR-04

J58
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000241285

Well ID:	258706	Registration Code:	G-188267B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	143587	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	40
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	34	Completion Date:	10-SEP-19
Registration Date:	10-OCT-19		
Date Abandoned:	24-JAN-20		

J59
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000241284

Well ID:	258705	Registration Code:	G-188267A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	143587	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	35
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	27.3	Completion Date:	10-SEP-19
Registration Date:	10-OCT-19		
Date Abandoned:	24-JAN-20		

J60
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000241287

Well ID:	258708	Registration Code:	G-188267D
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Owner ID:	143587	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	35
Static Water Level:	29	Pumping Water Level:	0
Registration Date:	10-OCT-19	Completion Date:	11-SEP-19
Date Abandoned:	24-JAN-20		

J61
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000241286

Well ID:	258707	Registration Code:	G-188267C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	143587	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	35
Static Water Level:	29	Pumping Water Level:	0
Registration Date:	10-OCT-19	Completion Date:	11-SEP-19
Date Abandoned:	24-JAN-20		

K62
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000140271

Well ID:	148264	Registration Code:	G-120454A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	22956	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	27	Static Water Level:	17
Pumping Water Level:	0	Registration Date:	13-MAR-03
Completion Date:	20-FEB-03	Date Abandoned:	01-MAR-04

K63
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000140273

Well ID:	148266	Registration Code:	G-120454C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	22956	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	27	Static Water Level:	17.9
Pumping Water Level:	0	Registration Date:	13-MAR-03
Completion Date:	18-FEB-03	Date Abandoned:	01-MAR-04

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

K64
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000140272

Well ID:	148265	Registration Code:	G-120454B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	22956	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	27	Static Water Level:	17.5
Pumping Water Level:	0	Registration Date:	13-MAR-03
Completion Date:	20-FEB-03	Date Abandoned:	01-MAR-04

65
ESE
1/2 - 1 Mile
Higher

NE WELLS NE8000000142928

Well ID:	151584	Registration Code:	G-123031
Well Status:	Active Registered Well		
Well Use:	Ground Heat Exchanger well - Closed Loop Heat Pump well		
Owner ID:	73455	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	203	Static Water Level:	0
Pumping Water Level:	0	Registration Date:	25-AUG-03
Completion Date:	02-JUN-03	Date Abandoned:	Not Reported

66
North
1/2 - 1 Mile
Higher

FED USGS USGS40000741138

Organization ID:	USGS-NE	Organization Name:	USGS Nebraska Water Science Center
Monitor Location:	15N 13E21DD 1	Type:	Well
Description:	Not Reported	HUC:	10230006
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported
Aquifer:	Other aquifers	Formation Type:	Paleozoic Erathem
Aquifer Type:	Not Reported	Construction Date:	Not Reported
Well Depth:	2020	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

67
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000122595

Well ID:	128761	Registration Code:	G-107890A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	66349	NRD Name:	Papio-Missouri River

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	20	Static Water Level:	13
Pumping Water Level:	0	Registration Date:	27-NOV-00
Completion Date:	06-SEP-00	Date Abandoned:	Not Reported

68
South
1/2 - 1 Mile
Higher

NE WELLS NE8000000192853

Well ID:	205609	Registration Code:	G-156625
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	114769	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	65
Static Water Level:	53.2	Pumping Water Level:	0
Registration Date:	12-AUG-10	Completion Date:	13-MAY-10
Date Abandoned:	16-DEC-10		

69
WNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000208405

Well ID:	222396	Registration Code:	G-165695
Well Status:	Active Registered Well	Well Use:	Ground Heat Exchanger well - Closed Loop Heat Pump well
Owner ID:	122862	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Connected to pump into a common carrier		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	100
Static Water Level:	0	Pumping Water Level:	0
Registration Date:	14-JAN-13	Completion Date:	21-OCT-11
Date Abandoned:	Not Reported		

L70
ENE
1/2 - 1 Mile
Higher

NE WELLS NE8000000243609

Well ID:	262058	Registration Code:	G-189836B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	143439	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	39
Static Water Level:	31	Pumping Water Level:	0
Registration Date:	29-JUN-20	Completion Date:	07-APR-20
Date Abandoned:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

L71
ENE
1/2 - 1 Mile
Higher

NE WELLS NE8000000243608

Well ID:	262057	Registration Code:	G-189836A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	143439	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	42
Static Water Level:	32	Pumping Water Level:	0
Registration Date:	29-JUN-20	Completion Date:	06-APR-20
Date Abandoned:	Not Reported		

L72
ENE
1/2 - 1 Mile
Higher

NE WELLS NE8000000243610

Well ID:	262071	Registration Code:	G-189836C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	143439	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	39
Static Water Level:	31.7	Pumping Water Level:	0
Registration Date:	29-JUN-20	Completion Date:	07-APR-20
Date Abandoned:	Not Reported		

M73
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000209086

Well ID:	222460	Registration Code:	G-165735D
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	122887	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	37
Static Water Level:	30.9	Pumping Water Level:	0
Registration Date:	16-JAN-13	Completion Date:	18-DEC-12
Date Abandoned:	24-JAN-14		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

M74
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000209083

Well ID:	222455	Registration Code:	G-165735A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	122887	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	37
Static Water Level:	29	Pumping Water Level:	0
Registration Date:	16-JAN-13	Completion Date:	18-DEC-12
Date Abandoned:	24-JAN-14		

M75
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000209085

Well ID:	222458	Registration Code:	G-165735C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	122887	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	36
Static Water Level:	30.9	Pumping Water Level:	0
Registration Date:	16-JAN-13	Completion Date:	18-DEC-12
Date Abandoned:	24-JAN-14		

M76
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000209084

Well ID:	222457	Registration Code:	G-165735B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	122887	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	37
Static Water Level:	30.3	Pumping Water Level:	0
Registration Date:	16-JAN-13	Completion Date:	18-DEC-12
Date Abandoned:	24-JAN-14		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

M77
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000209087

Well ID:	222461	Registration Code:	G-165735E
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	122887	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	37
Static Water Level:	31.2	Pumping Water Level:	0
Registration Date:	16-JAN-13	Completion Date:	18-DEC-12
Date Abandoned:	24-JAN-14		

78
NNW
1/2 - 1 Mile
Higher

NE WELLS NE8000000122597

Well ID:	128763	Registration Code:	G-107890C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	66349	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	20	Static Water Level:	12
Pumping Water Level:	0	Registration Date:	27-NOV-00
Completion Date:	06-SEP-00	Date Abandoned:	Not Reported

N79
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000084896

Well ID:	87717	Registration Code:	G-079055
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	109041	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	0	Static Water Level:	0
Pumping Water Level:	0	Registration Date:	24-SEP-93
Completion Date:	Not Reported	Date Abandoned:	Not Reported

N80
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000084898

Well ID:	87719	Registration Code:	G-079057
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	109041	NRD Name:	Papio-Missouri River

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	45	Static Water Level:	30
Pumping Water Level:	0	Registration Date:	24-SEP-93
Completion Date:	16-MAR-90	Date Abandoned:	Not Reported

N81
NNE
1/2 - 1 Mile
Higher

NE WELLS NE800000084897

Well ID:	87718	Registration Code:	G-079056
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	109041	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	45	Static Water Level:	34
Pumping Water Level:	0	Registration Date:	24-SEP-93
Completion Date:	21-JUN-90	Date Abandoned:	Not Reported

N82
NNE
1/2 - 1 Mile
Higher

NE WELLS NE800000084899

Well ID:	87720	Registration Code:	G-079058
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	109041	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	43	Static Water Level:	35
Pumping Water Level:	0	Registration Date:	24-SEP-93
Completion Date:	16-MAR-90	Date Abandoned:	Not Reported

O83
WSW
1/2 - 1 Mile
Higher

NE WELLS NE8000000200506

Well ID:	213543	Registration Code:	G-161979A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	118255	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage	Column Diameter:	0
Pump Rate (gal/min):	0	Well Depth:	16
Pump Depth:	0	Pumping Water Level:	0
Static Water Level:	5.8	Completion Date:	21-SEP-11
Registration Date:	23-FEB-12		
Date Abandoned:	30-MAR-12		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

O84
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000200507

Well ID:	213546	Registration Code:	G-161979B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	118255	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	16
Static Water Level:	6.4	Pumping Water Level:	0
Registration Date:	23-FEB-12	Completion Date:	21-SEP-11
Date Abandoned:	30-MAR-12		

O85
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000202084

Well ID:	215845	Registration Code:	G-161979C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	118255	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Part of a DEQ site plan for spill or underground storage		
Pump Rate (gal/min):	0	Column Diameter:	0
Pump Depth:	0	Well Depth:	16
Static Water Level:	5.8	Pumping Water Level:	0
Registration Date:	23-FEB-12	Completion Date:	21-SEP-11
Date Abandoned:	Not Reported		

P86
North
1/2 - 1 Mile
Higher

NE WELLS NE8000000235709

Well ID:	252084	Registration Code:	Not Reported
Well Status:	Unregistered Decommissioned well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	138748	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	52	Static Water Level:	0
Pumping Water Level:	0	Registration Date:	Not Reported
Completion Date:	Not Reported	Date Abandoned:	04-APR-18

87
North
1/2 - 1 Mile
Higher

NE WELLS NE8000000098621

Well ID:	101198	Registration Code:	G-089104
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Owner ID:	109501	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	41	Static Water Level:	31
Pumping Water Level:	0	Registration Date:	26-AUG-96
Completion Date:	01-FEB-95	Date Abandoned:	Not Reported

P88
North
1/2 - 1 Mile
Higher

NE WELLS NE8000000235708

Well ID:	252083	Registration Code:	Not Reported
Well Status:	Unregistered Decommissioned well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	138748	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	35	Static Water Level:	0
Pumping Water Level:	0	Registration Date:	Not Reported
Completion Date:	Not Reported	Date Abandoned:	04-APR-18

Q89
East
1/2 - 1 Mile
Higher

NE WELLS NE8000000130177

Well ID:	137815	Registration Code:	G-114021C
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	110711	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	15	Static Water Level:	10
Pumping Water Level:	0	Registration Date:	16-JAN-02
Completion Date:	10-JAN-01	Date Abandoned:	Not Reported

P90
North
1/2 - 1 Mile
Higher

NE WELLS NE8000000235707

Well ID:	252082	Registration Code:	Not Reported
Well Status:	Unregistered Decommissioned well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	138748	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	66	Static Water Level:	0
Pumping Water Level:	0	Registration Date:	Not Reported
Completion Date:	Not Reported	Date Abandoned:	04-APR-18

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

Q91
East
1/2 - 1 Mile
Higher

NE WELLS NE8000000130176

Well ID:	137813	Registration Code:	G-114021A
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	110711	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	15	Static Water Level:	7.8
Pumping Water Level:	0	Registration Date:	16-JAN-02
Completion Date:	10-JAN-02	Date Abandoned:	Not Reported

R92
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000183557

Well ID:	195080	Registration Code:	G-151027C
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	65957	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	45	Static Water Level:	38.1
Pumping Water Level:	0	Registration Date:	28-OCT-08
Completion Date:	15-JUL-08	Date Abandoned:	01-SEP-09

R93
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000183558

Well ID:	195081	Registration Code:	G-151027D
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	65957	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	45	Static Water Level:	41.5
Pumping Water Level:	0	Registration Date:	28-OCT-08
Completion Date:	17-JUL-08	Date Abandoned:	01-SEP-09

R94
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000183558

Well ID:	195079	Registration Code:	G-151027B
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	65957	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	45	Static Water Level:	39.3
Pumping Water Level:	0	Registration Date:	28-OCT-08
Completion Date:	14-JUL-08	Date Abandoned:	01-SEP-09

R95
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000183555

Well ID:	195078	Registration Code:	G-151027A
Well Status:	Decommissioned Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	65957	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	47	Static Water Level:	38.9
Pumping Water Level:	0	Registration Date:	28-OCT-08
Completion Date:	14-JUL-08	Date Abandoned:	01-SEP-09

96
WSW
1/2 - 1 Mile
Higher

NE WELLS NE8000000227048

Well ID:	243119	Registration Code:	G-179467
Well Status:	Active Registered Well	Well Use:	Observation (Ground Water Levels)
Owner ID:	134369	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	20	Static Water Level:	16.4
Pumping Water Level:	0	Registration Date:	16-MAY-16
Completion Date:	31-AUG-15	Date Abandoned:	Not Reported

97
NW
1/2 - 1 Mile
Higher

NE WELLS NE8000000122596

Well ID:	128762	Registration Code:	G-107890B
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	66349	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	20	Static Water Level:	13
Pumping Water Level:	0	Registration Date:	27-NOV-00
Completion Date:	06-SEP-00	Date Abandoned:	Not Reported

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

98
NNE
1/2 - 1 Mile
Higher

NE WELLS NE8000000182224

Well ID:	194842	Registration Code:	G-150844
Well Status:	Active Registered Well	Well Use:	
Well Use:	Ground Heat Exchanger well - Closed Loop Heat Pump well	NRD Name:	Papio-Missouri River
Owner ID:	143566	Acres Irrigated:	0
NRD Permit:	Not Reported	Series Type:	Connected to pump into a common carrier
Pump Rate (gal/min):	0	Pump Depth:	0
Pump Depth:	0	Well Depth:	200
Static Water Level:	0	Pumping Water Level:	0
Registration Date:	15-OCT-08	Completion Date:	08-AUG-08
Date Abandoned:	Not Reported		

S99
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082912

Well ID:	85602	Registration Code:	G-077032
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	22	Static Water Level:	19
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	02-JUL-92	Date Abandoned:	Not Reported

S100
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082908

Well ID:	85598	Registration Code:	G-077028
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	23	Static Water Level:	17
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	02-JUL-92	Date Abandoned:	Not Reported

101
West
1/2 - 1 Mile
Higher

NE WELLS NE8000000227049

Well ID:	243121	Registration Code:	G-179468
Well Status:	Active Registered Well	Well Use:	Observation (Ground Water Levels)

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Owner ID:	134369	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	20	Static Water Level:	11.8
Pumping Water Level:	0	Registration Date:	16-MAY-16
Completion Date:	31-AUG-15	Date Abandoned:	Not Reported

S102
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082910

Well ID:	85600	Registration Code:	G-077030
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	32	Static Water Level:	25
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	16-JUN-92	Date Abandoned:	Not Reported

S103
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082907

Well ID:	85597	Registration Code:	G-077027
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	41	Static Water Level:	28
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	16-APR-91	Date Abandoned:	Not Reported

S104
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082909

Well ID:	85599	Registration Code:	G-077029
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	35	Static Water Level:	27
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	19-APR-91	Date Abandoned:	Not Reported

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

S105
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082903

Well ID:	85593	Registration Code:	G-077023
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	25	Static Water Level:	19
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	02-JUL-92	Date Abandoned:	Not Reported

S106
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082906

Well ID:	85596	Registration Code:	G-077026
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	35	Static Water Level:	29
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	16-JUN-92	Date Abandoned:	Not Reported

107
SW
1/2 - 1 Mile
Higher

NE WELLS NE8000000227050

Well ID:	243122	Registration Code:	G-179469
Well Status:	Active Registered Well	Well Use:	Observation (Ground Water Levels)
Owner ID:	134369	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	15	Static Water Level:	9.3
Pumping Water Level:	0	Registration Date:	16-MAY-16
Completion Date:	31-AUG-15	Date Abandoned:	Not Reported

S108
ENE
1/2 - 1 Mile
Lower

NE WELLS NE8000000082905

Well ID:	85595	Registration Code:	G-077025
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	34	Static Water Level:	30
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	16-JUN-92	Date Abandoned:	Not Reported

109
ESE
1/2 - 1 Mile
Higher

NE WELLS NE800000082234

Well ID:	84650	Registration Code:	G-076156
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	50262	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	62	Static Water Level:	52
Pumping Water Level:	0	Registration Date:	14-DEC-92
Completion Date:	08-OCT-91	Date Abandoned:	Not Reported

S110
ENE
1/2 - 1 Mile
Lower

NE WELLS NE800000082902

Well ID:	85592	Registration Code:	G-077022
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	30	Static Water Level:	0
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	18-SEP-92	Date Abandoned:	Not Reported

S111
ENE
1/2 - 1 Mile
Lower

NE WELLS NE800000082911

Well ID:	85601	Registration Code:	G-077031
Well Status:	Active Registered Well	Well Use:	Monitoring (Ground Water Quality)
Owner ID:	106103	NRD Name:	Papio-Missouri River
NRD Permit:	Not Reported	Acres Irrigated:	0
Series Type:	Single Project	Pump Rate (gal/min):	0
Column Diameter:	0	Pump Depth:	0
Well Depth:	35	Static Water Level:	21
Pumping Water Level:	0	Registration Date:	21-APR-93
Completion Date:	16-JUN-92	Date Abandoned:	Not Reported

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance

Database EDR ID Number

1
North
1/2 - 1 Mile

OIL_GAS **NEOG40000022333**

API #:	26055500060000	Contractor Name:	CURRENTLY UNASSIGNED
Well Name:	ALAMITO DAIRY LEAVENWORTH	56	
Well Type:	Water Source	Well Status:	Unknown
Spud Date:	Not Reported	Completion Date:	01-JAN-00
Plugged Date:	Not Reported	Ground Elevation:	1150
Kelly Bushing Elevation:	0	Total Depth:	2020
Lease #:	99999	Lease Name:	Not Reported
Field:	Not Reported		

2
NE
1/2 - 1 Mile

OIL_GAS **NEOG40000022336**

API #:	26055500090000	Contractor Name:	CURRENTLY UNASSIGNED
Well Name:	Y.M.C.A.	Well Type:	Water Source
Well Status:	Unknown	Spud Date:	Not Reported
Completion Date:	01-JAN-00	Plugged Date:	Not Reported
Ground Elevation:	1068	Kelly Bushing Elevation:	0
Total Depth:	1134	Lease #:	99999
Lease Name:	Not Reported	Field:	Not Reported

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: NE Radon

Radon Test Results

Num Tests	Avg pCi/L	# > pCi/L	% > pCi/L	Max pCi/L
320	5.1	180	56%	27.0

Federal EPA Radon Zone for DOUGLAS County: 1

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level \geq 2 pCi/L and \leq 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for Zip Code: 68105

Number of sites tested: 2

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	1.700 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	4.200 pCi/L	50%	50%	0%

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: National Wetlands Inventory

Source: Department of Natural Resources

Telephone: 402-471-2363

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Registered Groundwater Wells Database

Source: Department of Natural Resources

Telephone: 402-471-2363

Water use types include Aquaculture, Commercial/Industrial, Domestic, Ground Heat Exchanger, Heat Pump (Ground Water Source), Irrigation, Injection, Observation (Ground Water Levels); Other - Lake Supply, Fountain, Geothermal, Wildlife, Wetlands, Recreation, Plant and Lagoon, Sprinkler, Test, Vapor Monitoring; Public Water Supply with Spacing Protection, Monitoring (Ground Water Quality), Recovery, Livestock, Geothermal, Public Water Supply without Spacing Protection, Dewatering (Over 90 Days).

OTHER STATE DATABASE INFORMATION

Oil and Gas Well Data

Source: Oil and Gas Conservation Commission

Telephone: 308-254-6919

RADON

State Database: NE Radon

Source: Department of Environmental Quality

Telephone: 402-471-0594

Summary of Radon Data

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

OTHER

Airport Landing Facilities: Private and public use landing facilities
Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater
Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

STREET AND ADDRESS INFORMATION

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APPENDIX D
HISTORICAL RECORDS





Multiple Vacant Properties

2501 Center Street

Omaha, NE 68105

Inquiry Number: 6623280.5

August 19, 2021

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package

08/19/21

Site Name:

Multiple Vacant Properties
2501 Center Street
Omaha, NE 68105
EDR Inquiry # 6623280.5

Client Name:

B2 Environmental
4503 South 90th Street
Omaha, NE 68127
Contact: Brock Flowers



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2016	1"=500'	Flight Year: 2016	USDA/NAIP
2012	1"=500'	Flight Year: 2012	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2006	1"=500'	Flight Year: 2006	USDA/NAIP
1999	1"=500'	Acquisition Date: January 01, 1999	USGS/DOQQ
1994	1"=500'	Flight Date: May 09, 1994	USGS
1993	1"=500'	Acquisition Date: January 01, 1993	USGS/DOQQ
1990	1"=500'	Flight Date: April 03, 1990	USGS
1988	1"=750'	Flight Date: June 27, 1988	USGS
1982	1"=500'	Flight Date: April 23, 1982	USDA
1979	1"=500'	Flight Date: September 10, 1979	USDA
1970	1"=500'	Flight Date: May 06, 1970	USDA
1969	1"=500'	Flight Date: September 09, 1969	USGS
1952	1"=500'	Flight Date: April 01, 1952	USGS
1950	1"=500'	Flight Date: September 03, 1950	USDA
1949	1"=500'	Flight Date: July 19, 1949	USDA
1938	1"=500'	Flight Date: May 09, 1938	USDA

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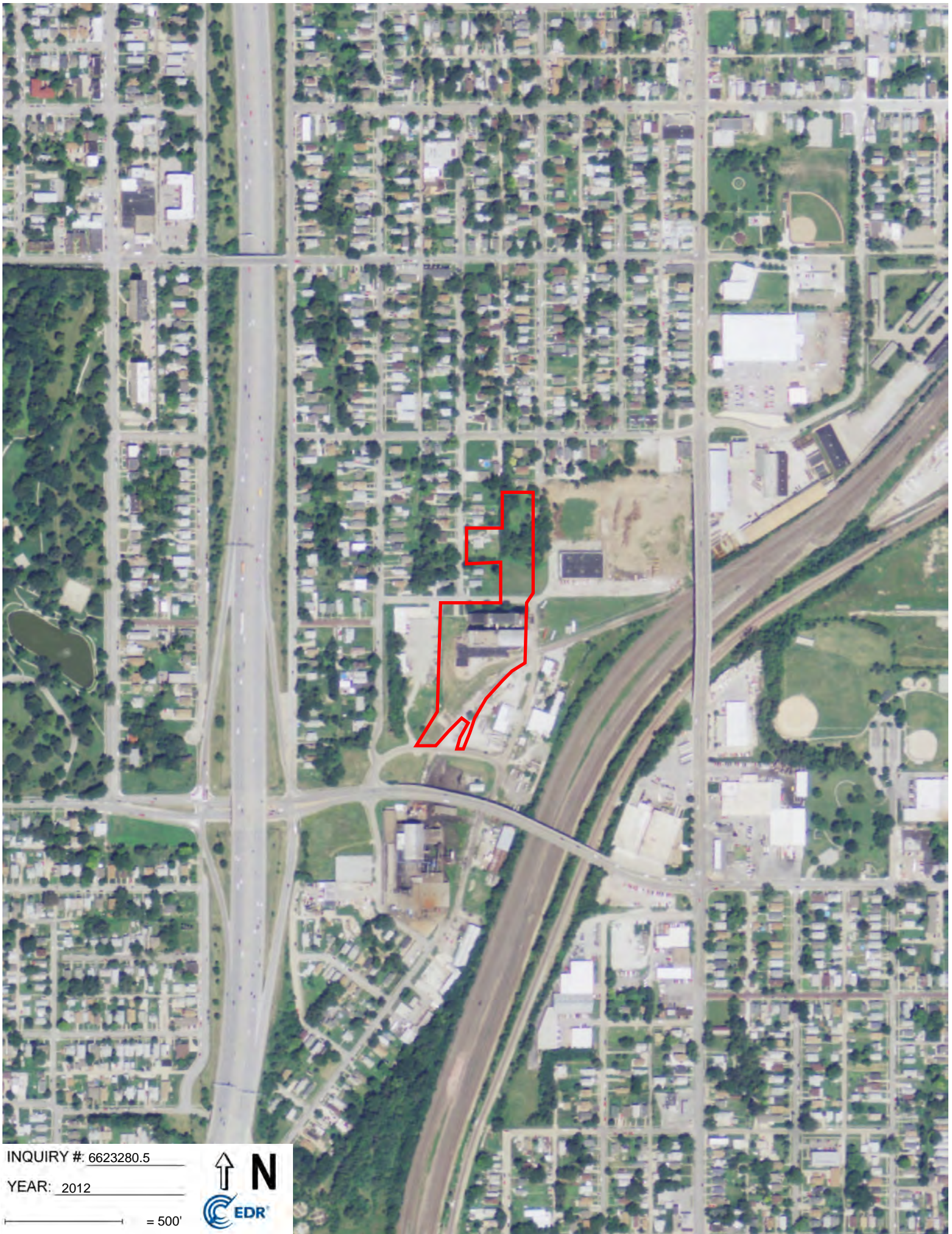


INQUIRY #: 6623280.5

YEAR: 2016

— = 500'



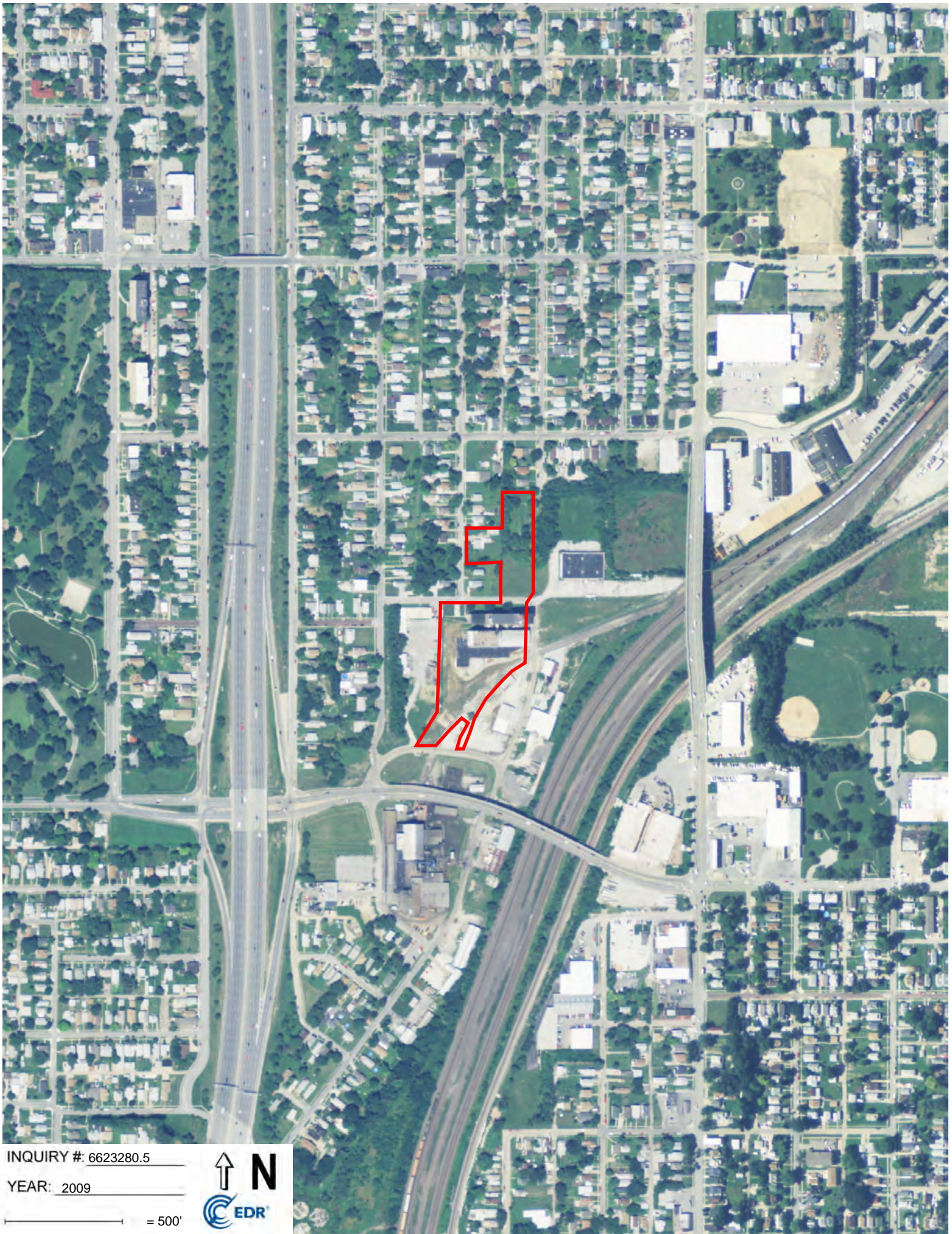


INQUIRY #: 6623280.5

YEAR: 2012

— = 500'





INQUIRY #: 6623280.5

YEAR: 2009

— = 500'





INQUIRY #: 6623280.5

YEAR: 2006

— = 500'





INQUIRY #: 6623280.5

YEAR: 1999

— = 500'





INQUIRY #: 6623280.5

YEAR: 1994

— = 500'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6623280.5

YEAR: 1993

— = 500'





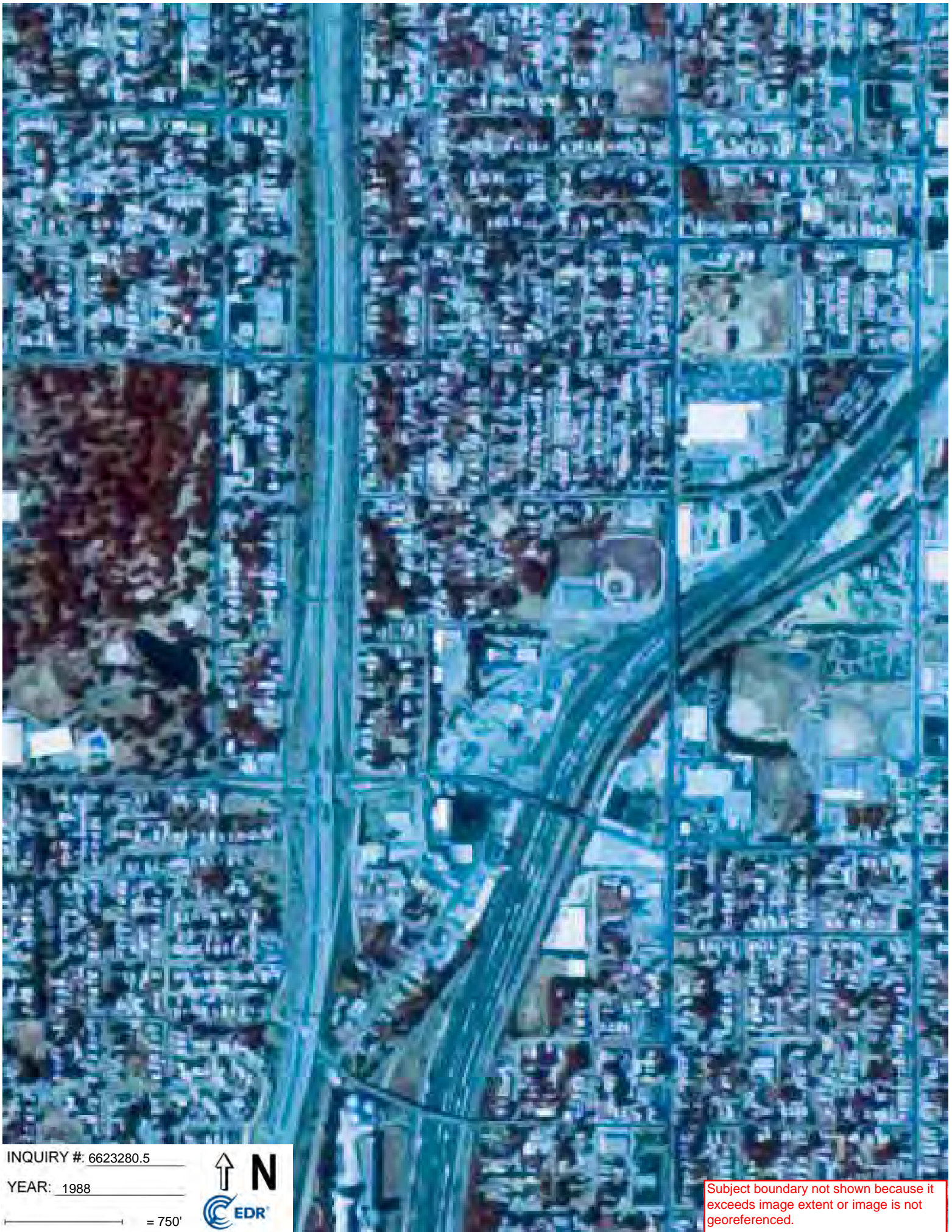
INQUIRY #: 6623280.5

YEAR: 1990

— = 500'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6623280.5

YEAR: 1988

— = 750'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.

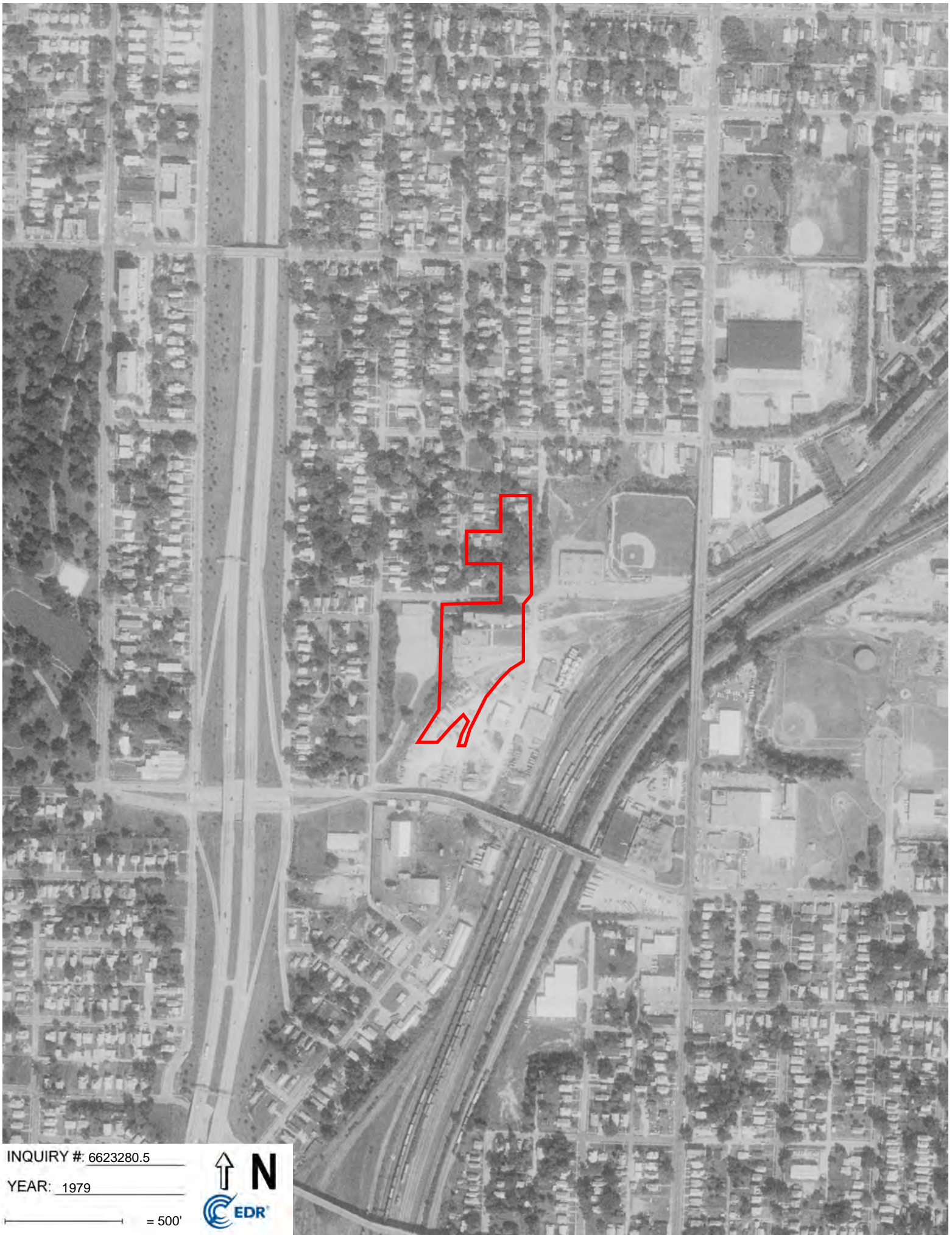


INQUIRY #: 6623280.5

YEAR: 1982

— = 500'





INQUIRY #: 6623280.5

YEAR: 1979

— = 500'



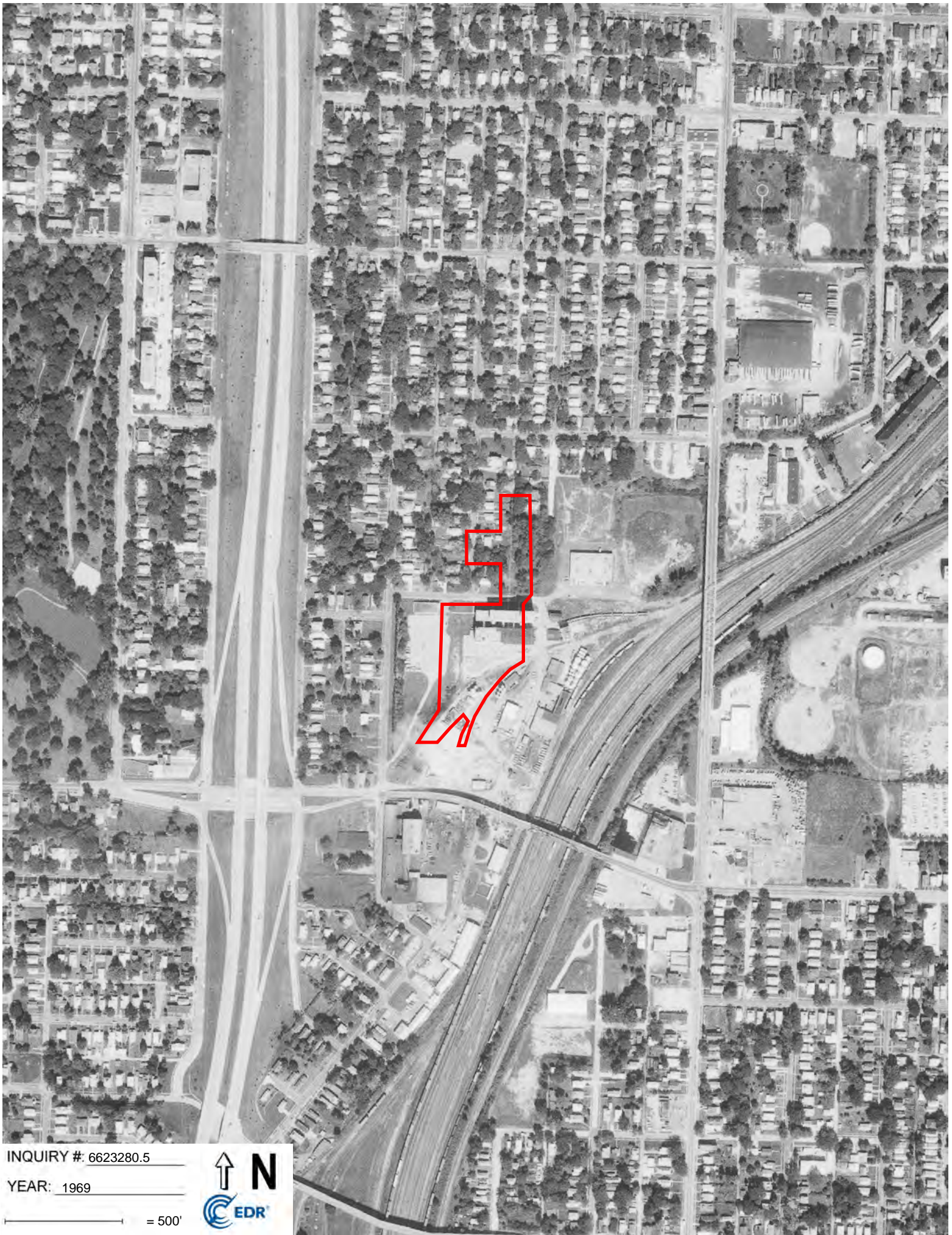


INQUIRY #: 6623280.5

YEAR: 1970

— = 500'





INQUIRY #: 6623280.5

YEAR: 1969

— = 500'





INQUIRY #: 6623280.5

YEAR: 1952

— = 500'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6623280.5

YEAR: 1950

— = 500'





INQUIRY #: 6623280.5

YEAR: 1949

— = 500'





INQUIRY #: 6623280.5

YEAR: 1938

— = 500'



Multiple Vacant Properties

2501 Center Street
Omaha, NE 68105

Inquiry Number: 6623280.8
August 18, 2021

The EDR-City Directory Abstract

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Executive Summary

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Thank you for your business.

Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

Business directories including city, cross reference and telephone directories were reviewed, if available, at approximately five year intervals for the years spanning 1915 through 2017. This report compiles information gathered in this review by geocoding the latitude and longitude of properties identified and gathering information about properties within 660 feet of the target property.

A summary of the information obtained is provided in the text of this report.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

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RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2017	Cole Information Services	-	X	X	-
	Cole Information Services	X	X	X	-
2014	Cole Information Services	-	X	X	-
	Cole Information Services	X	X	X	-
2009	Cole Information Services	-	X	X	-
	Cole Information Services	X	X	X	-
2007	Polk City Directories	-	X	X	X
	Polk City Directories	X	X	X	X
2004	Cole Information Services	X	X	X	-
2001	Equifax (Polk)	-	X	X	X

EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2001	Equifax (Polk)	X	X	X	X
1999	Cole Information Services	X	X	X	-
1995	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1994	Cole Information Services	X	X	X	-
1990	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1985	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1980	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1975	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1970	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1965	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1961	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1956	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1951	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1946	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1941	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1936	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1931	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1926	R. L. Polk Co.	-	X	X	X
1915	Omaha Directory Co.	-	X	X	X
	Omaha Directory Co.	X	X	X	X

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

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Data by

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EXECUTIVE SUMMARY

SELECTED ADDRESSES

The following addresses were selected by the client, for EDR to research. An "X" indicates where information was identified.

<u>Address</u>	<u>Type</u>	<u>Findings</u>
1710 South 25th Avenue	Client Entered	X
1706 South 25th Avenue	Client Entered	X
1729 South 26th Street	Client Entered	
1733 South 26th Street	Client Entered	X
1737 South 26th Street	Client Entered	
1739 South 26th Street	Client Entered	

FINDINGS

TARGET PROPERTY INFORMATION

ADDRESS

2501 Center Street
Omaha, NE 68105

FINDINGS DETAIL

Target Property research detail.

26TH ST S

1733 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Lovings John F & Judith G	R. L. Polk Co.	Image pg. A11
1990	Lovings John F	R. L. Polk Co.	Image pg. A18
1985	Lovings John F	R. L. Polk Co.	Image pg. A24
1980	Lovings John F	R. L. Polk Co.	Image pg. A30
1975	Lovings John	R. L. Polk Co.	Image pg. A35

27TH S

1910 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1915	Mrs Regina Finke	Omaha Directory Co.	Image pg. A90

CENTER ST

2501 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2004	JEFFREY WRIGHT	Cole Information Services
	LARSON AUCTION INC	Cole Information Services
	R YECK	Cole Information Services
	VER ANDERSON	Cole Information Services
1999	SALVATION ARMY	Cole Information Services
1994	SALVATION ARMY	Cole Information Services

FINDINGS

S 25TH AVE

1706 S 25TH AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1999	JAMES PRESTITO	Cole Information Services

1710 S 25TH AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2009	JOSH PLAERMO	Cole Information Services

S 26TH ST

1733 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	MARK PEREZ	Cole Information Services	
2014	MARK PEREZ	Cole Information Services	
2009	MARK PEREZ	Cole Information Services	
2007	D Binau Rodney L & Marcia L	Polk City Directories	Image pg. A1
2004	JOHN LOVINGS	Cole Information Services	
2001	Lovings John F & Judith	Equifax (Polk)	Image pg. A5
1999	JOHN LOVINGS	Cole Information Services	
1970	BAILEY JAMES S	R. L. Polk Co.	Image pg. A41

South 25th Avenue

1706 South 25th Avenue

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1990	Starkey Kathleen	R. L. Polk Co.	Image pg. A19
1985	Blanton Charlene F	R. L. Polk Co.	Image pg. A25
1980	Bow yer K G	R. L. Polk Co.	Image pg. A31
1975	Parks Michi L	R. L. Polk Co.	Image pg. A36
1970	LEWIS FRANK B JR	R. L. Polk Co.	Image pg. A42
1965	LEWIS FRANK B JR	R. L. Polk Co.	Image pg. A48
1961	Lew is Frank B jr	R. L. Polk Co.	Image pg. A53
1956	Parks Phillip A	R. L. Polk Co.	Image pg. A58
1951	Parks Phillip A	R. L. Polk Co.	Image pg. A63

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1946	Hoffman Walter L	R. L. Polk Co.	Image pg. A68
1941	Parks Phillip A	R. L. Polk Co.	Image pg. A73
1936	Barr Homer G	R. L. Polk Co.	Image pg. A78
1931	Denham Ray	R. L. Polk Co.	Image pg. A83
1915	Fred Sylvester	Omaha Directory Co.	Image pg. A91

1710 South 25th Avenue

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2001	Prestito Thomas S	Equifax (Polk)	Image pg. A6
1995	Not Verified 3 Hses	R. L. Polk Co.	Image pg. A12
1990	Bogart Gregory A	R. L. Polk Co.	Image pg. A19
	Forsberg Wilma C Mrs	R. L. Polk Co.	Image pg. A19
1985	Forsberg Wilma C Mrs	R. L. Polk Co.	Image pg. A25
	Upper Smith Tammi	R. L. Polk Co.	Image pg. A25
1980	Forsberg Sylvester D	R. L. Polk Co.	Image pg. A31
1975	Forsburg Sylvester	R. L. Polk Co.	Image pg. A36
1970	AUTEN DWAINE PANEK DONNA K	R. L. Polk Co.	Image pg. A42
	WALTHER MARY E MRS	R. L. Polk Co.	Image pg. A42
1965	BSMT LORANG RODNEY H	R. L. Polk Co.	Image pg. A48
	WALTHER MARY E MRS	R. L. Polk Co.	Image pg. A48
1961	Walther Mary E Mrs	R. L. Polk Co.	Image pg. A53
1956	Walther Chas H	R. L. Polk Co.	Image pg. A58
	Z ONeill J F Packing Co meat	R. L. Polk Co.	Image pg. A58
1951	Costanzo Louis A	R. L. Polk Co.	Image pg. A63
	Walther Chas H	R. L. Polk Co.	Image pg. A63
1946	Wells Leslie L	R. L. Polk Co.	Image pg. A68
1941	a Costanzo Louis A	R. L. Polk Co.	Image pg. A73
	of Hickory and Y	R. L. Polk Co.	Image pg. A73
	Walther Chas H	R. L. Polk Co.	Image pg. A73
1936	Truman Frank	R. L. Polk Co.	Image pg. A78
1931	Truman Frank	R. L. Polk Co.	Image pg. A83
1915	Frank Truman	Omaha Directory Co.	Image pg. A91

FINDINGS

South 26th Street

1729 South 26th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
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1733 South 26th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2007	D Binau Rodney L & Marcia L	Polk City Directories	Image pg. A1
2001	Lovings John F & Judith	Equifax (Polk)	Image pg. A7
1995	Lovings John F & Judith G	R. L. Polk Co.	Image pg. A13
1990	Lovings John F	R. L. Polk Co.	Image pg. A20
1985	Lovings John F	R. L. Polk Co.	Image pg. A26
1980	Lovings John F	R. L. Polk Co.	Image pg. A32
1975	Lovings John	R. L. Polk Co.	Image pg. A37
1970	BAILEY JAMES S	R. L. Polk Co.	Image pg. A43

1737 South 26th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
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1739 South 26th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
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FINDINGS

ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

25TH S

1746 25TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1931	Sabetska Jolhn	R. L. Polk Co.	Image pg. A83

25TH AVE S

1746 25THAVES

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1946	Sobetski John J	R. L. Polk Co.	Image pg. A68
	Vacant	R. L. Polk Co.	Image pg. A68
	Hartigan Edw T	R. L. Polk Co.	Image pg. A68
	Hartigan Edw T	R. L. Polk Co.	Image pg. A68
1936	Sobetski John	R. L. Polk Co.	Image pg. A78

26TH S

1722 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Darrow C Arth	R. L. Polk Co.	Image pg. A79
1931	Nielsen Grathe Mrs	R. L. Polk Co.	Image pg. A84

1725 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Colchin Arth	R. L. Polk Co.	Image pg. A79
1931	Rada Michi S	R. L. Polk Co.	Image pg. A84

1726 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Cooper Loren S	R. L. Polk Co.	Image pg. A79
1931	Hiatt Edw	R. L. Polk Co.	Image pg. A84

FINDINGS

1730 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Rogers John J	R. L. Polk Co.	Image pg. A79
	Paulsen Thos	R. L. Polk Co.	Image pg. A79
1931	Hitchcock John	R. L. Polk Co.	Image pg. A84

1734 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Kistler Chas H	R. L. Polk Co.	Image pg. A79
1931	Kistler Jane Mrs	R. L. Polk Co.	Image pg. A84

1743 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Redwelski Frank	R. L. Polk Co.	Image pg. A79
1931	Vacant	R. L. Polk Co.	Image pg. A84

1744 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Ryan Jas E	R. L. Polk Co.	Image pg. A79
1931	Ryan Jas E	R. L. Polk Co.	Image pg. A84

1745 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Kova r Ernest	R. L. Polk Co.	Image pg. A79
1931	Redwelski Frank	R. L. Polk Co.	Image pg. A84

1746 26TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Hill Robt B	R. L. Polk Co.	Image pg. A79
1931	Hill Robt B	R. L. Polk Co.	Image pg. A84

26TH ST S

1722 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Baerde Khudai	R. L. Polk Co.	Image pg. A11
1990	Baerde Khudai	R. L. Polk Co.	Image pg. A18

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1985	Carroll Michi E	R. L. Polk Co.	Image pg. A24
1980	Carroll Michl E	R. L. Polk Co.	Image pg. A30
1975	Carroll Wm E	R. L. Polk Co.	Image pg. A35
1965	CARROLL WM E	R. L. Polk Co.	Image pg. A49
1961	Carroll Wm E	R. L. Polk Co.	Image pg. A54
1956	Costanzo Louis	R. L. Polk Co.	Image pg. A59
1926	Mrs Grathe Nielsen	R. L. Polk Co.	Image pg. A87

1723 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1975	Annin Sophie D Mrs	R. L. Polk Co.	Image pg. A35

1725 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1990	Trefren Karen A	R. L. Polk Co.	Image pg. A18
1985	Trefren Karen A	R. L. Polk Co.	Image pg. A24
1980	Kluza David A	R. L. Polk Co.	Image pg. A30
1975	Kjar Kristina Mrs	R. L. Polk Co.	Image pg. A35
1965	KJAR BERNARD J	R. L. Polk Co.	Image pg. A49
1961	Kjar B Jensen	R. L. Polk Co.	Image pg. A54
1956	Kjar Bernhard J	R. L. Polk Co.	Image pg. A59
1926	L M Evans	R. L. Polk Co.	Image pg. A87

1726 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Trefren K A	R. L. Polk Co.	Image pg. A11
	Vacant	R. L. Polk Co.	Image pg. A11
1990	Vacant	R. L. Polk Co.	Image pg. A18
1985	Dunlap Bonilee	R. L. Polk Co.	Image pg. A24
1980	Barber Irvin R	R. L. Polk Co.	Image pg. A30
1975	Barber Irvin	R. L. Polk Co.	Image pg. A35
1965	LEDWICH GRANT S	R. L. Polk Co.	Image pg. A49
	KEENAN KEITH W	R. L. Polk Co.	Image pg. A49
1961	Keenan Keith W	R. L. Polk Co.	Image pg. A54

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1956	Cooper Loren S	R. L. Polk Co.	Image pg. A59
1926	Guy Hemmingway Mrs Katie Blesh	R. L. Polk Co. R. L. Polk Co.	Image pg. A87 Image pg. A87

1730 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	3 Not Verified 3 Apts Apartments	R. L. Polk Co. R. L. Polk Co.	Image pg. A11 Image pg. A11
1990	Benford Eckel Dorothy Griffin Ralph Apartments	R. L. Polk Co. R. L. Polk Co. R. L. Polk Co. R. L. Polk Co.	Image pg. A18 Image pg. A18 Image pg. A18 Image pg. A18
1985	Ealy Sylvia E Hanks Aaron L	R. L. Polk Co. R. L. Polk Co.	Image pg. A24 Image pg. A24
1980	Vacant Floor Jones Joseph	R. L. Polk Co.	Image pg. A30
1975	Vacant	R. L. Polk Co.	Image pg. A35
1965	GREGG STANLEY VAN DYNE DIANE	R. L. Polk Co. R. L. Polk Co.	Image pg. A49 Image pg. A49
1961	Gregg Stanley	R. L. Polk Co.	Image pg. A54
1956	Lukaszewski Norbert	R. L. Polk Co.	Image pg. A59
1926	C E Spelts	R. L. Polk Co.	Image pg. A87

1734 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1975	Vacant	R. L. Polk Co.	Image pg. A35
1965	HOLZAPHEL CATH MRS	R. L. Polk Co.	Image pg. A49
1961	Kistler Chas H	R. L. Polk Co.	Image pg. A54
1956	Kistler Chas H	R. L. Polk Co.	Image pg. A59
1926	Mrs Jane Kistler	R. L. Polk Co.	Image pg. A87

1743 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Not Verified 2 Hses	R. L. Polk Co.	Image pg. A11
1990	Hatch Dani B	R. L. Polk Co.	Image pg. A18

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1985	Prestito Richd M	R. L. Polk Co.	Image pg. A24
1980	Annin Sophie D	R. L. Polk Co.	Image pg. A30
1975	Annin Sophie V Mrs	R. L. Polk Co.	Image pg. A35
1965	ANNIN SOPHIE V MRS	R. L. Polk Co.	Image pg. A49
1961	Annin Sophie V Mrs	R. L. Polk Co.	Image pg. A54
1956	Redw elski Frank	R. L. Polk Co.	Image pg. A59
1926	Vacant	R. L. Polk Co.	Image pg. A87

1744 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Not Verified 2 Hses	R. L. Polk Co.	Image pg. A11
1990	Madsen Wm F	R. L. Polk Co.	Image pg. A18
1985	Laux Mark T	R. L. Polk Co.	Image pg. A24
1980	Medina Robert	R. L. Polk Co.	Image pg. A30
1975	Medina Robert	R. L. Polk Co.	Image pg. A35
1965	MEDINA ROBERT	R. L. Polk Co.	Image pg. A49
1961	Mc Queen Mamie Mrs	R. L. Polk Co.	Image pg. A54
1956	Queen Jos P	R. L. Polk Co.	Image pg. A59
1926	J E Ryan	R. L. Polk Co.	Image pg. A87

1745 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Netzel Frank A	R. L. Polk Co.	Image pg. A11
1990	Netzel Frank A	R. L. Polk Co.	Image pg. A18
1985	Netzel Frank A	R. L. Polk Co.	Image pg. A24
1980	Netzel Frank	R. L. Polk Co.	Image pg. A30
1975	Netzel Frank	R. L. Polk Co.	Image pg. A35
1965	ANNIN WM	R. L. Polk Co.	Image pg. A49
1961	Ray Leland A	R. L. Polk Co.	Image pg. A54
1956	Christensen Michi E jr	R. L. Polk Co.	Image pg. A59
1926	Frank Redw elski	R. L. Polk Co.	Image pg. A87

FINDINGS

1746 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Cedillo Yolanda B & Pete	R. L. Polk Co.	Image pg. A11
1990	Cedillo Peter P	R. L. Polk Co.	Image pg. A18
1985	Cedillo Peter P	R. L. Polk Co.	Image pg. A24
1980	NOT OPEN BETWEEN CENTER	R. L. Polk Co.	Image pg. A30
	Cedillo Peter P	R. L. Polk Co.	Image pg. A30
1975	Cedillo Peter P	R. L. Polk Co.	Image pg. A35
	NOT OPEN BETWEEN CENTER	R. L. Polk Co.	Image pg. A35
1965	OZEE JACKIE	R. L. Polk Co.	Image pg. A49
	CEDILLO PETER P	R. L. Polk Co.	Image pg. A49
1961	Cedillo Peter P	R. L. Polk Co.	Image pg. A54
1956	Nelsen Chris N	R. L. Polk Co.	Image pg. A59
1926	O A Knight	R. L. Polk Co.	Image pg. A87

1939 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	MILDER OIL CO	R. L. Polk Co.	Image pg. A11
1990	Milder Oil Co	R. L. Polk Co.	Image pg. A18
1985	Milder Oil Co	R. L. Polk Co.	Image pg. A24
1980	Milder Oil Co	R. L. Polk Co.	Image pg. A30
1975	Milder Oil Co	R. L. Polk Co.	Image pg. A35
1965	MILDER OIL CO	R. L. Polk Co.	Image pg. A49
1961	1939 1941 Milder Oil Co	R. L. Polk Co.	Image pg. A54

1940 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	MILDER OIL CO GARAGE & ADDL SP	R. L. Polk Co.	Image pg. A11
1990	Johnson Hardware Co	R. L. Polk Co.	Image pg. A18
1985	Johnson Hardware Co	R. L. Polk Co.	Image pg. A24
1980	AND ARBOR	R. L. Polk Co.	Image pg. A30
	NOT OPEN BETWEEN MARTHA	R. L. Polk Co.	Image pg. A30
	Vacant	R. L. Polk Co.	Image pg. A30
1975	Velron Automotive Products	R. L. Polk Co.	Image pg. A35
1965	VELRON AUTOMOTIVE PRODUCTS INC	R. L. Polk Co.	Image pg. A49

FINDINGS

1941 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1961	1939 1941 Milder Oil Co	R. L. Polk Co.	Image pg. A54
1956	Milder Oil Co	R. L. Polk Co.	Image pg. A59
	Prohaska Coal Co	R. L. Polk Co.	Image pg. A59

1942 26TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Vacant 2 Hses	R. L. Polk Co.	Image pg. A14

27TH S

1908 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Kroll Edw A	R. L. Polk Co.	Image pg. A80
1931	Rroll Edw A	R. L. Polk Co.	Image pg. A85
1915	A G Mc Oall	Omaha Directory Co.	Image pg. A90

1912 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Anderson A Fred	R. L. Polk Co.	Image pg. A80
1931	Anderson A Fred	R. L. Polk Co.	Image pg. A85
1915	A F Anderson	Omaha Directory Co.	Image pg. A90

1914 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Smith Frank I	R. L. Polk Co.	Image pg. A80
1931	Roytza Emil	R. L. Polk Co.	Image pg. A85
1915	Frank Feltheim	Omaha Directory Co.	Image pg. A90

1916 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Knoblauch Erhardt J	R. L. Polk Co.	Image pg. A80
1931	Krnoblauch Erhardt J	R. L. Polk Co.	Image pg. A85
1915	F J Welna Jr	Omaha Directory Co.	Image pg. A90

FINDINGS

1924 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1915	Allie Shofe	Omaha Directory Co.	Image pg. A90

1942 27TH S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Darda Frances Mrs	R. L. Polk Co.	Image pg. A80
1931	Darda Jos	R. L. Polk Co.	Image pg. A85
1915	Jno Dardo	Omaha Directory Co.	Image pg. A90

27TH ST S

1908 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Not Verified 2 Hses	R. L. Polk Co.	Image pg. A15
1990	Kendall Ronald E	R. L. Polk Co.	Image pg. A21
1985	Ellsworth Michl W	R. L. Polk Co.	Image pg. A27
1980	Cook Francis T	R. L. Polk Co.	Image pg. A33
1975	Cook Francis T	R. L. Polk Co.	Image pg. A38
1965	KROLL JUANITA I MRS	R. L. Polk Co.	Image pg. A50
1961	Kroll Juanita I Mrs	R. L. Polk Co.	Image pg. A55
1956	Kroll Juanita I Mrs	R. L. Polk Co.	Image pg. A60
1926	E A Kroll	R. L. Polk Co.	Image pg. A88

1912 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Not Verified 2 Hses	R. L. Polk Co.	Image pg. A15
1990	Hickman Robt J III	R. L. Polk Co.	Image pg. A21
1985	Vacant	R. L. Polk Co.	Image pg. A27
1980	Evans Jerry W	R. L. Polk Co.	Image pg. A33
1975	Korus Frank J	R. L. Polk Co.	Image pg. A38
1965	KORUS FRANK J	R. L. Polk Co.	Image pg. A50
1961	Korus Frank J	R. L. Polk Co.	Image pg. A55
1956	Korus Frank J	R. L. Polk Co.	Image pg. A60
1926	A F Anderson	R. L. Polk Co.	Image pg. A88

FINDINGS

1914 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Tomlinson Lisa	R. L. Polk Co.	Image pg. A15
1990	Rodgers Valoris F	R. L. Polk Co.	Image pg. A21
1985	Arigo Sam	R. L. Polk Co.	Image pg. A27
1980	Arigo Sam	R. L. Polk Co.	Image pg. A33
1975	Arigo Sam	R. L. Polk Co.	Image pg. A38
1965	NATH ROBT L	R. L. Polk Co.	Image pg. A50
1961	Vacant	R. L. Polk Co.	Image pg. A55
1956	Hennings Archie H	R. L. Polk Co.	Image pg. A60
1926	A F Hall	R. L. Polk Co.	Image pg. A88

1916 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Jensen Keith B	R. L. Polk Co.	Image pg. A15
	Rohmeyer Terri M	R. L. Polk Co.	Image pg. A15
1990	Rohmeyer Terri M	R. L. Polk Co.	Image pg. A21
1985	Rausch Martha M Mrs	R. L. Polk Co.	Image pg. A27
1980	Rausch Aug W	R. L. Polk Co.	Image pg. A33
1975	Rausch August	R. L. Polk Co.	Image pg. A38
1965	WELNA RONALD F	R. L. Polk Co.	Image pg. A50
1961	Welna Earl J	R. L. Polk Co.	Image pg. A55
1956	Welna Earl J	R. L. Polk Co.	Image pg. A60
1926	H S Copsey	R. L. Polk Co.	Image pg. A88

1924 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1926	Vacant	R. L. Polk Co.	Image pg. A88

1926 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Musser Richard	R. L. Polk Co.	Image pg. A15
1990	Musser Richd A	R. L. Polk Co.	Image pg. A21
1985	Musser Richd A	R. L. Polk Co.	Image pg. A27
1980	Musser Richd A	R. L. Polk Co.	Image pg. A33

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1975	Musser Richd A	R. L. Polk Co.	Image pg. A38
1965	MUSSER RICHD A	R. L. Polk Co.	Image pg. A50
1961	File Geo	R. L. Polk Co.	Image pg. A55
1956	Krupa Mabel Mrs	R. L. Polk Co.	Image pg. A60

1932 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Not Verified	R. L. Polk Co.	Image pg. A15
1990	Krupa Michl P	R. L. Polk Co.	Image pg. A21
1985	Krupa Michl P	R. L. Polk Co.	Image pg. A27
1980	Krupa Michi P	R. L. Polk Co.	Image pg. A33
1975	Krupa Joseph F	R. L. Polk Co.	Image pg. A38
1965	KRUPA JOSEPH F	R. L. Polk Co.	Image pg. A50
1961	Krupa Jos F	R. L. Polk Co.	Image pg. A55
1956	Krernoc Albert	R. L. Polk Co.	Image pg. A60

1942 27TH ST S

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1965	DARDA CHARLES J	R. L. Polk Co.	Image pg. A50
1961	Darda Chas J	R. L. Polk Co.	Image pg. A55
1956	Darda Chas s	R. L. Polk Co.	Image pg. A60
1926	Mrs Frances Darda	R. L. Polk Co.	Image pg. A88

CENTER

2601 CENTER

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Miller Cereal Mills	R. L. Polk Co.	Image pg. A81

CENTER ST

2410 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2009	SALVATION ARMY	Cole Information Services	
	SALVATION ARMY	Cole Information Services	
2007	SALVATION ARMY thrift shops	Polk City Directories	Image pg. A2

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	SALVATION ARMY THRIFT STORE used mdse	R. L. Polk Co.	Image pg. A16
1994	LLOYD HOLLAND	Cole Information Services	
	LLOYD HOLLAND	Cole Information Services	
1990	Salvation Army Thrift Store used	R. L. Polk Co.	Image pg. A22
1985	Army	R. L. Polk Co.	Image pg. A28
	Red Shield Store No 1 Salvation	R. L. Polk Co.	Image pg. A28
1975	Red Shield Store No 1 Salvation Army	R. L. Polk Co.	Image pg. A39

2501 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2007	LARSON AUCTION INC	Polk City Directories	Image pg. A2
	auctioneers	Polk City Directories	Image pg. A2
	Sopcich Donald J	Polk City Directories	Image pg. A2
2001	SALVATION ARMY THE	Equifax (Polk)	Image pg. A8
	religious orgn	Equifax (Polk)	Image pg. A8
	GSvatos Todd A	Equifax (Polk)	Image pg. A8
1995	SALVATION ARMY ADULT REHABILITATION CENTER	R. L. Polk Co.	Image pg. A16
1990	Center	R. L. Polk Co.	Image pg. A22
	Salvation Army Adult Rehabilitation	R. L. Polk Co.	Image pg. A22
1985	Neeley Harold J	R. L. Polk Co.	Image pg. A28
	Center	R. L. Polk Co.	Image pg. A28
	Salvation Army Adult Rehabilitation	R. L. Polk Co.	Image pg. A28

2502 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	SALVATION ARMY w hse	R. L. Polk Co.	Image pg. A16
1990	Salvation Army Whse	R. L. Polk Co.	Image pg. A22
1985	Salvation Army Whse	R. L. Polk Co.	Image pg. A28

2503 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1999	OCCUPANT UNKNOWN	Cole Information Services	

FINDINGS

2505 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1999	JAMES EVANS	Cole Information Services

2509 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1999	OCCUPANT UNKNOWN	Cole Information Services

2511 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1999	OCCUPANT UNKNOWN	Cole Information Services

2513 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1999	ROGER LAABS	Cole Information Services

2515 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2007	Moffitt Elizabeth M	Polk City Directories	Image pg. A2

2600 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Not Verified	R. L. Polk Co.	Image pg. A16
1990	Mid Am Inc mfrs rep lighting equip	R. L. Polk Co.	Image pg. A22
	Bsmt Mid Am Inc Addl Ap	R. L. Polk Co.	Image pg. A22
	Utilities Service constn grp	R. L. Polk Co.	Image pg. A22
1985	& import	R. L. Polk Co.	Image pg. A28
	Tamaraw International food broker	R. L. Polk Co.	Image pg. A28

2601 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1965	KELLOGG CO CEREAL MFRS	R. L. Polk Co.	Image pg. A51
1961	Kellogg Co	R. L. Polk Co.	Image pg. A56
1956	Kellogg Co	R. L. Polk Co.	Image pg. A61
1951	Kellogg Co	R. L. Polk Co.	Image pg. A64
1946	Keliogg Co	R. L. Polk Co.	Image pg. A69
	rear Sherbondy Marie K Mrs	R. L. Polk Co.	Image pg. A69

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1941	Kellogg Co	R. L. Polk Co.	Image pg. A74

2607 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2001	Kiefel Thomas	Equifax (Polk)	Image pg. A8
	Kiefel Chong A	Equifax (Polk)	Image pg. A8

2623 CENTER ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	UTILITIES SERVICE GROUP	Cole Information Services	
2014	OCCUPANT UNKNOWN	Cole Information Services	
	UTILITIES SERVICE GROUP	Cole Information Services	
2009	NIJOSK INC	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
	UTILITY SERVICE GROUP	Cole Information Services	
2007	underground wire/cable laying	Polk City Directories	Image pg. A2
	UTILITIES SERVICES GROUP	Polk City Directories	Image pg. A2
2004	UTILITIES SERVICES GROUP	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
2001	underground util	Equifax (Polk)	Image pg. A8
	UTILITY SERVICE GROUP	Equifax (Polk)	Image pg. A8
1999	UTILITIES SERVICES GROUP	Cole Information Services	
1995	UTILITIES SERVICE	R. L. Polk Co.	Image pg. A16
1994	UTILITIES SERVICES GROUP	Cole Information Services	
1990	Utilities Service constn grp	R. L. Polk Co.	Image pg. A22
	Utilities Service constn grp	R. L. Polk Co.	Image pg. A22
	Davis Paul W Inc ins restoration	R. L. Polk Co.	Image pg. A22
1975	Salvation Army Mens Social Serv Center	R. L. Polk Co.	Image pg. A39
1970	VACANT	R. L. Polk Co.	Image pg. A44
	VACANT	R. L. Polk Co.	Image pg. A44
	SALVATION ARMY MENS SOCIAL SERV CENTER	R. L. Polk Co.	Image pg. A44

FINDINGS

N 25TH ST

1710 N 25TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2017	NEW BETHEL CHURCH OF GOD IN CHRIST	Cole Information Services
2014	NEW BETHEL CHURCH OF GOD IN CHRIST	Cole Information Services
2009	NEW BETHEL CHURCH OF GOD IN CHRIST	Cole Information Services
2004	NEW BTHL CHRCH OF GOD IN CHRST	Cole Information Services
1999	NEW BETHEL CHURCH OF GOD IN CHRIST	Cole Information Services
1994	NEW BETHEL CHURCH OF GOD	Cole Information Services

S 25TH AVE

1710 S 25TH AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2004	JOSH PLAERMO	Cole Information Services

S 26TH ST

1718 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	VERONICA VILLA-CRESPO	Cole Information Services	
2014	JOSE VILLA	Cole Information Services	
2009	DEVILLA PALENCIA	Cole Information Services	
2007	D Guimenes Bernad	Polk City Directories	Image pg. A1
	D Blue Irene	Polk City Directories	Image pg. A1
2004	HILDA VILLA	Cole Information Services	
2001	Not Verified	Equifax (Polk)	Image pg. A5
1951	Adams Lester M	R. L. Polk Co.	Image pg. A65
1946	White Stanley N	R. L. Polk Co.	Image pg. A70
1941	Adams Lester M	R. L. Polk Co.	Image pg. A75

1721 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2017	IGNACIO MENCHACA	Cole Information Services
2014	IGNACIO MENCHACA	Cole Information Services

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2009	IGNACIO MENCHACA	Cole Information Services	
2007	Menchaca Norma	Polk City Directories	Image pg. A1
	0 Menchaca Ingacio A	Polk City Directories	Image pg. A1
2004	OSCAR OLVERA	Cole Information Services	
2001	Oivera Sandy	Equifax (Polk)	Image pg. A5
	Olvers Oscar	Equifax (Polk)	Image pg. A5
1999	O OLVERA	Cole Information Services	
1994	OLVERA, O	Cole Information Services	
1951	Casaccio Sam	R. L. Polk Co.	Image pg. A65
1946	Ristich Florence H Mrs	R. L. Polk Co.	Image pg. A70
1941	Casaccio Sam	R. L. Polk Co.	Image pg. A75

1722 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	BYRON GARDNER	Cole Information Services	
2014	BYRON GARDNER	Cole Information Services	
2009	LOW CUT LAWNS	Cole Information Services	
	BYRON GARDNER	Cole Information Services	
2007	Gardner Byron H & Lanae 1 0 A	Polk City Directories	Image pg. A1
2004	OCCUPANT UNKNOWN	Cole Information Services	
2001	Gardner Byron H	Equifax (Polk)	Image pg. A5
	Gardner Lanae	Equifax (Polk)	Image pg. A5
1999	BYRON GARDNER	Cole Information Services	
1994	BAERDEE, KHUDAI	Cole Information Services	
1970	CARROLL WM E	R. L. Polk Co.	Image pg. A41
1951	No return	R. L. Polk Co.	Image pg. A65
1946	Cooper John J	R. L. Polk Co.	Image pg. A70
1941	No return	R. L. Polk Co.	Image pg. A75

1725 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2017	JEANNIE CLARY	Cole Information Services
2014	JEANNIE CLARY	Cole Information Services
2009	BRIAN CLARY	Cole Information Services

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2007	Clary Jeannie M A	Polk City Directories	Image pg. A1
2004	OCCUPANT UNKNOWN	Cole Information Services	
2001	Clary Jeannie M	Equifax (Polk)	Image pg. A5
1999	OCCUPANT UNKNOWN	Cole Information Services	
1994	TREFREN, KAREN A	Cole Information Services	
1970	KJAR BERNARD J	R. L. Polk Co.	Image pg. A41
1951	Kohanek Jas J	R. L. Polk Co.	Image pg. A65
1946	Jessen John	R. L. Polk Co.	Image pg. A70
1941	Kohanek Jas J	R. L. Polk Co.	Image pg. A75

1726 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	TERI LATHAM	Cole Information Services	
2014	HELEN LATHAM	Cole Information Services	
2009	HELEN LATHAM	Cole Information Services	
2007	Latham Helen J 1 F 5 A	Polk City Directories	Image pg. A1
2004	HELEN LATHAM	Cole Information Services	
2001	Latham Hellen J	Equifax (Polk)	Image pg. A5
1999	OCCUPANT UNKNOWN	Cole Information Services	
1970	SHEA JAMES L	R. L. Polk Co.	Image pg. A41
	KEENAN KEITH W	R. L. Polk Co.	Image pg. A41
1951	Cooper Loren S	R. L. Polk Co.	Image pg. A65
1946	Cooper Loren S	R. L. Polk Co.	Image pg. A70
1941	Cooper Loren S	R. L. Polk Co.	Image pg. A75

1730 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	FERNANDO FLORES	Cole Information Services	
2014	FERNANDO FLORES	Cole Information Services	
2009	FERNANDO FLORES	Cole Information Services	
2007	Flores Fernando L 1 A	Polk City Directories	Image pg. A1
2004	FERNANDO LUCIO	Cole Information Services	
1970	GREGG STANLEY	R. L. Polk Co.	Image pg. A41
	t HURLEY DELORES MRS	R. L. Polk Co.	Image pg. A41

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1951	Corrado Carl S	R. L. Polk Co.	Image pg. A65
1946	Vacant	R. L. Polk Co.	Image pg. A70
	d fl Herman Raymond J	R. L. Polk Co.	Image pg. A70
1941	Corrado Carl S	R. L. Polk Co.	Image pg. A75

1733 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2017	MARK PEREZ	Cole Information Services
2014	MARK PEREZ	Cole Information Services
2009	MARK PEREZ	Cole Information Services
2004	JOHN LOVINGS	Cole Information Services
1999	JOHN LOVINGS	Cole Information Services

1734 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1970	SHEA JAMES L	R. L. Polk Co.	Image pg. A45
	MONTALVO PETE Y	R. L. Polk Co.	Image pg. A41
1951	Kistler Chas H	R. L. Polk Co.	Image pg. A65
1946	Kistler Chas H 1 I	R. L. Polk Co.	Image pg. A70
1941	Kistler Chas H	R. L. Polk Co.	Image pg. A75

1743 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	OCCUPANT UNKNOWN	Cole Information Services	
2007	Anderson Virgil D 0 A	Polk City Directories	Image pg. A1
2004	DANIEL HATCH	Cole Information Services	
2001	Hatch Daniel B	Equifax (Polk)	Image pg. A5
1999	TINA HATCH	Cole Information Services	
1970	ANNIN SOPHIE V MRS	R. L. Polk Co.	Image pg. A45
1951	Redw elski Frank	R. L. Polk Co.	Image pg. A65
1946	Redw elski Frank	R. L. Polk Co.	Image pg. A70
1941	Redw elski Frank	R. L. Polk Co.	Image pg. A75

FINDINGS

1744 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1970	MEDINA ROBERTO	R. L. Polk Co.	Image pg. A45
1951	Mc Queen Jos	R. L. Polk Co.	Image pg. A65
1946	Eggers Emil H	R. L. Polk Co.	Image pg. A70
1941	Mc Queen Jos	R. L. Polk Co.	Image pg. A75

1745 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	ROBERT MORRIS	Cole Information Services	
2009	TINISHA POITIER	Cole Information Services	
2007	1746 No Current Listing 2 Hses	Polk City Directories	Image pg. A1
2004	VIRGIL ANDERSON	Cole Information Services	
2001	Netzel Frank A	Equifax (Polk)	Image pg. A5
1999	FRANK NETZEL	Cole Information Services	
1994	NETZEL, FRANK A	Cole Information Services	
1970	BALLARD FAY E MRS	R. L. Polk Co.	Image pg. A45
1951	Lakin Warren W	R. L. Polk Co.	Image pg. A65
1946	Caito John	R. L. Polk Co.	Image pg. A70
1941	Lakin Warren W	R. L. Polk Co.	Image pg. A75

1746 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	YOLANDA CEDILLO	Cole Information Services	
2014	YOLANDA CEDILLO	Cole Information Services	
2009	YOLANDA CEDILLO	Cole Information Services	
2004	YOLANDA CEDILLO	Cole Information Services	
2001	Cedillo Peter P & Yolanda	Equifax (Polk)	Image pg. A5
1970	CEDILLO PETER P	R. L. Polk Co.	Image pg. A45
1951	Nelsen Chris N	R. L. Polk Co.	Image pg. A65
	Milder Oil Co	R. L. Polk Co.	Image pg. A65
	Prohaska Coal Co	R. L. Polk Co.	Image pg. A65
	cor Railroad Concrete Products	R. L. Polk Co.	Image pg. A65
1946	cor Railroad Concrete Products Co	R. L. Polk Co.	Image pg. A70
	Maurer Jacob J	R. L. Polk Co.	Image pg. A70

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1941	Caniglia Jano D	R. L. Polk Co.	Image pg. A75
	cor Railroad Concrete Products	R. L. Polk Co.	Image pg. A75
	Prohaska Coal Co	R. L. Polk Co.	Image pg. A75
	Nelsen Chris N	R. L. Polk Co.	Image pg. A75
	Milder Oil Co	R. L. Polk Co.	Image pg. A75

1926 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2004	KAREN BARRY	Cole Information Services

1935 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2004	OCCUPANT UNKNOWN	Cole Information Services
	LORDEMANN RESTORATION	Cole Information Services

1939 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1970	MILDER OIL CO	R. L. Polk Co.	Image pg. A45

1940 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1970	VELRON AUTOMOTIVE PRODUCTS	R. L. Polk Co.	Image pg. A45

1941 S 26TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2001	petroleum product w hol	Equifax (Polk)	Image pg. A5
	MILDER OIL COMPANY	Equifax (Polk)	Image pg. A5

S 27TH ST

1908 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2017	RON KENDALL	Cole Information Services
	RON KENDALL	Cole Information Services
2014	RONALD KENDALL	Cole Information Services
	RONALD KENDALL	Cole Information Services
2009	OCCUPANT UNKNOWN	Cole Information Services

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2009	OCCUPANT UNKNOWN	Cole Information Services	
2007	Kendall Ronald E E	Polk City Directories	Image pg. A3
	Kendall Lisa D	Polk City Directories	Image pg. A3
2004	OCCUPANT UNKNOWN	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
2001	Kendall Ronald E & Lisa	Equifax (Polk)	Image pg. A9
1999	OCCUPANT UNKNOWN	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
1994	KENDALL, L	Cole Information Services	
	KENDALL, L	Cole Information Services	
1970	COOK FRANCIS T	R. L. Polk Co.	Image pg. A46
1951	Kroll Juanita I Mrs	R. L. Polk Co.	Image pg. A66
1946	Kroll Juanita I Mrs	R. L. Polk Co.	Image pg. A71
1941	Kroll Juanita I Mrs	R. L. Polk Co.	Image pg. A76

1912 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	JIM SMITH	Cole Information Services	
2014	TONY CONTRERAS	Cole Information Services	
2009	TONY CONTRERAS	Cole Information Services	
2007	Smith James R E I A	Polk City Directories	Image pg. A3
	Smith Rebecca A	Polk City Directories	Image pg. A3
2004	BECKY SMITH	Cole Information Services	
2001	Smith James R & Rebecca	Equifax (Polk)	Image pg. A9
1999	S SIMON	Cole Information Services	
1970	KORUS FRANK J	R. L. Polk Co.	Image pg. A46
1951	Korus Frank J	R. L. Polk Co.	Image pg. A66
1946	Korus i Frank	R. L. Polk Co.	Image pg. A71
1941	Korus Frank J	R. L. Polk Co.	Image pg. A76

1914 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2017	MITCHELL HADAN	Cole Information Services
2014	MITCHELL HADAN	Cole Information Services

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2009	OCCUPANT UNKNOWN	Cole Information Services	
2007	No Current Listing	Polk City Directories	Image pg. A3
2004	OCCUPANT UNKNOWN	Cole Information Services	
1970	POLICKY CHARLES	R. L. Polk Co.	Image pg. A46
1951	Lenczowski Ted J	R. L. Polk Co.	Image pg. A66
1946	Breeling Jas L	R. L. Polk Co.	Image pg. A71
1941	Lenczowski Ted J	R. L. Polk Co.	Image pg. A76

1916 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	TERRI ROHMEYER	Cole Information Services	
2014	KEITH JENSEN	Cole Information Services	
2009	KEITH JENSEN	Cole Information Services	
2007	Jensen Keith B E 5 A	Polk City Directories	Image pg. A3
2004	KEITH JENSEN	Cole Information Services	
2001	Rohmeyer Katie M	Equifax (Polk)	Image pg. A9
	Rohmeyer Terri M	Equifax (Polk)	Image pg. A9
	Jensen Keith B	Equifax (Polk)	Image pg. A9
1970	WELNA RONALD F	R. L. Polk Co.	Image pg. A46
1951	Welna Earl J	R. L. Polk Co.	Image pg. A66
1946	Stimmel Everett W	R. L. Polk Co.	Image pg. A71
1941	Welna Earl J	R. L. Polk Co.	Image pg. A76

1926 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	ROBERT MENDOZA	Cole Information Services	
	ROBERT MENDOZA	Cole Information Services	
2014	RICHARD MUSSER	Cole Information Services	
	RICHARD MUSSER	Cole Information Services	
2009	RICHARD MUSSER	Cole Information Services	
	RICHARD MUSSER	Cole Information Services	
2007	Musser Richard A 32 a	Polk City Directories	Image pg. A3
2004	OCCUPANT UNKNOWN	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2001	Musser Richard	Equifax (Polk)	Image pg. A9
1999	RICHARD MUSSER	Cole Information Services	
	RICHARD MUSSER	Cole Information Services	
1994	MUSSER, RICHARD	Cole Information Services	
	MUSSER, RICHARD	Cole Information Services	
1970	MUSSER RICH D A	R. L. Polk Co.	Image pg. A46

1932 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	DOMITILO ANTUNEZ	Cole Information Services	
2014	OCCUPANT UNKNOWN	Cole Information Services	
2009	DOMITILO ANTUNEZ	Cole Information Services	
2007	Antunez Domitilo El A	Polk City Directories	Image pg. A3
	Antunez Mario	Polk City Directories	Image pg. A3
2004	DOMITILO ANTUNEZ	Cole Information Services	
2001	Antunez Domitilo	Equifax (Polk)	Image pg. A9
1970	KRUPA JOSEPH F	R. L. Polk Co.	Image pg. A46

1942 S 27TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1951	Darda Chas	R. L. Polk Co.	Image pg. A66
1946	Darda Chas	R. L. Polk Co.	Image pg. A71
1941	Darda Chas	R. L. Polk Co.	Image pg. A76

SHIRLEY

2702 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Mc Cormick Sami	R. L. Polk Co.	Image pg. A82
1931	Mc Cormick Sairl	R. L. Polk Co.	Image pg. A86

2710 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Busse Clarence	R. L. Polk Co.	Image pg. A82
1931	Ohier Nancy Mrs	R. L. Polk Co.	Image pg. A86

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1915	Smith	Omaha Directory Co.	Image pg. A92
	Mrs Genevieve	Omaha Directory Co.	Image pg. A92

2711 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Coulson Oliver	R. L. Polk Co.	Image pg. A82
1931	Johnson Wilhalmina J Mrs	R. L. Polk Co.	Image pg. A86
1915	D W Jones	Omaha Directory Co.	Image pg. A92

2712 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Lofberg Fredk	R. L. Polk Co.	Image pg. A82
1931	Lofberg Fredk	R. L. Polk Co.	Image pg. A86
1915	J R Sterling	Omaha Directory Co.	Image pg. A92
	Smith	Omaha Directory Co.	Image pg. A93

2714 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Myers Clarence J	R. L. Polk Co.	Image pg. A82
1931	Bow yer Elmer	R. L. Polk Co.	Image pg. A86
1915	Mrs Agatha Quade	Omaha Directory Co.	Image pg. A93

2716 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Crisman Diale W	R. L. Polk Co.	Image pg. A82
1931	Roland Ivan E	R. L. Polk Co.	Image pg. A86
1915	W A 1 ill	Omaha Directory Co.	Image pg. A93

2720 SHIRLEY

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1936	Vacant	R. L. Polk Co.	Image pg. A82
1931	Juergens Alex	R. L. Polk Co.	Image pg. A86
1915	W A Whisenand	Omaha Directory Co.	Image pg. A93

FINDINGS

SHIRLEY ST

2702 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	OCCUPANT UNKNOWN	Cole Information Services	
2009	JUNE TOWNSEND	Cole Information Services	
2007	Tow nsend June J	Polk City Directories	Image pg. A4
2004	JUNE TOWNSEND	Cole Information Services	
2001	Tow nsend June J	Equifax (Polk)	Image pg. A10
	I SHIRLEY ST	Equifax (Polk)	Image pg. A10
1999	J TOWNSEND	Cole Information Services	
1995	Tow nsend June J	R. L. Polk Co.	Image pg. A17
1994	TOWNSEND, J J	Cole Information Services	
1990	Tow nsend June J	R. L. Polk Co.	Image pg. A23
1985	Cubley Gerald	R. L. Polk Co.	Image pg. A29
1980	Cubley Gerald	R. L. Polk Co.	Image pg. A34
1975	Cubley Gerald	R. L. Polk Co.	Image pg. A40
	Tow nsend June	R. L. Polk Co.	Image pg. A40
1970	CUBLEY GERALD TOWNSEND JUNE J	R. L. Polk Co.	Image pg. A47
1965	CUBLEY GERALD TOWNSEND JUNE J	R. L. Polk Co.	Image pg. A52
1961	Toohey Adeline F Mrs	R. L. Polk Co.	Image pg. A57
1956	Toohey Michl J	R. L. Polk Co.	Image pg. A62
1951	Lee Guy P	R. L. Polk Co.	Image pg. A67
1946	Hoban Frances M Mrs	R. L. Polk Co.	Image pg. A72
1941	Lee Guy P	R. L. Polk Co.	Image pg. A77
1926	Glenn Peterson	R. L. Polk Co.	Image pg. A89

2710 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	JACQUELINE VINSON	Cole Information Services	
2009	THOMAS MCMILLAN	Cole Information Services	
2007	Schuler Patricia	Polk City Directories	Image pg. A4
	D Mc Millan Thomas E	Polk City Directories	Image pg. A4
2004	ALBERT WITTMER	Cole Information Services	

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2001	Wittmer Albert J	Equifax (Polk)	Image pg. A10
1999	OCCUPANT UNKNOWN	Cole Information Services	
1995	Not Verified 4 Hses	R. L. Polk Co.	Image pg. A17
1994	WITTMER, AL	Cole Information Services	
1990	Wittmer Tressa E Mrs	R. L. Polk Co.	Image pg. A23
1985	Wittmer Tressa E Mrs	R. L. Polk Co.	Image pg. A29
1980	Wittmner Tressa E Mrs	R. L. Polk Co.	Image pg. A34
1975	Wittmer Tressa E Mrs	R. L. Polk Co.	Image pg. A40
1970	WITTMER TRESSA E MRS	R. L. Polk Co.	Image pg. A47
1965	WITTMER VICTOR M	R. L. Polk Co.	Image pg. A52
1961	Wittmer Victor M O	R. L. Polk Co.	Image pg. A57
1956	Wittmer Victor M	R. L. Polk Co.	Image pg. A62
1951	Wittmer Victor Ml	R. L. Polk Co.	Image pg. A67
1946	Wood Robt J	R. L. Polk Co.	Image pg. A72
1941	Wittmer Victor Ml	R. L. Polk Co.	Image pg. A77
1926	Mrs Nancy Ohier	R. L. Polk Co.	Image pg. A89

2711 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	FERNAND SANTOS	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
2009	JASON CORWIN	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
2007	2 Corw in Jason	Polk City Directories	Image pg. A4
2004	GREG WHITE	Cole Information Services	
	OCCUPANT UNKNOWN	Cole Information Services	
2001	Not Verified	Equifax (Polk)	Image pg. A10
1999	KRYSTIE OZUNA	Cole Information Services	
1990	Bailey Frank L	R. L. Polk Co.	Image pg. A23
	Funk Jeffrey A	R. L. Polk Co.	Image pg. A23
1985	Vacant	R. L. Polk Co.	Image pg. A29
1980	Fleshman Robt L	R. L. Polk Co.	Image pg. A34
1975	Herek Wm J Jr	R. L. Polk Co.	Image pg. A40

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1975	Rear Kudlacz James P	R. L. Polk Co.	Image pg. A40
1970	HEREK WM J JR	R. L. Polk Co.	Image pg. A47
	TREINEN THOS H	R. L. Polk Co.	Image pg. A47
1965	OLEARY DAVID	R. L. Polk Co.	Image pg. A52
	REAR HEREK WM JR	R. L. Polk Co.	Image pg. A52
1961	Holcombe Harland Y	R. L. Polk Co.	Image pg. A57
	Freis Gordon N	R. L. Polk Co.	Image pg. A57
1956	Warner Gus A	R. L. Polk Co.	Image pg. A62
1951	Warner Gus A	R. L. Polk Co.	Image pg. A67
1946	Warner Gus A	R. L. Polk Co.	Image pg. A72
1941	Warner Gus A	R. L. Polk Co.	Image pg. A77
1926	D W Jones	R. L. Polk Co.	Image pg. A89

2712 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	ANABEL FRAYRE	Cole Information Services	
2014	ANABEL FRAYRE	Cole Information Services	
2009	ANNABEL FRAYRE	Cole Information Services	
2007	Lamm James LA	Polk City Directories	Image pg. A4
2004	JAMES LAMM	Cole Information Services	
1995	Not Verified 4 Hses	R. L. Polk Co.	Image pg. A17
1990	Lamm David A	R. L. Polk Co.	Image pg. A23
1985	Lamm David L	R. L. Polk Co.	Image pg. A29
1980	Lamm David L	R. L. Polk Co.	Image pg. A34
1975	Lamm David L	R. L. Polk Co.	Image pg. A40
1970	VACANT	R. L. Polk Co.	Image pg. A47
1965	DELEHANT BERNARD C	R. L. Polk Co.	Image pg. A52
1961	Hobson Arth E	R. L. Polk Co.	Image pg. A57
1956	Lofberg C Lennart	R. L. Polk Co.	Image pg. A62
1951	Lofberg C Lennart	R. L. Polk Co.	Image pg. A67
1946	Loftberg Fredk A	R. L. Polk Co.	Image pg. A72
1941	Lofberg C Lennart	R. L. Polk Co.	Image pg. A77
1926	Vacant	R. L. Polk Co.	Image pg. A89

FINDINGS

2714 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	STEPHANIE THORSON	Cole Information Services	
2014	STEPHANIE THORSON	Cole Information Services	
2009	STEPHANIE THORSON	Cole Information Services	
2007	No Current Listing	Polk City Directories	Image pg. A4
2004	OCCUPANT UNKNOWN	Cole Information Services	
2001	Hutchings Dixie L	Equifax (Polk)	Image pg. A10
	Hutchings Low ell	Equifax (Polk)	Image pg. A10
1999	DIXIE HUTCHINGS	Cole Information Services	
1995	Hutchings Dixie L	R. L. Polk Co.	Image pg. A17
1994	HUTCHINGS, LOWELL	Cole Information Services	
1990	Hutchings Dixie L Mrs	R. L. Polk Co.	Image pg. A23
1985	Hutchings Dixie L Mrs	R. L. Polk Co.	Image pg. A29
1980	Hutchings Dixie L Mrs	R. L. Polk Co.	Image pg. A34
1975	Hutchings Dixie L Mrs	R. L. Polk Co.	Image pg. A40
1970	HUTCHINGS DIXIE L MRS S	R. L. Polk Co.	Image pg. A47
1965	HUTCHINGS LOWELL T	R. L. Polk Co.	Image pg. A52
1961	Hutchings Low ell T	R. L. Polk Co.	Image pg. A57
1956	Shea John W	R. L. Polk Co.	Image pg. A62
1951	Shea Jolhn W	R. L. Polk Co.	Image pg. A67
1946	Armintrout Coy E Mrs	R. L. Polk Co.	Image pg. A72
1941	Shea Jolhn W	R. L. Polk Co.	Image pg. A77
1926	C G Redding	R. L. Polk Co.	Image pg. A89

2716 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	PAULINE LANUS	Cole Information Services	
2014	RANDY STECHENFINGER	Cole Information Services	
2009	JOHN BOWEN	Cole Information Services	
2007	Lanus Roberta P	Polk City Directories	Image pg. A4
	Lanus Pauline	Polk City Directories	Image pg. A4
2004	OCCUPANT UNKNOWN	Cole Information Services	
2001	Not Verified	Equifax (Polk)	Image pg. A10

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1995	Reeve James T	R. L. Polk Co.	Image pg. A17
1990	Jackson Roger W	R. L. Polk Co.	Image pg. A23
1985	Jackson Roge W	R. L. Polk Co.	Image pg. A29
1980	Otero Renee D Mrs	R. L. Polk Co.	Image pg. A34
1975	Otero James Jr	R. L. Polk Co.	Image pg. A40
1970	OTERO JAMES G	R. L. Polk Co.	Image pg. A47
1965	OTERO JAMES	R. L. Polk Co.	Image pg. A52
1961	Lampe Leroy A	R. L. Polk Co.	Image pg. A57
1956	Cannella Thos C	R. L. Polk Co.	Image pg. A62
1951	Cannella Thos C	R. L. Polk Co.	Image pg. A67
1946	Hardy Irene Mrs 5 A	R. L. Polk Co.	Image pg. A72
1941	Cannella Thos C	R. L. Polk Co.	Image pg. A77
1926	J J Holden	R. L. Polk Co.	Image pg. A89

2720 SHIRLEY ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2017	JOSE CALDERON	Cole Information Services	
2014	JOSE CALDERON	Cole Information Services	
2009	JOSE CALDERON	Cole Information Services	
2007	Calderon Jose B 0 A	Polk City Directories	Image pg. A4
2004	JOSE CALDRON	Cole Information Services	
2001	Stoj Mark E	Equifax (Polk)	Image pg. A10
	Not Verified	Equifax (Polk)	Image pg. A10
1999	MARK STOJ	Cole Information Services	
1995	Boetel Helen G	R. L. Polk Co.	Image pg. A17
1990	Boetel Helen G Mrs	R. L. Polk Co.	Image pg. A23
1985	Boetel Helen G Mrs	R. L. Polk Co.	Image pg. A29
1980	Boetel Helen G Mrs	R. L. Polk Co.	Image pg. A34
1975	Boetel Helen G Mrs	R. L. Polk Co.	Image pg. A40
1970	BOETEL HELEN G MRS	R. L. Polk Co.	Image pg. A47
1965	BOETEL HELEN G MRS	R. L. Polk Co.	Image pg. A52
1961	Boetel Helen G Mrs	R. L. Polk Co.	Image pg. A57
1956	Boetel Helen G Mrs	R. L. Polk Co.	Image pg. A62

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1951	Boetel Helen M Mrs	R. L. Polk Co.	Image pg. A67
1946	Boetel Helen M	R. L. Polk Co.	Image pg. A72
1941	Boetel Helen M Mrs	R. L. Polk Co.	Image pg. A77
1926	A O Campbell	R. L. Polk Co.	Image pg. A89

FINDINGS

ADJOINING PROPERTY: ADDRESSES NOT IDENTIFIED IN RESEARCH SOURCE

The following Adjoining Property addresses were researched for this report, and the addresses were not identified in research source.

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
1710 N 25TH ST	2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1710 N 25TH ST	2017, 2014, 2009, 2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1710 N 25TH ST	2017, 2014, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1710 S 25TH AVE	2017, 2014, 2009, 2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1718 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1718 S 26TH ST	2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1721 S 26TH ST	2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1721 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1722 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1722 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1722 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1722 S 26TH ST	2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1723 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1725 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1725 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1725 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1725 S 26TH ST	2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1726 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1726 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915

FINDINGS

Address Researched

Address Not Identified in Research Source

1726 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1726 S 26TH ST	2007, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1730 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1730 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1915
1730 S 26TH ST	2017, 2014, 2009, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1730 S 26TH ST	2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1733 S 26TH ST	2007, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1734 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1734 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1734 S 26TH ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1743 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1743 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1990, 1985, 1980, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1743 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1743 S 26TH ST	2017, 2009, 2007, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1744 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1744 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1990, 1985, 1980, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1744 S 26TH ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1745 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1745 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1990, 1985, 1980, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1745 S 26TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1745 S 26TH ST	2017, 2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1746 25TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1926, 1915

FINDINGS

Address Researched

Address Not Identified in Research Source

1746 25TH AVE S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1941, 1931, 1926, 1915
1746 26TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
1746 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1746 S 26TH ST	2017, 2014, 2009, 2007, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1746 S 26TH ST	2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1908 27TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
1908 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1908 S 27TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1908 S 27TH ST	2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1912 27TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
1912 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1912 S 27TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1912 S 27TH ST	2007, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1914 27TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
1914 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1914 S 27TH ST	2017, 2014, 2009, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1914 S 27TH ST	2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1916 27TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
1916 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1916 S 27TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1936, 1931, 1926, 1915
1916 S 27TH ST	2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1924 27TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
1924 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1915
1926 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1926 S 26TH ST	2017, 2014, 2009, 2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1926 S 27TH ST	2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1926 S 27TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1932 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1932 S 27TH ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1932 S 27TH ST	2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1935 S 26TH ST	2017, 2014, 2009, 2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1939 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1939 S 26TH ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1940 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1970, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1940 S 26TH ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1941 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1941 S 26TH ST	2017, 2014, 2009, 2007, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1942 26TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
1942 27TH S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
1942 27TH ST S	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1951, 1946, 1941, 1936, 1931, 1915
1942 S 27TH ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1936, 1931, 1926, 1915
2410 CENTER ST	2017, 2014, 2007, 2004, 2001, 1999, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2410 CENTER ST	2017, 2014, 2009, 2004, 2001, 1999, 1994, 1980, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2501 CENTER ST	2017, 2014, 2009, 2004, 1999, 1994, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
2502 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2503 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2505 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2509 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2511 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2513 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2515 CENTER ST	2017, 2014, 2009, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2600 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1994, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2601 CENTER	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1931, 1926, 1915
2601 CENTER ST	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1936, 1931, 1926, 1915
2607 CENTER ST	2017, 2014, 2009, 2007, 2004, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2623 CENTER ST	2017, 2014, 2009, 2004, 1999, 1994, 1985, 1980, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2623 CENTER ST	2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2702 SHIRLEY	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926, 1915
2702 SHIRLEY ST	2017, 2014, 2009, 2004, 1999, 1994, 1936, 1931, 1915
2702 SHIRLEY ST	2017, 2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2710 SHIRLEY	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
2710 SHIRLEY ST	2017, 2014, 2009, 2004, 1999, 1994, 1936, 1931, 1915
2710 SHIRLEY ST	2017, 2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2711 SHIRLEY	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
2711 SHIRLEY ST	2017, 2014, 2009, 2004, 1999, 1995, 1994, 1936, 1931, 1915
2711 SHIRLEY ST	2017, 2007, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915
2712 SHIRLEY	2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926
2712 SHIRLEY ST	2017, 2014, 2009, 2004, 2001, 1999, 1994, 1936, 1931, 1915

FINDINGS

Address Researched

2712 SHIRLEY ST

2714 SHIRLEY

2714 SHIRLEY ST

2714 SHIRLEY ST

2716 SHIRLEY

2716 SHIRLEY ST

2716 SHIRLEY ST

2720 SHIRLEY

2720 SHIRLEY ST

2720 SHIRLEY ST

Address Not Identified in Research Source

2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915

2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926

2017, 2014, 2009, 2004, 1999, 1994, 1936, 1931, 1915

2007, 2001, 1995, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915

2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926

2007, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915

2017, 2014, 2009, 2004, 1999, 1994, 1936, 1931, 1915

2017, 2014, 2009, 2007, 2004, 2001, 1999, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1926

2017, 2014, 2009, 2004, 1999, 1994, 1936, 1931, 1915

2007, 2001, 1995, 1994, 1990, 1985, 1980, 1975, 1970, 1965, 1961, 1956, 1951, 1946, 1941, 1936, 1931, 1926, 1915

TARGET PROPERTY: ADDRESS NOT IDENTIFIED IN RESEARCH SOURCE

The following Target Property addresses were researched for this report, and the addresses were not identified in the research source.

Address Researched

2501 Center Street

Address Not Identified in Research Source

1926



Multiple Vacant Properties

2501 Center Street

Omaha, NE 68105

Inquiry Number: 6623280.3

August 19, 2021

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

08/19/21

Site Name:

Multiple Vacant Properties
2501 Center Street
Omaha, NE 68105
EDR Inquiry # 6623280.3

Client Name:

B2 Environmental
4503 South 90th Street
Omaha, NE 68127
Contact: Brock Flowers



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Certified Sanborn Results:

Certification # 601B-47C0-8846
PO # 10373.0039
Project Multiple Vacant Properties

Maps Provided:

1969
1962
1934
1890



Sanborn® Library search results

Certification #: 601B-47C0-8846

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Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



1969 Source Sheets

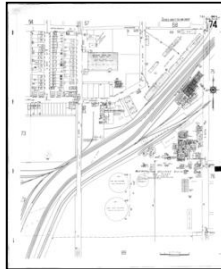


Volume 1, Sheet 73
1969

1962 Source Sheets



Volume 1, Sheet 73
1962



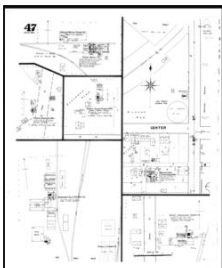
Volume 1, Sheet 74
1962

1934 Source Sheets

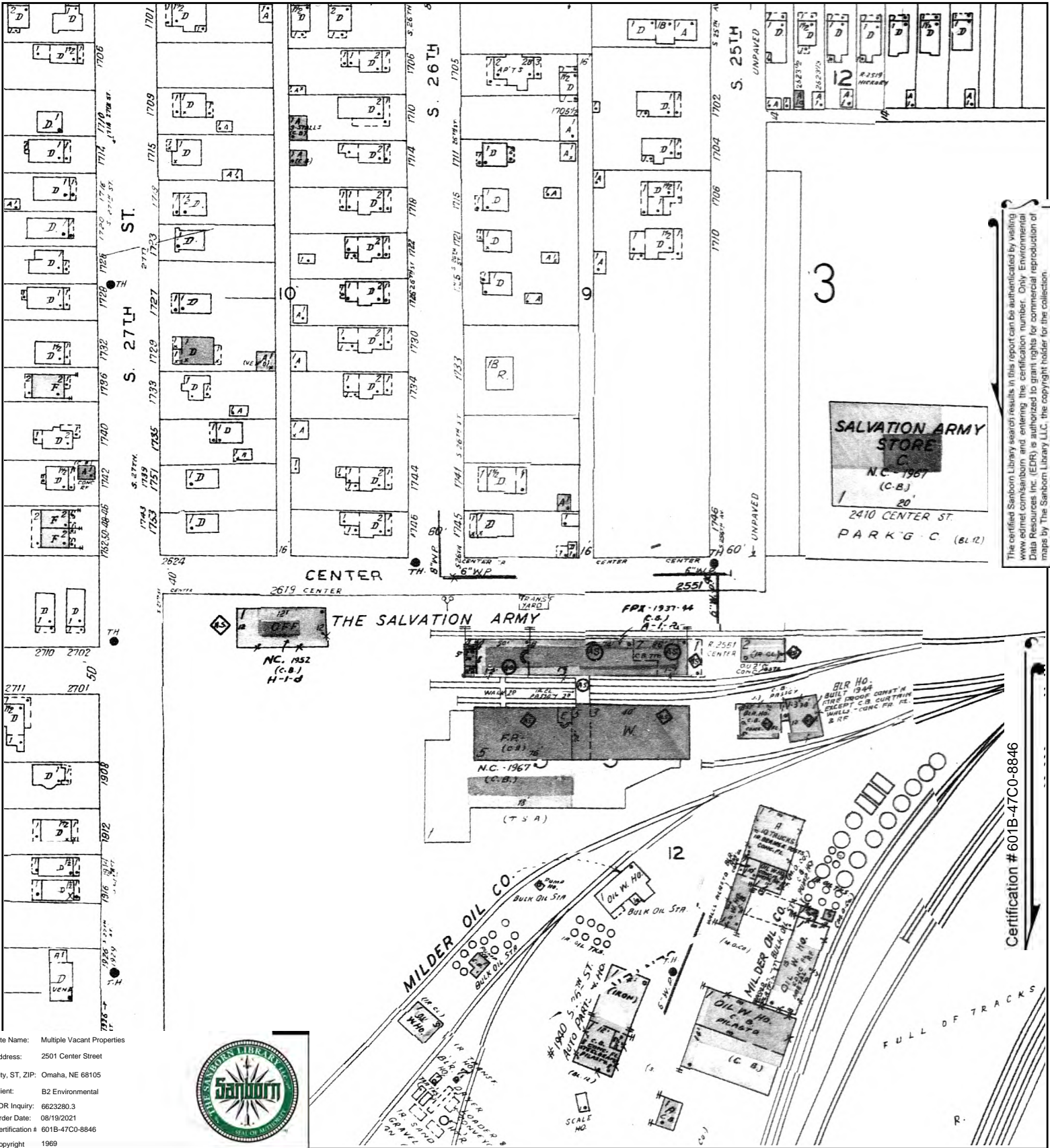


Volume 1, Sheet 73
1934

1890 Source Sheets



Volume 1, Sheet 47
1890

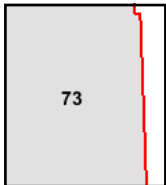
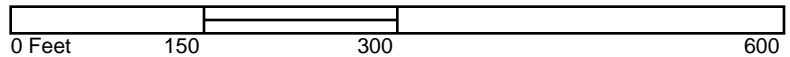


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Site Name: Multiple Vacant Properties
 Address: 2501 Center Street
 City, ST, ZIP: Omaha, NE 68105
 Client: B2 Environmental
 EDR Inquiry: 6623280.3
 Order Date: 08/19/2021
 Certification #: 601B-47CO-8846
 Copyright: 1969



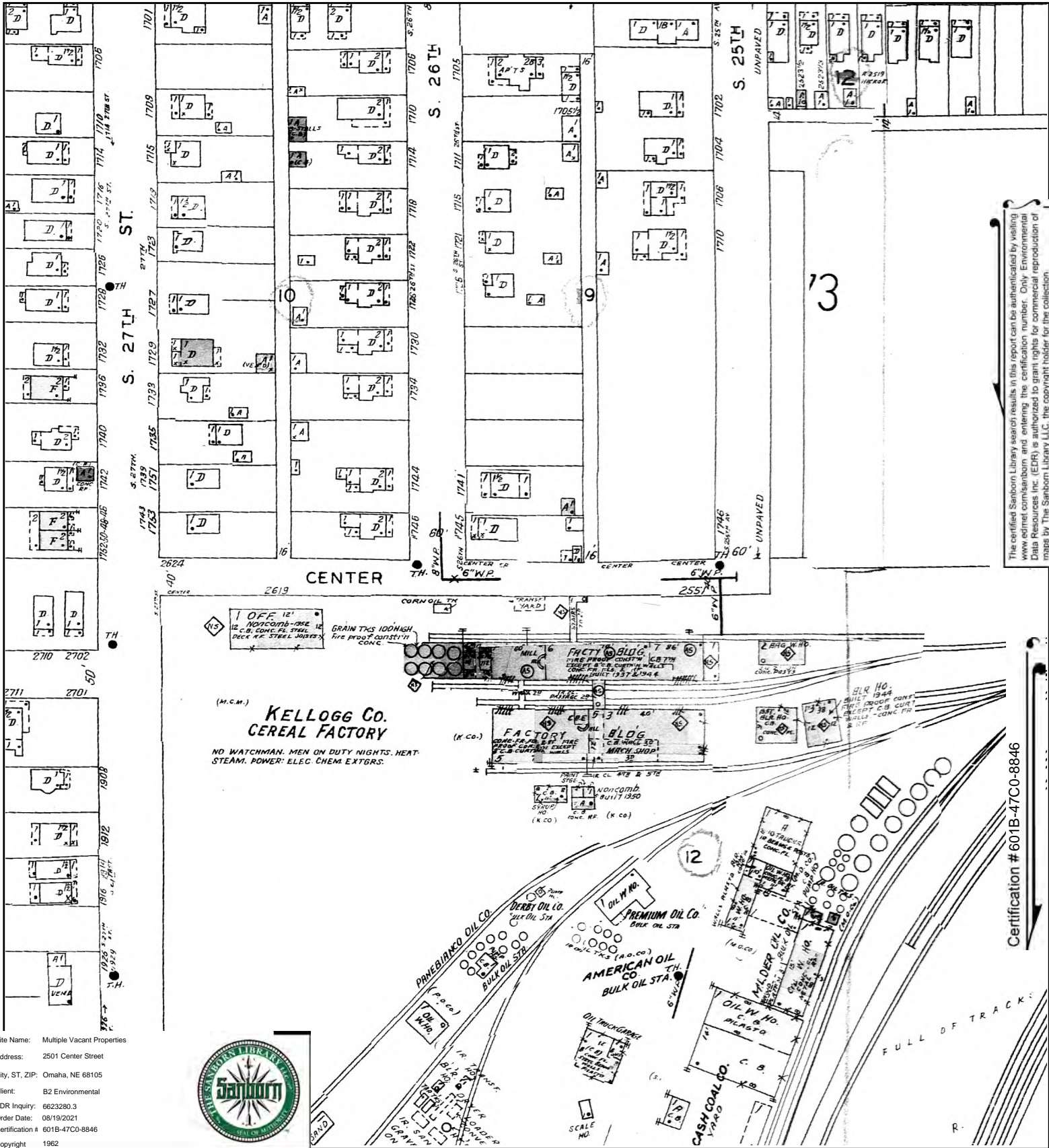
This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 73

Certification #601B-47CO-8846





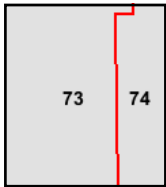
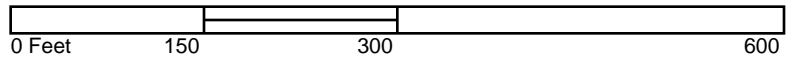
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Certification # 601B-47CO-8846

Site Name: Multiple Vacant Properties
 Address: 2501 Center Street
 City, ST, ZIP: Omaha, NE 68105
 Client: B2 Environmental
 EDR Inquiry: 6623280.3
 Order Date: 08/19/2021
 Certification # 601B-47CO-8846
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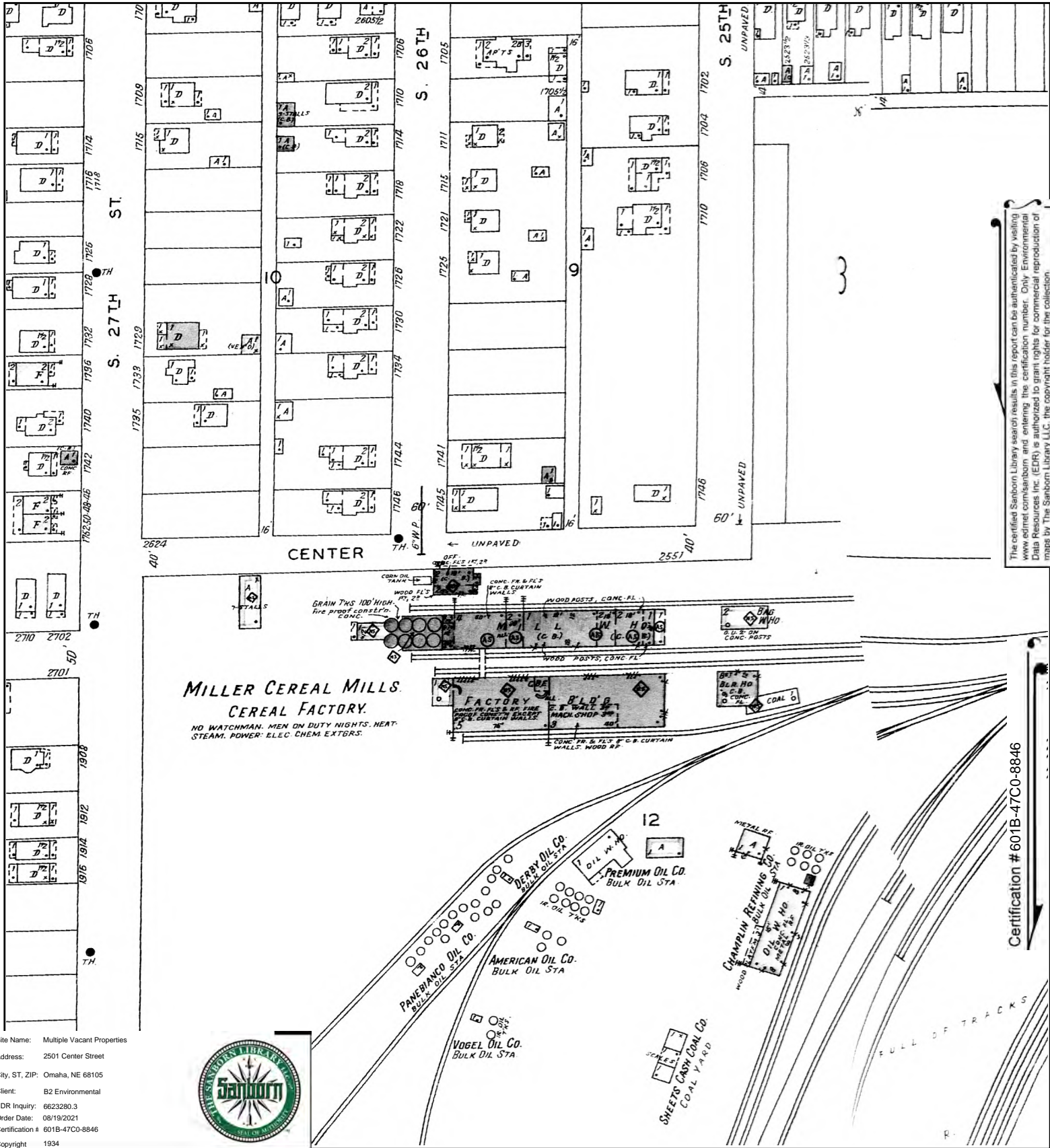


This Certified Sanborn Map combines the following sheets.
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 74
 Volume 1, Sheet 73





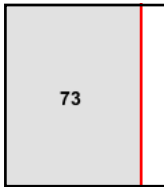
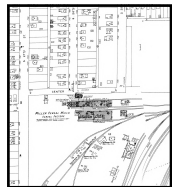
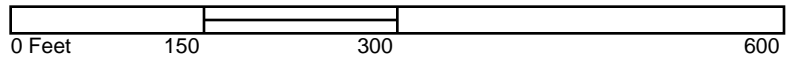
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 City, ST, ZIP: Omaha, NE 68105
 Client: B2 Environmental
 EDR Inquiry: 6623280.3
 Order Date: 08/19/2021
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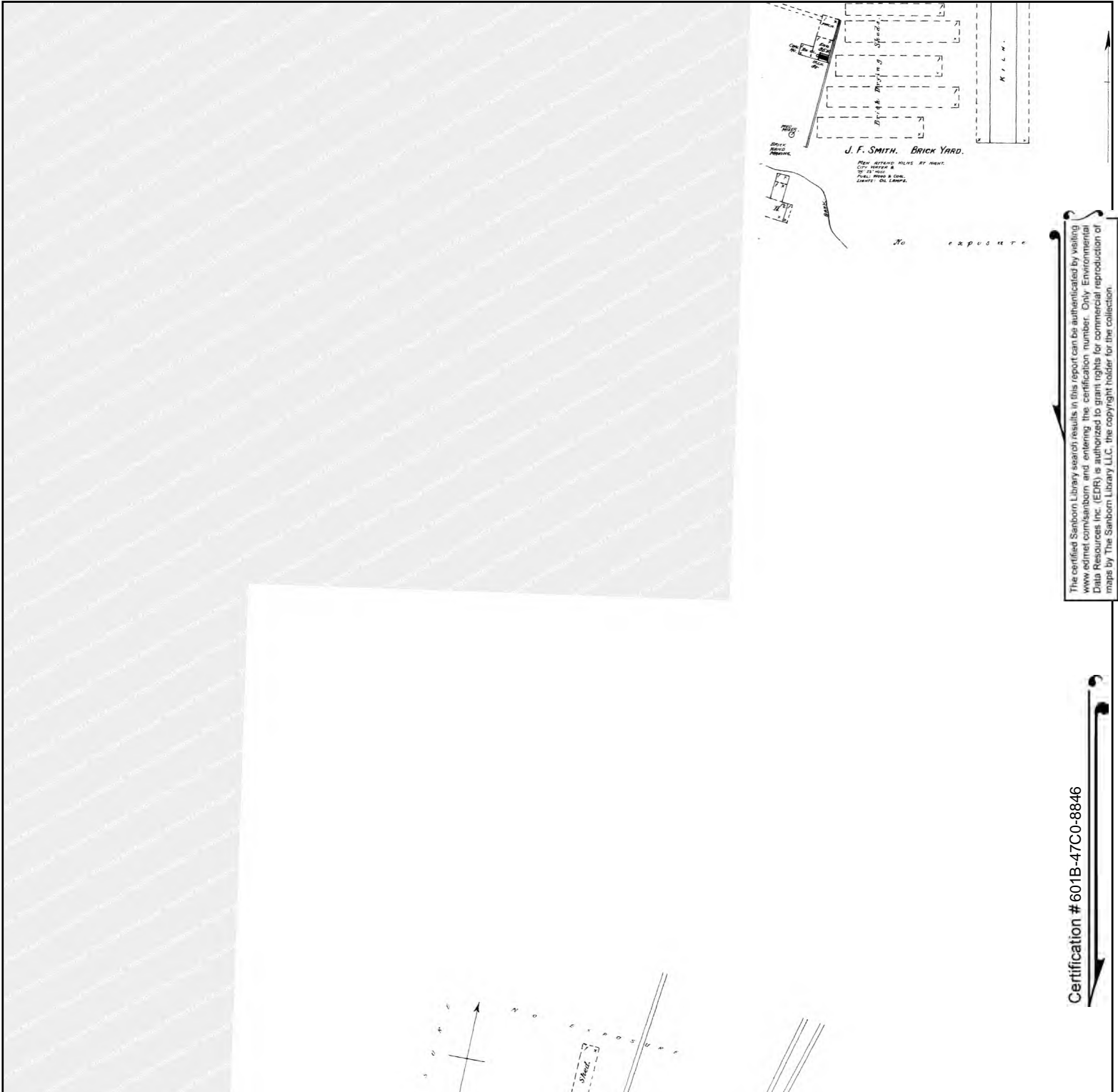


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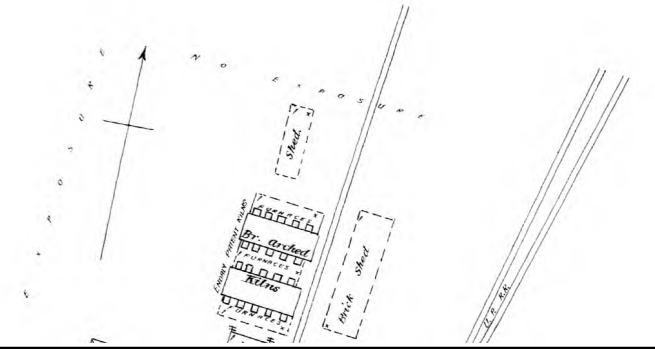




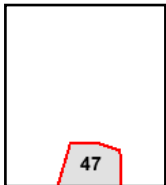
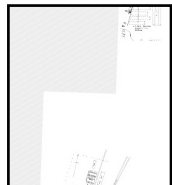
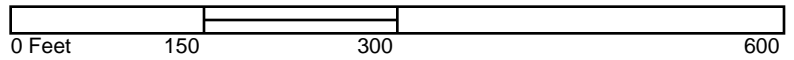
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Volume 1, Sheet 47



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DEPARTMENT OF
ENVIRONMENTAL QUALITY



INITIAL SITE
ASSESSMENT

MILDER OIL
COMPANY
OMAHA, NEBRASKA

SP NO. 013092-ML-1625

Prepared for

Milder Oil Company
Omaha, Nebraska
May 1994

Woodward-Clyde 

101 South 108th Avenue
Omaha, Nebraska 68154

W-C Project No. 93M557



2002037092

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APPENDIX E	LABORATORY ANALYTICAL REPORTS

1.1 PURPOSE OF INVESTIGATION

This report presents the results of a Step 6 Initial Site Assessment (ISA) completed at Milder Oil Company's facility at 1920 South 26th Street, Omaha, Nebraska. The investigation was completed to comply with the requirements for Step 6 Initial Site Assessments (ISA), in accordance with Nebraska Department of Environmental Quality (NDEQ) Title 118 - "Groundwater Quality Standards and Use Classification for the State of Nebraska" (NDEQ 1991). The purpose of this investigation was to determine if soil and groundwater had been impacted in the vicinity of two petroleum surface spills. The Work Plan for this investigation (W-C 1993) was conditionally approved by the NDEQ on February 22, 1994. The fieldwork was completed between March and April 1994.

1.2 SITE LOCATION

The site is located at 1920 South 26th Street, Omaha, Nebraska (Figure 1). The legal description is the SE 1/4 of the NE 1/4 of Section 28, Township 15 North, Range 13 East, Douglas County, Nebraska. The topography of the site slopes downward to the northeast. The facility includes a main office building, gasoline and diesel fuel loading docks, and three aboveground storage tank farms. These features are shown on Figure 2.

1.3 SITE HISTORY

Milder Oil Company's facility has been used for bulk storage, sales, and distribution of gasoline and diesel fuel. The facility has been in operation since 1943.

Two oil spills have been reported at the Milder Oil Company facility. On January 30, 1992, 70 to 80 gallons of waste water containing oil was spilled on the surface when a holding tank in Tank Farm No. 3 (see Figure 2) was accidentally overfilled by a Milder Oil Company truck driver. The spill was cleaned up by excavating the contaminated surface soils and disposing of them at the Douglas County Landfill. On February 27, 1992, 10 to 15 gallons of residual

fuel was spilled on the surface in Tank Farm No. 1 (see Figure 2) by a Searle Petroleum truck driver. No clean up activities were completed.

On December 1, 1993, the NDEQ transmitted a letter to Milder Oil Company requiring that a Step 6 ISA be completed for the reported petroleum releases at Milder Oil Company. The reported spills were assigned Spill Number 013092-ML-1625. The NDEQ requested the Step 6 ISA be performed in accordance with NDEQ Title 118 "Groundwater Quality Standards and Use Classification."

FIELD ACTIVITIES

A Work Plan for the Step 6 ISA at Milder Oil Company was submitted to the NDEQ for review in December 1993 (W-C 1993). This plan outlined the planned scope of work and procedures to be used during the fieldwork. The Work Plan was conditionally approved by the NDEQ on February 22, 1994. The fieldwork was completed between March and April 1994. Appendix A presents a detailed discussion of the field procedures and activities completed.

Field activities for this investigation included:

- Drilling and sampling two soil borings (MW-1 and MW-2), one near each identified spill area, (see Figure 2). Field screening recovered soil samples with an HNu photoionization detector. Collecting one soil sample in each boring at the point of highest apparent contamination (identified by field screening) and another soil sample from the interval immediately above the water table. Submitting the soil samples for laboratory analysis of total recoverable petroleum hydrocarbons (TRPH) analysis by EPA Method 418.1/9071. Completing geologic logs of the borings using the Unified Soil Classification System (USCS) for descriptions.
- Advancing the soil borings about 7 to 8 feet below the water table surface and collecting a temporary well sample for field screening. Installing a 2-inch PVC permanent monitoring well in each boring. Developing the monitoring wells.
- Collecting four groundwater samples (two original samples and two duplicates) from the newly installed monitoring wells. Submitting the samples to Midwest Laboratories for total recoverable petroleum hydrocarbons (TRPH) analysis by EPA Method 418.1/9071.

- Surveying the well casings and measuring water levels.
- Locating utilities prior to drilling.

RESULTS OF INVESTIGATION

3.1 GEOLOGY

The shallow subsurface conditions, as determined from the two soil borings completed during the investigation (maximum depth of 31 feet below ground surface), generally consisted of silty clay fill material overlying silty clay alluvium. Silty clay glacial till was encountered under the silty clay alluvium at MW-1. Geologic boring logs are provided in Appendix B.

The typical subsurface materials that were encountered included:

- Fill material, consisting of a firm to stiff, dark gray to black, low plastic, silty clay, with some fine-grained sand, was encountered at MW-2 from the surface to about 2 feet below ground surface (bgs).
- Silty clay alluvium, consisting of a stiff to very stiff, dark gray to black, low to highly plastic, silty clay with some organics, was encountered in both borings from the near surface to about 13 feet bgs at MW-2 and to the bottom of the boring (e.g., 31 feet) at MW-1.
- Glacial till, consisting of a very stiff, dark gray mottled with brown, highly plastic, silty clay, moist, with some gravel, was encountered at 13 feet bgs at MW-2. Glacial till was not encountered at MW-1, even though the boring was drilled to 31 feet bgs.

3.2 HYDROGEOLOGY

Monitoring well construction details are summarized in Table 1, and monitoring well construction logs are provided in Appendix C. Water level measurements and elevations of the wells are listed in Table 2.

Shallow groundwater was encountered within the silty clay alluvium underlying the site. The shallow groundwater was perched on top of a glacial till aquitard. Depth to water in the monitoring wells ranged from about 9.8 feet bgs to 10.1 feet bgs at MW-2 and MW-1, respectively, on March 11, 1994.

Based on a 7-foot drop in water level elevation between MW-2 and MW-1 (see Table 2), the local horizontal hydraulic gradient underlying the site is estimated to have a high easterly component. Surface topography slopes to the east and northeast in the area which may result in groundwater flow to the east and northeast across the site.

3.3 FIELD WATER QUALITY PARAMETERS

The conductivity, temperature, and pH of groundwater samples were measured during initial sampling and resampling (see Table 3). Results of the field water quality measurements indicate a range of conductivities from 600 micromhos per centimeter ($\mu\text{mhos/cm}$) to 720 $\mu\text{mhos/cm}$. The temperature of the groundwater ranged from 8.9 to 10.6 degrees Celsius ($^{\circ}\text{C}$), and the pH measurements ranged from 6.53 to 6.88. These results are within the normal range for fresh groundwater in this region.

3.4 ANALYTICAL RESULTS

Field screening and laboratory analytical results are discussed in this section. Soil and groundwater laboratory analysis results are provided in Tables 4 and 5, respectively. Sample collection field sheets and chain-of-custody forms are provided in Appendix D. Laboratory analytical data reports are provided in Appendix E.

3.4.1 Soil

A total of 10 soil samples were collected from the two monitoring well borings using a split-barrel sampler. Each sample was field screened with an HNu photoionization detector (PID) as described in Appendix A. The field screening results are shown on the geologic boring logs in Appendix B. Soil field screening results indicated organic vapor concentrations above background (280 to 400 ppm) in both borings from the surface to the water table at

a depth of about 10 feet bgs. At boring MW-1, field surveying measurements decreased to "nondetect" at about 10 feet below the water table.

Five soil samples (including one blind duplicate) were submitted to Midwest Laboratories for TRPH analysis (EPA Method 418.1/9071). Soil laboratory analysis results are presented in Table 4. The soil samples submitted for TRPH analysis were collected from the depth with the highest headspace reading and from just above the water table in each boring. The blind duplicate sample (identified as MILD-011-SB-002) was collected from boring MW-2 from a depth of 2.0 feet bgs. The duplicate sample was collected to check the reliability and validity of the laboratory analysis. The relative percent difference (RPD) between the original and duplicate samples (about 9 percent) was within laboratory-established criteria for this project.

Soil laboratory analysis results indicated TRPH concentrations of 716 to 1,010 milligrams per kilogram (mg/kg) in samples from boring MW-1 and 3115 to 4065 mg/kg in samples from boring MW-2. These soil TRPH concentrations are above recommended cleanup levels (less than 500 mg/kg) listed in the "Petroleum Contaminated Soils Protocol for the LUST Program" (NDEQ 1993).

3.4.2 Groundwater

Four groundwater samples (including two duplicates) were collected from the two monitoring wells and submitted to Midwest Laboratories for TRPH analysis (EPA Method 418.1/9071). Three of the groundwater samples, one from each well and a duplicate from well MW-2, were collected on March 11, 1994. Well MW-1 was resampled on April 15, 1994. Groundwater laboratory analysis results are presented in Table 5.

A duplicate sample was collected from monitoring well MW02 to check the reliability and validity of the laboratory analyses. The RPD between the original and duplicate sample collected was 80 percent. This value may indicate a low reproducibility in the data.

Groundwater laboratory results indicated TRPH concentrations of 12.4 and 25.5 milligrams per liter (mg/L) in monitoring well MW-2, and "nondetect" (less than 0.4 mg/L) and 2.7 mg/L in monitoring well MW-1. A recommended guidance level of 2 mg/L has been

established by the NDEQ for TRPH in groundwater (NDEQ 1993). Both samples from MW-2 exceeded this level. Groundwater from MW-1 is not considered to exceed the guidance level because the average concentration of the two samples collected is below 2.0 mg/L. Additionally, the MW-1 resampling result exceeded the guidance level by only 0.7 mg/L, which is within the standard variance of the precision of the lab data.

No free product was encountered at any time during the investigation.

CONCLUSIONS

Results of the Step 6 ISA field investigation indicated that vadose zone soils and shallow groundwater have been impacted in the vicinity of two surface spills reported at the site. Soil laboratory analysis results indicated the presence of TRPH at concentrations of 716 to 1,010 mg/kg in soil samples from boring MW-1 and 3,115 to 4,065 mg/kg in soil samples from boring MW-2. HNu field screening and analytical laboratory results indicated soil contamination from the surface to the water table in both borings.

Ground water levels ranged from about 9 to 10 feet bgs in the two monitoring wells installed at the site.

Groundwater laboratory analysis results indicated TRPH concentrations of 12.4 and 25.5 mg/L in two samples collected from monitoring well MW-2, and "nondetect" and 2.7 mg/L from two samples collected from monitoring well MW-1.

5.0
LIMITATIONS

The field investigation procedures used during this investigation were completed in an environmentally acceptable manner conforming to existing federal, state, and local regulations. The field investigative procedures and quality assurance/quality control (QA/QC) procedures have produced data which are scientifically defensible within the required levels of precision and accuracy. The analytical data generated for the assessment are believed to be an accurate description of the chemical contamination present and/or absent within the limits of current technologies and the sampling plan.

No assurances are made for conditions for which information was not made available or which were not recognized as being environmentally unacceptable at the time this report was prepared. Environmental and geologic conditions will often vary from those encountered at the times and locations where data were obtained, and the limited data results in uncertainty with respect to the interpretation of these conditions.

REFERENCES

Nebraska Department of Environmental Control. 1991. Title 118-Groundwater Quality Standards and Use Classification. Lincoln, Nebraska, effective date, September 3, 1991.

Nebraska Department of Environmental Quality. 1993. Petroleum Contaminated Soils Protocol for the Leaking Underground Storage Tank Program. October 4, 1993.

Woodward-Clyde (W-C). 1993. Work Plan for Step 6 Initial Site Assessment. Milder Oil Company, 1920 South 26th Street, Omaha, Nebraska. Project No. 93M557. December.

TABLES

TABLE 1

SUMMARY OF WELL CONSTRUCTION DETAILS

Well Number	Completion Date	TOC Elevation(1) (ft)	Ground Elevation(1) (ft)	Riser Height (ft)	Well Depth (2) (ft)	Screen Interval (2) (ft)	Screen Elevation (ft)
MW-1	1-Mar-94	95.80	96.4	-0.6	17.9	7.4-17.4	89.0-79.0
MW-2	1-Mar-94	102.55	102.7	-0.2	18.9	8.4-18.4	94.3-84.3

NOTE: All wells were constructed of 2-inch ID PVC and installed by Woodward-Clyde.

(1) TOC = Top of casing, elevation referenced to benchmark assigned elevation 100.00 feet.

(2) Below ground surface

TABLE 2

WATER LEVEL DATA MEASURED ON MARCH 11, 1994

Well Number	Completion Date	TOC	Ground	Depth to water (2) (ft)	Elevation (ft)
		Elevation(1) (ft)	Elevation(1) (ft)		
MW-1	1-Mar-94	95.80	96.4	10.11	85.69
MW-2	1-Mar-94	102.55	102.7	9.77	92.78

(1) TOC = Top of casing, elevation referenced to benchmark assigned elevation is 100.0 feet.

(2) Below ground surface

TABLE 3

SUMMARY OF FIELD WATER QUALITY PARAMETERS

Well Number	Date	pH	Conductivity $\mu\text{mhos/cm}$	Temperature $^{\circ}\text{C}$
MW-1	3/11/94	6.76-6.82	690-720	10.2-10.6
MW-1	4/15/94	6.72-6.88	600-660	8.9-9.6
MW-2	3/11/94	6.53-6.70	600-640	10.3-10.5

TABLE 4

LABORATORY RESULTS OF SOIL SAMPLES

Well/Boring Number	Sample Depth (ft)	Field Screening Concentration (ppm)	WC Sample Number	TRPH by 418.1/9071	
				Value (mg/kg)	RL
MW-1	6.0	360	MILD-001-SB-006	716	20
MW-1	11.0	280	MILD-001-SB-011	1010	200
MW-2	2.0	400	MILD-002-SB-002	4065	1000
MW-2	2.0 (Dup)	400	MILD-011-SB-002	4444	1000
MW-2	11.0	360	MILD-002-SB-011	3115	1000

Note: In each boring, soil samples from the interval with the highest HNu field screening concentration and the water table were submitted for laboratory analysis. Soil sample MILD-011-SB-002 was a blind duplicate analysis of MILD-002-SB-002.

TRPH = Total Recoverable Petroleum Hydrocarbons

RL = Reporting Limit

TABLE 5

LABORATORY RESULTS OF MONITORING WELL SAMPLES

Well Number	W-C Sample Number	TRPH (418.1/9071)	
		Value (mg/L)	RL
MW-1	MILD-001-MW-001	ND	0.4
MW-1	MILD-001-MW-002	2.7	0.4
MW-2	MILD-002-MW-001	25.5	0.8
MW-2	MILD-011-MW-001	12.4	0.4

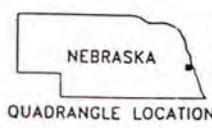
Note: Groundwater sample MILD-011-MW-001 was a blind duplicate analysis of MILD-002-MW-001. MILD-001-MW-002 was a resampling event for MW-1.

TRPH = Total Recoverable Petroleum Hydrocarbons

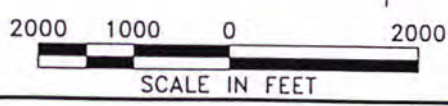
RL = Reporting Limit

FIGURES

R 13 E



BASE MAP SOURCE: USGS 7.5 MINUTE QUADRANGLE MAP, OMAHA SOUTH, NE.-IA. 1956, PHOTOREVISED 1984



SCALE IN FEET

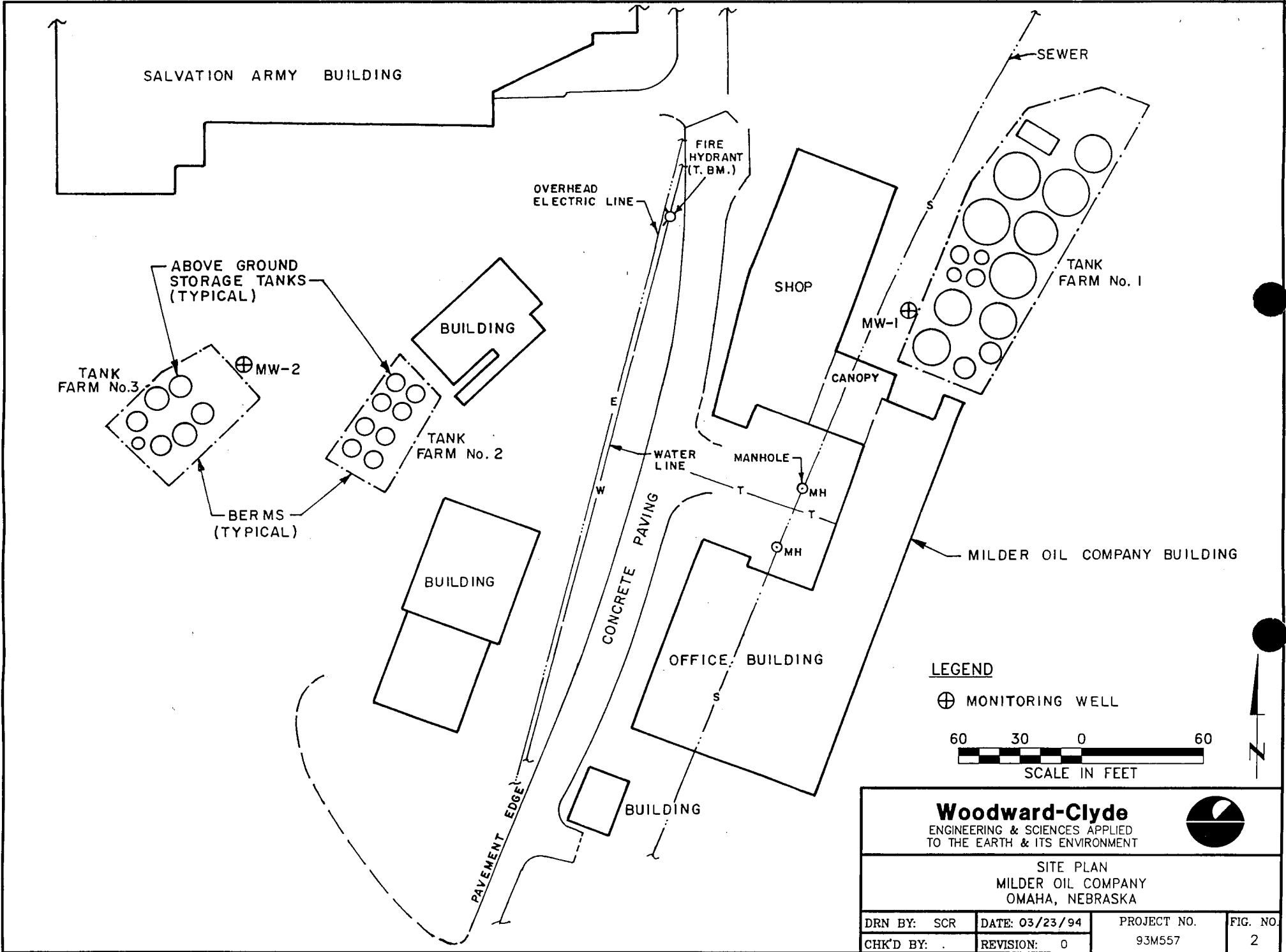
Woodward-Clyde
ENGINEERING & SCIENCES APPLIED TO THE EARTH & ITS ENVIRONMENT



SITE LOCATION
MILDER OIL COMPANY
OMAHA, NEBRASKA

DRN BY: SCR	DATE: 12/22/93	PROJECT NO. 93M557	FIG. NO. 1
CHK'D BY:	DATE:		

CAD FILE: WC8X11.DWG 12/22/1993 14:42



LEGEND

⊕ MONITORING WELL



Woodward-Clyde
 ENGINEERING & SCIENCES APPLIED
 TO THE EARTH & ITS ENVIRONMENT



SITE PLAN
 MILDER OIL COMPANY
 OMAHA, NEBRASKA

DRN BY: SCR	DATE: 03/23/94	PROJECT NO.	FIG. NO.
CHK'D BY:	REVISION: 0	93M557	2

APPENDIX A
FIELD ACTIVITIES

APPENDIX A FIELD ACTIVITIES

A Work Plan, including a site Health and Safety Plan, for the ISA (Step 6) was completed by W-C and submitted to the NDEQ and Milder Oil Company for approval (W-C, December 1993). These plans outlined detailed procedures to be used during the ISA field investigation to provide quality control and safe working conditions. These plans were conditionally approved by verbal response by the NDEQ on February 22, 1994. The fieldwork for the Step 6 was completed between March 1, 1994 and April 15, 1994.

The field activities for the Step 6 ISA investigation included:

- Conducting utility surveys (on site and off site)
- Drilling and sampling of 2 soil borings
- Field screening of soil and water samples for volatiles, using an Hnu photoionization detector (PID)
- Installing monitoring wells in the 2 borings (MW-1 and MW-2)
- Developing the newly installed wells and collecting groundwater samples from the wells (MW-1 and MW-2) for laboratory analysis of TRPH (EPA Method 418.1/9071)
- Surveying the relative elevations of both monitoring wells and collecting water levels

A.1 BORINGS, SOIL SAMPLING, AND FIELD SCREENING

Two borings were drilled at the site to obtain soil and groundwater samples for analysis. The borings were converted to monitoring wells MW-1 and MW-2. Geologic logs of the borings are provided in Appendix B.

During the drilling operations, soil samples from each boring were collected at 2.5-foot intervals. Boring depths ranged from 19 feet to 31 feet below ground surface (bgs). Soil samples were obtained by driving or pushing a 2-foot-long by 3-inch-outside diameter (OD) split-barrel sampler into undisturbed soil. Samples were retained for visual observation and on-site field screening. Lithologic descriptions of the soil were made in the field according to the Unified Soil Classification System (USCS) by a W-C geologist.

Field screening was completed on soil and groundwater by placing each sample in a clean glass jar and filling the jar about ½ full. The mouth of the jar was covered with aluminum foil, tightly capped, and placed in a warm environment (65° Fahrenheit or greater) for at least 30 minutes. The sample headspace was then measured using a Hnu PID with a 10.2 eV lamp. Headspace readings were recorded in the field book and the boring logs at the time of measurement.

Samples selected for laboratory analysis were placed in the appropriate containers, labeled, and placed in a chilled ice cooler. Sample collection field sheets were filled out at the time of sampling. Chain-of-custody forms were maintained between W-C and Midwest Laboratory to document the custody and delivery of the samples. The sample collection field sheets, chain-of-custody, and laboratory analytical reports are provided in Appendixes D and E. Soil Sample laboratory analysis results are presented on Table 4.

A.2 MONITORING WELL INSTALLATION

Two monitoring wells were installed during the Step 6 investigation to determine if groundwater had been impacted by activities at the site. One well (MW-1) was installed west of Tank Farm No. 1 to monitor the spill that occurred on February 27, 1992. The other monitoring well (MW-2) was installed northeast of Tank Farm No.3 to monitor the spill that occurred on January 30, 1992. The locations of both wells are shown on Figure 2,

monitoring well construction logs are provided in Appendix C, and summaries of the well construction details and water levels are given in Tables 1 and 2. Specific details of the monitoring well installation procedures are subsequently presented.

The well borings were drilled using 4.25-inch-inside-diameter (ID) hollow-stem augers (HSAs) to about 8 feet below the water table, and the monitoring well was then installed within the HSAs. Each well was constructed with threaded, flush-joint, 2-inch ID, schedule 40 PVC well casing with a 10-foot, 0.010-inch, machine-slotted PVC well screen. The screen was placed so that it would intercept the water table. After installation of the well casing. The HSAs were pulled incrementally and a silica sand filter pack was placed around the well screen to 2-feet above the top of the well screen. A 3-foot bentonite seal was placed at the top of the filter pack. Bentonite was used as backfill from the top of the seal to three feet below ground surface. A 3.0-foot concrete surface seal was placed with an 8-inch round flush-mount protective casing embedded in the concrete over the PVC riser. The concrete surface seal was formed and slightly mounded to direct surface water away from the wellhead.

A.3 MONITORING WELL DEVELOPMENT

The monitoring wells were developed to improve the hydraulic connection between the wells and the surrounding formation and to remove excess fines and turbid water from the wells. Well development was completed by bailing over five well casing volumes from each well with a 2-inch OD PVC bailer. Water quality parameters (e.g., pH, conductivity, and turbidity) were recorded on well development logs (included in Appendix C) during development.

A.4 MONITORING WELL SAMPLING

Initial monitoring well groundwater sampling was completed on March 11, 1994. Groundwater samples from the two monitoring wells (and a blind duplicate from MW-2) were collected and submitted to Midwest Laboratory for TRPH analysis (EPA Method 418.1/9071). Well purging and sampling were not started until a minimum of 24 hours after development to allow the wells to recover.

Monitoring well MW-1 was resampled on April 15, 1994 to verify the original laboratory result. The sample was submitted to Midwest Laboratory for TRPH analysis.

Static water levels and well depths were measured with an electronic water level indicator. The volume of water in each well was calculated. Three well casing volumes were purged from each well using a PVC bailer. Field water quality parameters (pH, conductivity, temperature, color, odor, and turbidity) were monitored during purging. Purging continued beyond three well volumes only when the water quality parameters between consecutive samples were not within 10 percent of each other. Purging continued until two consecutive sets of water quality parameters were within this limit. The field measurements were recorded in the field book and on sample collection field sheets. Samples of the purged water were field screened using the procedures in Section A.1. Groundwater samples were collected with a 2-inch OD PVC bailer and placed in the appropriate containers, labeled, and placed in a chilled ice cooler. Samples were delivered to Midwest Laboratories for TRPH analysis. Chain-of-custodies were maintained between W-C and the laboratory. Sample collection field sheets and chain-of-custody forms are provided in Appendix D. Laboratory analytical reports are provided in Appendix E, and the groundwater results are summarized in Table 5.

A.5 DECONTAMINATION

An equipment and personnel decontamination station was set up on site. The drill rig, augers, sampling equipment, and well casing were decontaminated on site using a hot-water, high-pressure cleaner. All sampling equipment was decontaminated between sampling efforts using an Alconox potable water wash, a potable water rinse, followed by a distilled water rinse. Polyethylene sheeting or aluminum foil was used to protect decontaminated equipment from external contamination.

A.6 DISPOSAL OF DRILL CUTTINGS

Excess drill cuttings at each boring were field screened as described in Section A.1. Field screening results indicated less than 5 ppm, and the cuttings were then spread thinly around each boring. If field screening results had indicated contamination greater than 5 ppm, the cuttings would have been placed in 55-gallon drums, sealed, and stored on site to wait for proper disposal.

A.7 ELEVATION SURVEY

The top-of-casing elevation (TOC) of each well, as well as ground level, was surveyed to the nearest 0.01 feet. The north bolt on top of the fire hydrant west of the shop building (Figure 2), was selected as a temporary benchmark (TBM) and assigned an elevation of 100.0 feet. Ground surface and TOC elevations are included in Table 1.

A.8 HEALTH AND SAFETY

A Health and Safety Plan was prepared as part of the Initial Site Assessment Work Plan (W-C 1993). All personnel were required to read and sign an agreement indicating compliance with the Health and Safety Plan before commencing fieldwork. The field activities were completed in Level D protection. This included hard hat, neoprene steel-toed safety boots, safety glasses, surgical and neoprene gloves. Air was monitored frequently during the intrusive operations using a Hnu Model PI 101 photoionization detector (PID) with an 10.2 eV lamp. A breathing zone action level of 2 ppm was required by the Site Safety Plan. No PID values exceeded action levels during any phase of the investigation.

APPENDIX B
BORING LOGS

BORING LOG

BORING MILD-001

PROJECT NAME MILDER OIL CO.
 PROJECT LOCATION Omaha
 LOGGED BY Robert Mallisee DRILLED BY Rick George
 SURFACE ELEVATION 96.43 ELEVATION DATUM Assumed
 WATER ENTRY DEPTH 24 FEET ATD
 WATER SURFACE DEPTH 130' FEET 30 min AD
 COMMENTS _____

SHEET 1 of 2
 PROJECT NO. 93M557
 TASK NO. 2
 DATE 3-1-94
 RIG CME 75
 METHOD 4 1/4" ID HSA

DEPTH (ft)	TYPE	SAMPLE			DESCRIPTION and (USC)	SYMBOL	FIELD NOTES
		REC	RES	PP(HS)			
0					<u>Asphalt</u>		<u>pavement</u>
5-3	S ₃	<u>24</u> <u>1/24"</u>	<u>87</u>	<u>320</u> <small>ppm</small> <u>1403</u>	<u>SILTY CLAY (CL) very stiff, greenish black, moist, high plastic</u> <u>becomes dark greenish gray</u> <u>becomes firm, moist to wet, low plastic.</u>	<u>ck</u>	<u>Alluvium</u>
5-	S ₃	<u>24</u> <u>1/24"</u>	<u>P</u>	<u>360</u> <small>ppm</small> <u>1415</u>			<u>- Collected Soil Sample @ 6' for 418.1 TRPH Labeled: MILD-001-SB-006</u>
10-	S ₃	<u>24</u> <u>1/24"</u>	<u>P</u>	<u>280</u> <small>ppm</small> <u>1427</u>			<u>- Collected Soil Samples @ 11' for 418.1 TRPH Labeled: MILD-001-SB-011</u> <u>← water level after 30 min ATD</u>
15-	S ₃	<u>24</u> <u>1/24"</u>	<u>P</u>	<u>30</u> <small>ppm</small> <u>1435</u>	<u>1" layer of wood fiber</u>		
20-	S ₃	<u>24</u> <u>1/24"</u>	<u>P</u>	<u>0-5</u> <small>ppm</small> <u>1445</u>			
25-	S ₃	<u>24</u> <u>1/24"</u>	<u>P</u>	<u>ND</u>			

BORING LOG

BORING MILD-001

PROJECT NAME SAME AS ABOVE
 PROJECT LOCATION _____
 LOGGED BY _____ DRILLED BY _____
 SURFACE ELEVATION _____ ELEVATION DATUM _____
 WATER ENTRY DEPTH _____ FEET ATD _____
 WATER SURFACE DEPTH _____ FEET _____ AD _____
 COMMENTS _____

SHEET 2 of 2
 PROJECT NO. 93M557
 TASK NO. 2
 DATE 3-1-94
 RIG CME 75
 METHOD 4 1/4" ID HSA

DEPTH (ft)	TYPE	SAMPLE			DESCRIPTION and (USC)	SYMBOL	FIELD NOTES
		REC	RES	PP/HS			
25					(Same as Above) SILT CLAY (LL) firm, dark gray, moist to wet, low plastic with trace very fine grained sand.	CL	Alluvium
30	S3	24 24"	P	NO 1517			← water enters ATD
35							B.O.B. @ 31.0' 3-1-94/1517 HRS The boring was completed as a monitoring well screened from 8.0 to 18.0' bys. 3-1-94
40							
45							
50							

BORING LOG

BORING MILD-002

PROJECT NAME Milder Oil Co.
 PROJECT LOCATION Omaha, NE
 LOGGED BY Robert Mallisee DRILLED BY Rick George
 SURFACE ELEVATION 102.65 ELEVATION DATUM Assumed
 WATER ENTRY DEPTH 15.0 FEET ATD
 WATER SURFACE DEPTH 11.6 FEET 3 OMMAD
 COMMENTS _____

SHEET 1 of 1
 PROJECT NO. 93M557
 TASK NO. 2
 DATE 3-1-94
 RIG CME 75
 METHOD 4 1/2" ID HSA's

DEPTH (ft)	TYPE	SAMPLE			DESCRIPTION and (USC)	SYMBOL	FIELD NOTES
		REC	RES	PPM (HS)			
0							
	S ₃	24 24"	P	1000 7ppm	Sandy CLAY: Firm to stiff, Dark gray to Black, moist, low plastic, fine grained sand	CL	FILL
				400 1005	SILTY CLAY: Stiff to very stiff, Dark gray to Black, moist, high plastic Becomes greenish brown	CH	Alluvium - Collected soil sample @ 2' for 418.1 TRPH Labeled: MILD-002-SB-002
5	S ₃	24 24"	P	360 ppm			
				1017			
10	S ₃	16 24"	P	360 ppm			
				1030			- collected soil sample @ 11' for 418.1 TRPH Labeled: MILD-002-SB-011
					SILTY CLAY: Very stiff, Dark gray, mottled, with Brown, moist, high plastic, with some gravel.	CH	Glacial Till
15	S ₃	24 24"	P	280 ppm			
				1041			Water Encountered ATD @ 15.0'
20							
							B.O.B. @ 19.0' 3-1-94/1049 The boring was completed as a monitoring well screened from 8.0 to 18.0' bgs. 3-1-94
25							

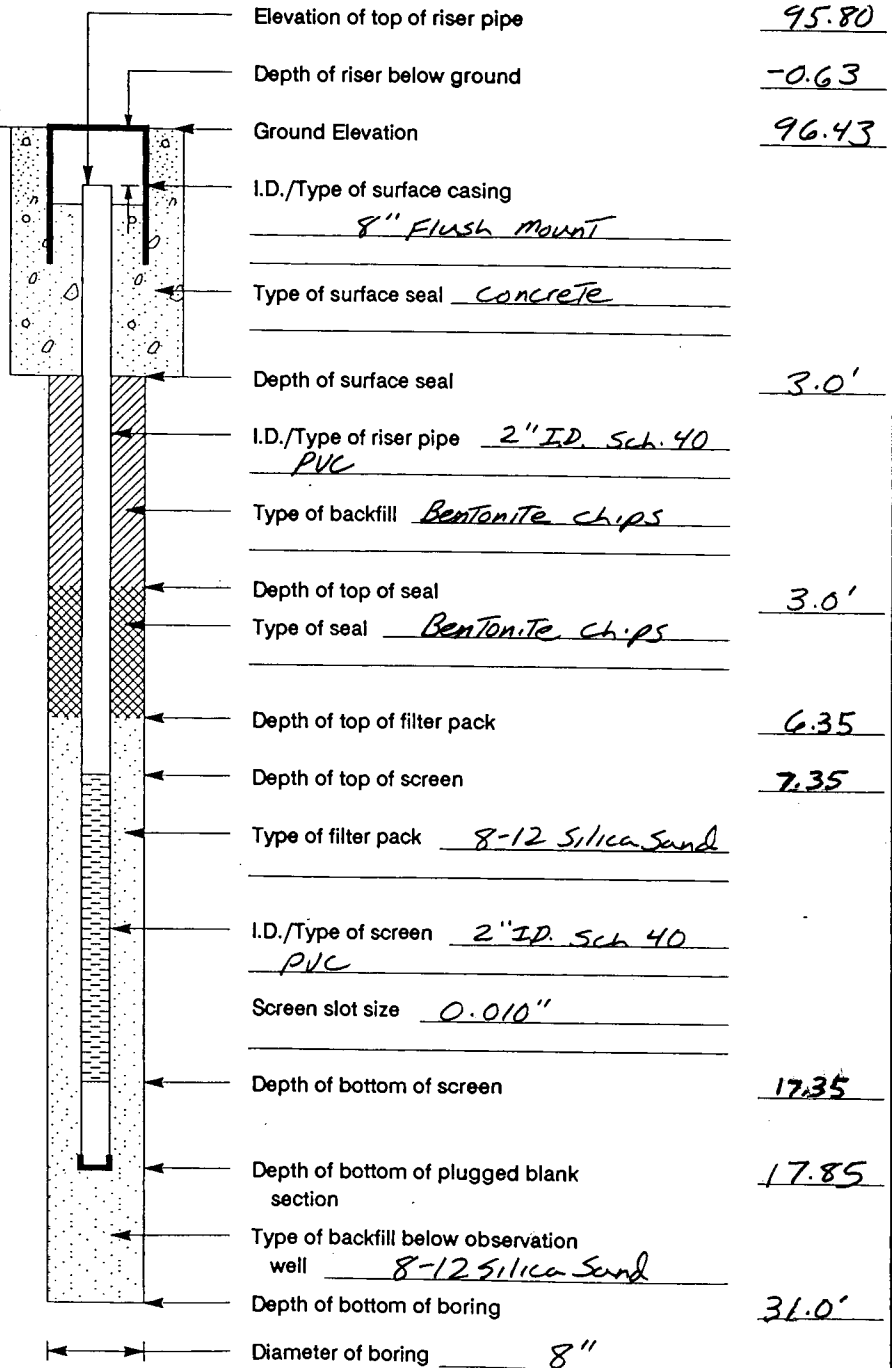
APPENDIX C
MONITORING WELL CONSTRUCTION LOGS
AND WELL DEVELOPMENT LOGS

MONITORING WELL CONSTRUCTION LOG

Project Name Milder Oil Co. Piez./Well No. MILD-001-MW
 Location Omaha, NE Project No. 93M557
 Installed By Rick George Date 3-1-94 Time _____
 Inspected By Robert Mallisee
 Method of Installation 4 1/4" ID HSAs
 Remarks _____

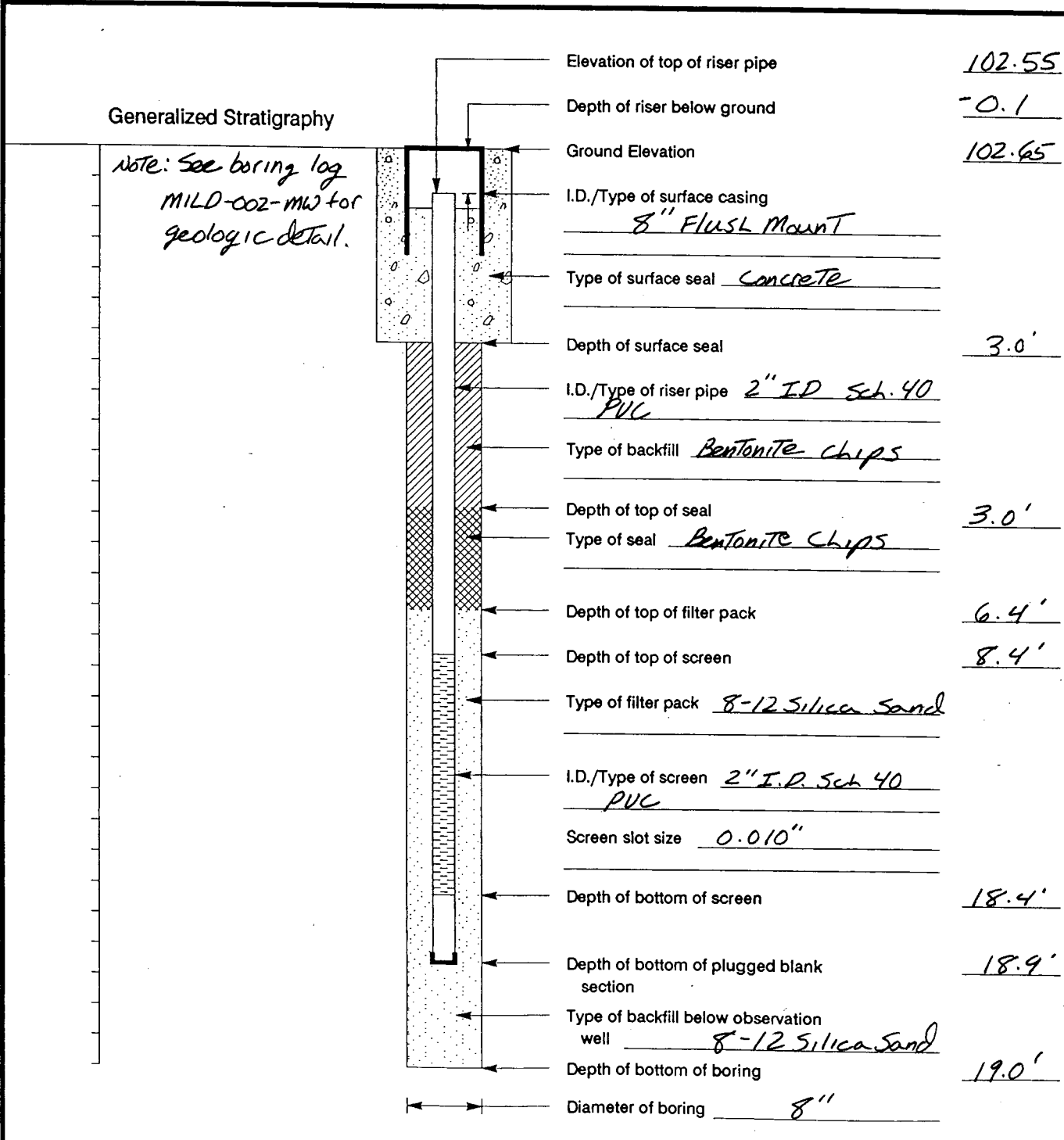
Generalized Stratigraphy

NOTE: See boring log MILD-001-MW for geologic detail.



MONITORING WELL CONSTRUCTION LOG

Project Name Milder Oil Co. Piez./Well No. MILD-002-MW
 Location Omaha, NE Project No. 93M557
 Installed By Rick Gedge Date 3-1-94 Time _____
 Inspected By Robert Mallisoe
 Method of Installation 4 1/4" I.D. HSAs
 Remarks _____



WELL DEVELOPMENT LOG

PROJECT: M.lder Oil Co. WELL #: MW-1
 PROJECT #: 93M557 DATE: 3-10-94

WELL MEASUREMENTS

Well Inside Diameter: 0.16 ft.
 Depth of Well Casing: 17.22 ft.
 Initial Water Level: 10.17 ft. Below Mesuring Point (BMP)
 Measuring Point: TOC
 Fluid Volume of Well Casing: 1.128 gallons

SAMPLING MEASUREMENTS

DISCHARGE

Water Level (ft BMP)	10.17	-	-	-	-	-		
Time	1401	1409	1420	1432	1443	1458		
Discharge (gallons)	0	5	10	15	18	21		

WATER QUALITY

pH	7.00	6.95	6.84	6.81	6.82	6.81		
Conductivity (uMHOS)	750	690	750	780	780	780		
Temperature (°C)	11.4	10.5	11.5	11.6	11.9	11.6		
Turbidity (NTU's)	very high	very high	high	high	med	med.		
Color	dk.	dk.	dk.	lt.	lt.	lt.		
Odors	gray	gray	gray	gray	gray	gray		

Total Discharge: 21gal
 Well Casing Volumes Removed: 18.6.
 Method of Water Disposal: Sanitary Sewer

QUALITY CONTROL

Purging Method: PVC Bailer
 Water Level Meter: Slope Indicator Co.
 pH Meter: Orion 230A Calibrated: 4.01 + 7.00
 Conductivity Meter: YSI Model 33A Calibrated: Redline
 Turbidity Meter: _____ Calibrated: _____
 Comments: _____

WELL DEVELOPMENT LOG

PROJECT: Midler Oil Co. WELL #: MW-2
 PROJECT #: 93M557 DATE: 3-10-94

WELL MEASUREMENTS

Well Inside Diameter: 0.16 ft.
 Depth of Well Casing: 19.00 ft.
 Initial Water Level: 9.56 ft. Below Measuring Point (BMP)
 Measuring Point: TOL
 Fluid Volume of Well Casing: 1.49 gallons

SAMPLING MEASUREMENTS

DISCHARGE

Water Level (ft BMP)

Time

Discharge (gallons)

9.56	—	—	—	—	—	—		
1250	1304	1310	1315	1322	1330	1341		
0	6	12	16	20	24	28		

WATER QUALITY

pH

Conductivity (uMHOS)

Temperature (°C)

Turbidity (NTU's)

Color

Odors

6.61	6.63	6.66	6.65	6.66	6.66	6.72		
660	700	690	690	690	690	690		
10.1	10.5	10.6	11.1	10.8	10.7	10.4		
high	high	high	med.	med.	low	low		
IT.	IT.	IT.	IT.	IT.	cloudy	cloudy		
gray	gray	gray	gray	gray	cloudy	cloudy		
slight	slight	slight	slight	slight	slight	slight		

Total Discharge: 28 galWell Casing Volumes Removed: 18.8Method of Water Disposal: Sanitary Sewer

QUALITY CONTROL

Purging Method: PVC BailerWater Level Meter: Slope Indicator Co.pH Meter: Orion 230ACalibrated: 4.01 & 7.00Conductivity Meter: YSI 33ACalibrated: Redline

Turbidity Meter: _____

Calibrated: _____

Comments: _____

APPENDIX D

**SAMPLE COLLECTION FIELD SHEETS
AND CHAIN-OF-CUSTODY FORMS**

101 South 108 Avenue, Omaha, NE 68154 (402) 334-8181 Fax (402) 334-1984

Project Name <i>MILDEE OIL CO</i>				Project No. <i>93MS57</i>				Analytical Parameters <i>TAPM-481</i>											
Project Location <i>26th & MARCHA</i>				Project Manager <i>TERRY THOMAS</i>															
Sampler(s) <i>BRIAN WIGHT LYNN MOHL</i>																			
Sample		Type		Sample Identification	Matrix	Containers		Remarks											
Date	Time	Comp.	Grab			No.	Type												
<i>4-15</i>	<i>1120</i>		<i>X</i>	<i>MILD-001-MW-002</i>	<i>GW</i>	<i>1</i>	<i>500ml Amber</i>	<i>4°C; HCL preservative</i>											
				<i>0207127</i>															
<i>but K. Wight</i>																			

Signatures		Date	Time	Shipping Details	Special Instructions
Relinquished by: <i>Brian K. Wight</i>		<i>4-15</i>	<i>1215</i>	Method of Shipment <i>HAND Delivered</i>	[REDACTED]
Received by: <i>Marlon Muhlbauer</i>		<i>4-15</i>	<i>1:00</i>	Airbill No.	
Relinquished by: <i>Marlon Muhlbauer</i>		<i>4-15</i>	<i>1:29</i>	Lab Address <i>ATL Midwest Labs 13611 15th St, Omaha, NE 68144</i>	
Received for Laboratory by: <i>M. J. Hawk</i>		<i>4-15</i>	<i>1:29</i>		

SOIL SEDIMENT SAMPLE COLLECTION FIELD SHEET

SITE NAME Milder Oil Co.

PROJECT NO. 93MC557

SAMPLE NO. MILD-001-SB-006

WELL NO. MILD-001

DATE/TIME COLLECTED 3-1-94/1415

PERSONNEL R. McAllister

SAMPLE METHOD AND DEPTH Stainless Steel Split Spoon @ 6'

SAMPLE MEDIA (Circle 1): Soil Sludge Sediment

SAMPLE SPLIT (Circle 1): Yes No SPLIT SAMPLE NUMBER _____

FIELD DUPLICATE (Circle 1): Yes No DUPLICATE SAMPLE NUMBER _____

Sample Container	Preservative	Analysis Requested
<u>1-8oz.</u>	<u>4°C</u>	<u>418.1 TRPH</u>

DESCRIPTION:

DEPTH: _____ **DESCRIPTION:** _____

Comments _____

SOIL SEDIMENT SAMPLE COLLECTION FIELD SHEET

SITE NAME Milder Oil Co.

PROJECT NO. 93M557

SAMPLE NO. MILD-001-SB-011

WELL NO. MILD-001

DATE/TIME COLLECTED 3-1-94/1427

PERSONNEL R. Mallisoe

SAMPLE METHOD AND DEPTH Stainless Steel Split Spoon @ 11'

SAMPLE MEDIA (Circle 1): Soil Sludge Sediment

SAMPLE SPLIT (Circle 1): Yes No SPLIT SAMPLE NUMBER _____

FIELD DUPLICATE (Circle 1): Yes No DUPLICATE SAMPLE NUMBER _____

<u>Sample Container</u>	<u>Preservative</u>	<u>Analysis Requested</u>
<u>1-8oz</u>	<u>40C</u>	<u>418.1 TRPH</u>

DESCRIPTION:

DEPTH:

DESCRIPTION:

Comments _____

SOIL SEDIMENT SAMPLE COLLECTION FIELD SHEET

SITE NAME M. Ider Oil Co.

PROJECT NO. 93M557

SAMPLE NO. MILD-002-SB-002

WELL NO. MILD-002

DATE/TIME COLLECTED 3-1-93/1005

PERSONNEL R. Mallison

SAMPLE METHOD AND DEPTH Stainless Steel Split Spoon @ 2'

SAMPLE MEDIA (Circle 1): Soil Sludge

Sediment

SAMPLE SPLIT (Circle 1): Yes No

SPLIT SAMPLE NUMBER _____

FIELD DUPLICATE (Circle 1): Yes No

DUPLICATE SAMPLE NUMBER MILD-0115B-002

Sample Container	Preservative	Analysis Requested
<u>2-802.</u>	<u>4°C</u>	<u>418.1 TRPH</u>

DESCRIPTION:

DEPTH:

DESCRIPTION:

Comments _____

SOIL SEDIMENT SAMPLE COLLECTION FIELD SHEET

SITE NAME Milder Oil Co.

PROJECT NO. 93M557

SAMPLE NO. MILD-002-SB-011

WELL NO. MILD-002

DATE/TIME COLLECTED 3-1-94/1030

PERSONNEL R. Mollisee

SAMPLE METHOD AND DEPTH Stainless Steel Split Spoon

SAMPLE MEDIA (Circle 1): Soil Sludge Sediment

SAMPLE SPLIT (Circle 1): Yes No SPLIT SAMPLE NUMBER _____

FIELD DUPLICATE (Circle 1): Yes No DUPLICATE SAMPLE NUMBER _____

<u>Sample Container</u>	<u>Preservative</u>	<u>Analysis Requested</u>
<u>1-8oz.</u>	<u>40C</u>	<u>418.1 TRPH</u>

DESCRIPTION:

DEPTH: _____ **DESCRIPTION:** _____

Comments _____

SAMPLE COLLECTION FIELD SHEET

SITE NAME Milder Oil Co.

PROJECT NO. 93M557

SAMPLE NO. MILD-001-MW-001

WELL NO. MW-1

DATE/TIME COLLECTED 3-11-94 / 0920

PERSONNEL R. Mallis, D. Galde

SAMPLE METHOD AND DEPTH PVC Bailer

SAMPLE MEDIA (Circle 1): Soil Sludge Groundwater Surface Water

SAMPLE SPLIT (Circle 1): Yes No SPLIT SAMPLE NUMBER _____

FIELD DUPLICATE (Circle 1): Yes No DUPLICATE SAMPLE NUMBER _____

Sample Container	Preservative	Analysis Requested
<u>1-500 ml Amber</u>	<u>4°C + HCl</u>	<u>418.1/9071 TRPH</u>

WELL PURGING

Date 3-11-94 Well Depth (TOC) 17.22'
 HNu/OVA Measurements _____ Depth to Water (TOC) 10.11'
 Background ND Water Column Length 7.11'
 Well Head 120ppm 2" Casing (X0.16)
 Breathing Zone ND Volume of Water in Well 1.14gal
 Time Started 0907 Casing Volumes to Purge 3x
 Time Completed 0914 Minimum Water to Purge 3.42gal

Comments _____

FIELD MEASUREMENTS

Time	Amount Purged (gal)	pH	Temp. (°C)	Conductivity (µMHOS/cm)	Color	Odor	Turbidity
<u>0907</u>	<u>0</u>	<u>6.82</u>	<u>10.5</u>	<u>720</u>	<u>clear</u>	<u>NONE</u>	<u>low</u>
<u>0910</u>	<u>1 1/2</u>	<u>6.76</u>	<u>10.6</u>	<u>690</u>	<u>brown d.k.</u>	<u>NONE</u>	<u>high</u>
<u>0912</u>	<u>3</u>	<u>6.79</u>	<u>10.6</u>	<u>690</u>	<u>brown d.k.</u>	<u>NONE</u>	<u>high</u>
<u>0914</u>	<u>4</u>	<u>6.80</u>	<u>10.2</u>	<u>700</u>	<u>brown d.k.</u>	<u>NONE</u>	<u>high</u>

FIELD EQUIPMENT AND CALIBRATION

Instrument Model	Calibration
Water Level Indicator <u>Slope Indicator Co.</u>	_____
Conductivity Meter <u>YSI Model 33</u>	<u>Redline</u>
pH Meter <u>ORION 230A</u>	Before <u>4.01 & 7.00</u> After <u>4.01 & 7.00</u>

Comments _____

SAMPLE COLLECTION FIELD SHEET

SITE NAME Milder Oil Co. PROJECT NO. 93M557
 SAMPLE NO. MILD-002-MW-001 WELL NO. MW-2
 DATE/TIME COLLECTED 3-11-94 / 0955 PERSONNEL R. Mallisee, D. Galde
 SAMPLE METHOD AND DEPTH PVC Bailer
 SAMPLE MEDIA (Circle 1): Soil Sludge Groundwater Surface Water
 SAMPLE SPLIT (Circle 1): Yes No SPLIT SAMPLE NUMBER _____
 FIELD DUPLICATE (Circle 1): Yes ~~No~~ DUPLICATE SAMPLE NUMBER MILD-001-MW-00
Sample Container Preservative Analysis Requested
1-500 ml Amber 4°C + HCL 418.1/9071 TRPH

WELL PURGING

Date 3-11-94 Well Depth (TOC) 19.00
 HNu/OVA Measurements _____ Depth to Water (TOC) 9.77
 Background ND Water Column Length 9.23
 Well Head 140 ppm 2" Casing (XO.16)
 Breathing Zone ND Volume of Water in Well 14.8 gal
 Time Started 0936 Casing Volumes to Purge 3X
 Time Completed 0950 Minimum Water to Purge 4.44 gal

Comments _____

FIELD MEASUREMENTS

Time	Amount Purged (gal)	pH	Temp. (°C)	Conductivity (µMHOS/cm)	Color	Odor	Turbidity
<u>0936</u>	<u>0</u>	<u>6.70</u>	<u>10.5</u>	<u>600</u>	<u>clear</u>	<u>slight</u>	<u>low</u>
<u>0946</u>	<u>1 1/2</u>	<u>6.53</u>	<u>10.4</u>	<u>610</u>	<u>cloudy</u>	<u>slight</u>	<u>med.</u>
<u>0948</u>	<u>3</u>	<u>6.63</u>	<u>10.5</u>	<u>640</u>	<u>cloudy</u>	<u>slight</u>	<u>med.</u>
<u>0950</u>	<u>4 1/2</u>	<u>6.65</u>	<u>10.3</u>	<u>640</u>	<u>cloudy</u>	<u>slight</u>	<u>med</u>

FIELD EQUIPMENT AND CALIBRATION

<u>Instrument Model</u>	<u>Calibration</u>
Water Level Indicator <u>Slope Indicator Co.</u>	
Conductivity Meter <u>YSI Model 33B</u>	<u>Redline</u>
pH Meter <u>ORION 230A</u>	Before <u>4.01 + 7.00</u> After <u>4.01 + 7.00</u>

Comments _____

GROUNDEWATER SAMPLE COLLECTION FIELD SHEET

SITE NAME MILDBER
 SAMPLE NO. MILD-001-MW-002
 DATE/TIME COLLECTED 4-15-94 / 1120 HRS
 SAMPLE METHOD AND DEPTH RC Bayloc @ 10' BDC

PROJECT NO. 93M557
 WELL NO. MW-1
 PERSONNEL B.K WIGHT
LYNNE MORRIS

SAMPLE MEDIA (Circle 1): Groundwater Surface Water

SAMPLE SPLIT (Circle 1): Yes No

SPLIT SAMPLE NUMBER _____

FIELD DUPLICATE (Circle 1): Yes No

DUPLICATE SAMPLE NUMBER _____

Sample Container	Preservative	Analysis Requested
<u>1-500ml Amber</u>		<u>418.1 TRPH</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

WELL PURGING

Date 4-15-94
 HNu/OVA Measurements NA
 Background _____
 Well Head _____
 Breathing Zone _____
 Time Started 10:00
 Time Completed 11:30

Well Depth (TOC) 17.22
 Depth to Water (TOC) 10.21
 Water Column Length 7.01
 2" Casing 7.01 x 0.17 gal/ft = 1
 Volume of Water in Well 1.122 gal
 Casing Volumes to Purge 3
 Minimum Water to Purge 3.36 gal.

Comments Sample

FIELD MEASUREMENTS

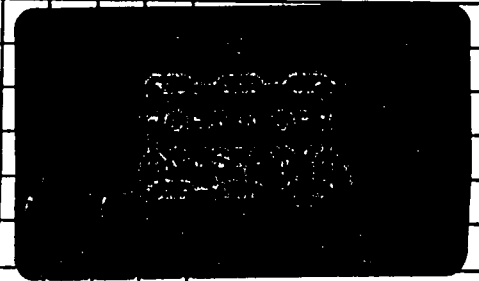
Time	Amount Purged (gal)	pH	Temp. (°C)	Conductivity (µMHOS/cm)	Color	Odor	Turbidity
<u>11:08</u>	<u>0</u>	<u>6.72</u>	<u>9.6</u>	<u>660</u>	<u>DK GRAY</u>	<u>none</u>	<u>11.611</u>
<u>11:11</u>	<u>1.5</u>	<u>6.75</u>	<u>8.9</u>	<u>600</u>	<u>DK GRAY</u>	<u>none</u>	<u>11.614</u>
<u>11:13</u>	<u>3.0</u>	<u>6.80</u>	<u>9.5</u>	<u>600</u>	<u>DK GRAY</u>	<u>none</u>	<u>11.611</u>
<u>11:15</u>	<u>4.5</u>	<u>6.89</u>	<u>9.1</u>	<u>600</u>	<u>DK GRAY</u>	<u>none</u>	<u>11.611</u>

FIELD EQUIPMENT AND CALIBRATION

Instrument Model	Calibration
Water Level Indicator <u>SOLINST</u>	_____
Conductivity Meter _____	_____
pH Meter <u>ORION</u>	Before _____ After _____

Comments SAMPLE TAKEN @ 11:20

Project Name <i>Milder Oil Co</i>				Project No. <i>93M557</i>				Analytical Parameters <i>418.17PPH</i>			
Project Location <i>Omaha, NE</i>				Project Manager <i>T. Thonen</i>							
Sampler(s) <i>R. Malliseo, D. Galde</i>											
Sample		Type		Sample Identification	Matrix	Containers		No.	Type	Remarks	
Date	Time	Comp.	Grab			No.	Type				
<i>3-11-94</i>	<i>0920</i>		<i>X</i>	<i>MILD-001-MW-001</i>	<i>Water</i>	<i>1</i>	<i>500ml Amber</i>	<i>X</i>	<i>0204586</i>	<i>4% + HCL</i>	
<i>3-11-94</i>	<i>0955</i>		<i>X</i>	<i>MILD-002-MW-001</i>	<i>Water</i>	<i>1</i>	<i>"</i>	<i>X</i>	<i>0204587</i>	<i>4% + HCL</i>	
<i>3-11-94</i>	<i>1031</i>		<i>X</i>	<i>MILD-011-MW-001</i>	<i>Water</i>	<i>1</i>	<i>"</i>	<i>X</i>	<i>0204588</i>	<i>4% + HCL</i>	



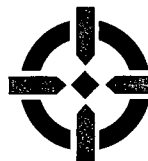
Signatures		Date	Time	Shipping Details	Special Instructions
Relinquished by: <i>Robert R. Malliseo</i>		<i>3-11-94</i>	<i>1115</i>	Method of Shipment <i>Hand Delivered</i>	
Received by: <i>Nan Klunkobly</i>		<i>3-11-94</i>	<i>1115</i>	Airbill No.	
Relinquished by:				Lab Address <i>Midwest/HA+L</i>	
Received for Laboratory by:					

Project Name <i>HILDE OIL Co</i>				Project No. <i>93M557</i>				Analytical Parameters <i>TAPM-4811</i>							
Project Location <i>26th & MARINA</i>				Project Manager <i>TERRY THOMAS</i>											
Sampler(s) <i>BRIAN WIGHT LYNNK MOHL</i>															
Sample		Type		Sample Identification	Matrix	Containers		Remarks							
Date	Time	Comp.	Grab			No.	Type								

Date	Time	Comp.	Grab	Sample Identification	Matrix	No.	Type	Remarks							
<i>4-15</i>	<i>1120</i>		<i>X</i>	<i>MILD-001-MW-002</i>	<i>GW</i>	<i>1</i>	<i>500ml Amber</i>	<i>4°C; HCL preservation</i>							
				<i>0207127</i>											
<i>See K. Wight</i>															

Signatures			Date	Time	Shipping Details	Special Instructions
Relinquished by: <i>Brian K. Wight</i>			<i>4-15</i>	<i>1215</i>	Method of Shipment <i>HAND Delivered</i>	
Received by: <i>Marlon Muhlbauer</i>			<i>4-15</i>	<i>1:00</i>	Airbill No.	
Relinquished by: <i>Marlon Muhlbauer</i>			<i>4-15</i>	<i>1:29</i>	Lab Address <i>A+L Midwest Labs 13611 15th St. Omaha, NE 68144</i>	
Received for Laboratory by: <i>W. J. Hank</i>			<i>4-15</i>	<i>1:29</i>		

APPENDIX E
LABORATORY ANALYTICAL REPORTS



Midwest

Laboratories, Inc.

APR

1994

Report Number
94-082-2025

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 04/07/94

Date Received: 03/11/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557
WATER SAMPLE
T. THONEN

Lab number: 204587 Sample ID: MILD-002-MW-001 3-11-94 9:55

Analysis	Level Found	Units	Detection Limit	Method	Analyst-Date
Total recoverable petroleum hydrocarbons	25.5	mg/L	0.8	EPA 418.1	jwb-03/23

Respectfully Submitted

Heather Ramig/Lisa Dworak
Client Services

The above analytical results apply only to the sample(s) submitted.

Our reports and letters are for the exclusive and confidential use of our clients and may not be reproduced in whole or in part, nor may any reference be made to the work, the results, or the company in any advertising, news release, or other public announcements without obtaining our prior written authorization.



Midwest Laboratories, Inc.

Report Number
94-082-2026

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 03/23/94
Date Received: 03/11/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557
WATER SAMPLE
T. THONEN

Lab number: 204588 Sample ID: MILD-011-MW-001 3-11-94 10:31

Analysis	Level Found	Units	Detection Limit	Method	Analyst-Date
Total recoverable petroleum hydrocarbons	12.4	mg/L	0.4	EPA 418.1	jwb-03/23

Respectfully Submitted

Heather Ramig
Heather Ramig/Nan Kleinholz
Client Services

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Midwest Laboratories, Inc.

Report Number
94-067-2020

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 03/08/94

Date Received: 03/02/94

Date Sampled: 03/01/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557 TASK 2
MILDER OIL CO

Lab number: 204107

Analysis	Level Found	Units	Detection Limit	Method	Analyst-Date
<u>Sample ID: MILD-002-SB-002</u> Total recoverable petroleum hydrocarbons	4,065	mg/kg	1,000	EPA 418.1/9071	cmw-03/08
<u>Sample ID: MILD-002-SB-011</u> Total recoverable petroleum hydrocarbons	3,115	mg/kg	1,000	EPA 418.1/9071	cmw-03/08
<u>Sample ID: MILD-001-SB-006</u> Total recoverable petroleum hydrocarbons	716	mg/kg	20	EPA 418.1/9071	cmw-03/08
<u>Sample ID: MILD-011-SB-002</u> Total recoverable petroleum hydrocarbons	4,444	mg/kg	1,000	EPA 418.1/9071	cmw-03/08
<u>Sample ID: MILD-001-SB-011</u> Total recoverable petroleum hydrocarbons	1,010	mg/kg	200	EPA 418.1/9071	cmw-03/08

Respectfully Submitted



Heather Ramig/Nan Kleinholz
Client Services

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Midwest Laboratories, Inc.

MAR 23 1994

Report Number
94-082-2024

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 03/23/94
Date Received: 03/11/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557
WATER SAMPLE
T. THONEN

Lab number: 204586 Sample ID: MILD-001-MW-001 3-11-94 9:20

Analysis	Level Found	Units	Detection Limit	Method	Analyst-Date
Total recoverable petroleum hydrocarbons	N.D.	mg/L	0.4	EPA 418.1	jwb-03/23

Notes:

N.D. - Not Detected.

Respectfully Submitted

Heather Ramig/Nan Kleinhofz
Client Services

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Midwest

APR 20 1994

Laboratories, Inc.

Report Number
94-108-2066

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 04/18/94
Date Received: 04/15/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557
MILDER OIL CO.
26TH AND MARTHA

Lab number: 207127 Sample ID: MILD-001-MW-002 4-15 11:20

Analysis	Level Found Units	Detection Limit	Method	Analyst-Date
Total recoverable petroleum hydrocarbons	2.7 mg/L	0.4	EPA 418.1	lch-04/18

Respectfully Submitted

Heather Ramig/Lisa Dworak
Client Services

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Midwest Laboratories, Inc.

Report Number
94-082-2025

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 04/07/94
Date Received: 03/11/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557
WATER SAMPLE
T. THONEN

Lab number: 204587 Sample ID: MILD-002-MW-001 3-11-94 9:55

Analysis	Level Found	Units	Detection Limit	Method
Total recoverable petroleum hydrocarbons	25.5	mg/L	0.8	EPA 418.1

Analyst-
Date
jwb-03/23

Respectfully Submitted

Heather Ramig/Lisa Dworak
Client Services

The above analytical results apply only to the sample(s) submitted.

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Midwest Laboratories, Inc.

Report Number
94-082-2026

13611 "B" Street • Omaha, Nebraska 68144-3693 • (402) 334-7770 • FAX (402) 334-9121

REPORT OF ANALYSIS

For: (2513) WOODWARD-CLYDE CONSULTANTS
(402)334-8181

Date Reported: 03/23/94

Date Received: 03/11/94

Mail to:

WOODWARD-CLYDE CONSULTANTS
101 SOUTH 108TH AVENUE
OMAHA, NE 68154-2654

PO/Proj. #: 93M557
WATER SAMPLE
T. THONEN

Lab number: 204588 Sample ID: MILD-011-MW-001 3-11-94 10:31

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Respectfully Submitted

Heather Ramig/Nan Kleinholz
Client Services

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rdg

7415

Release Detection and Geology, Inc.

Specializing in Underground Storage Tank Site Assessments and Release Detection

SITE ASSESSMENT
Underground Storage Tank Removal

CLOSED
w/CONTAM

RECEIVED

JUN 08 1990

DEPT. OF ENVIRONMENTAL CONTROL

SALVATION ARMY (ARC)
2501 Center Street
Omaha, Nebraska 68105

NE SEC. 28 T15N R13E

Date of Report: June 5, 1990

OWNER:

The Salvation Army Arc Corp
860 N. Dearborn St.
Chicago, IL 60610
(312) 440-4763



SITE ASSESSMENT FOR UST REMOVAL
SALVATION ARMY (ARC)
Omaha, NE

INTRODUCTION

This report summarizes the site assessment conducted by Release Detection and Geology, Inc. (R.D.G.) on May 29, 1990 at the Salvation Army (ARC) located at 2501 Center Street., Omaha, NE. The owner's on-site representative was Charles F. Lieurance, Administrator. The Facility ID. number for this location is #7415. The site assessment consisted of the analysis of one diesel tank and associated product line (Fig. 1) which were removed by Anderson Excavating of Omaha. The tank and line were not replaced and the excavation was filled with clean sand. Covering for this tank consisted of backfill sand and with an asphalt surface.

SAMPLING METHODS

Field samples at this location were obtained following NDEC sampling standards. Grab samples were collected and placed in clean glass jars (half filled), covered and sealed by aluminum foil and metal lids. Maturation time of the samples was at least 30 minutes at a temperature exceeding 65 F. Head-space samples were analyzed by a PHOTOVAC Micro-tip photoionization detector. Field sample numbers, locations, depths and results are listed in figure 2 and will be referred to throughout this report.

TANK HISTORY AND CONDITION

The tank was a 2100 gallon steel tank that contained diesel. Estimated age of the tank from the Notification for Underground Storage Tanks form is 23 years. Field examination indicated the tank possessed a thick asphaltic surface coating. The west end of tank had very little coating left due to past overfills of petroleum dissolving the asphalt (Photo #1). Interior surface coating is unknown. Upon removal, the tank was scraped with shovels and hand scrapers to remove the mud and was visually examined for holes. Following examination, the tank was removed from the site by Anderson Excavating. Backfill consisted of medium grained sand with a small percentage of clay, and possessed a petroleum odor. There was no evidence of free-floating product in the excavation, nor was ground water encountered.

Following removal of the tank, it was found that the tank contained several pits on the west end. No pits appeared to penetrate the tank (Photo #2). Sample A (Fig. 1) from the east end of the tank (Photo #3) exhibited moderate contamination levels (109ppm) at 10 feet. On the west side, however, soils beneath the tank were extensively contaminated (Sample B, 2222ppm) at 11 feet. Over-excavation was performed on both ends of excavation (Photo #4) to a depth of approximately 17 feet. At this depth samples showed virtually no signs of contamination (West end(D) 1.8ppm, East end(E) .2ppm).

PRODUCT LINE HISTORY AND CONDITION

The dispenser (suction pump) was located about 3 feet south east of the tank. The product line was constructed of steel and appeared to be wrapped with tape at the time it was installed. The line showed no signs of corrosion or leakage.

Soils under the dispenser showed readings of 57ppm (Sample C) at a depth of six feet. Over-excavation at the east end of the tank excavation included the area under the dispenser. Therefore any contamination caused by the dispenser or the product line was limited to the soils above 17 feet.

CONCLUSION

The tank and product line were in good condition upon excavation. The east end of the tank had a thick asphaltic coating on it while the west end had no coating. Soil contamination was high on the west end immediately below the tank, but was not present at a depth of 17 feet. Based on the condition of the tank, extent of contaminated soil, and location of the fill pipe it appeared that all contamination was caused by overfill. Based on soil samples from 17 feet, it appears that the contamination did not extend to that depth.

If any questions pertaining to this report arise, please call Jon Gross at Release Detection and Geology, Inc. (402) 339-7198.

SITE ASSESSMENT CHECKLIST

UST owner Salvation Army (ARC) Facility ID# 7415
Address 2501 Center Street Date Removed 5/29/90
City/State Omaha, Nebraska Phone (402) 342-4135
Location Same
Address City

Type of Site Assessment Conducted

In-Place Tank System Removal

Sampling Method

Boring Sample - Soil to 50' or groundwater
 Excavation Sample
 Vapor Monitoring Well (constructed according to Title 159,
Chapter 7, 004.05)
 Ground Water Monitoring Well (constructed according to Title 159,
Chapter 7, 004.06)

Analysis Method

Operator

<input checked="" type="checkbox"/>	Photoionization Detector	<u>Jon Gross</u>
<input type="checkbox"/>	Organic Vapor Analyses	_____
<input type="checkbox"/>	Gas Chromatograph	_____
<input type="checkbox"/>	Lab Analysis	Lab Name _____
<input type="checkbox"/>	Other	Explain _____

Inspector Signature Jon Gross

License # _____

The following is an outline of the information which is required to be submitted in the site assessment report for permanent closure and change in-service of underground storage tanks. The use of this format or a similar format will aid in standardizing reports and thus expedite the closure process. Inadequate descriptions or omission of required information may cause the rejection of the site assessment.

1. A narrative including:

- . Periods of tank usage
- . Condition of the excavation, e.g., soil contamination and odor
- . Condition of the tanks and lines
- . Types of backfill and soils

2. Certification of compliance form

3. Site assessment checklist (see attached)

4. Site plan (see attached)

5. Chain of custody (see attached) and sample analysis data if laboratory work is performed

	Contents			Capacity	Hole(s) in Tank		Other Signs of Leakage		Did Contractor try to over-excavate	
	Gas	Other Specify			#1	#2	#1	#2	#3	
Tank #1	Gas	<u>Diesel</u>	Other Specify	<u>2100</u>	Yes	<u>No</u>	<u>Yes</u>	No	<u>Yes</u>	No
Tank #2	G	D	0	_____	Yes	No	Yes	No	Yes	No
Tank #3	G	D	0	_____	Yes	No	Yes	No	Yes	No
Tank #4	G	D	0	_____	Yes	No	Yes	No	Yes	No
Tank #5	G	D	0	_____	Yes	No	Yes	No	Yes	No
Tank #6	G	D	0	_____	Yes	No	Yes	No	Yes	No

1. If yes, explain in detail and include drawing locating hole(s).
2. If yes, explain in detail and include drawing locating points of leakage.
3. If yes, explain the results of over-excavating. Include the initial and final results.

#2 Soils were stained and had petroleum odor. Also high PID readings indicated contamination.

#3 Contractor excavated to a depth of 17 feet before soils appeared clean.

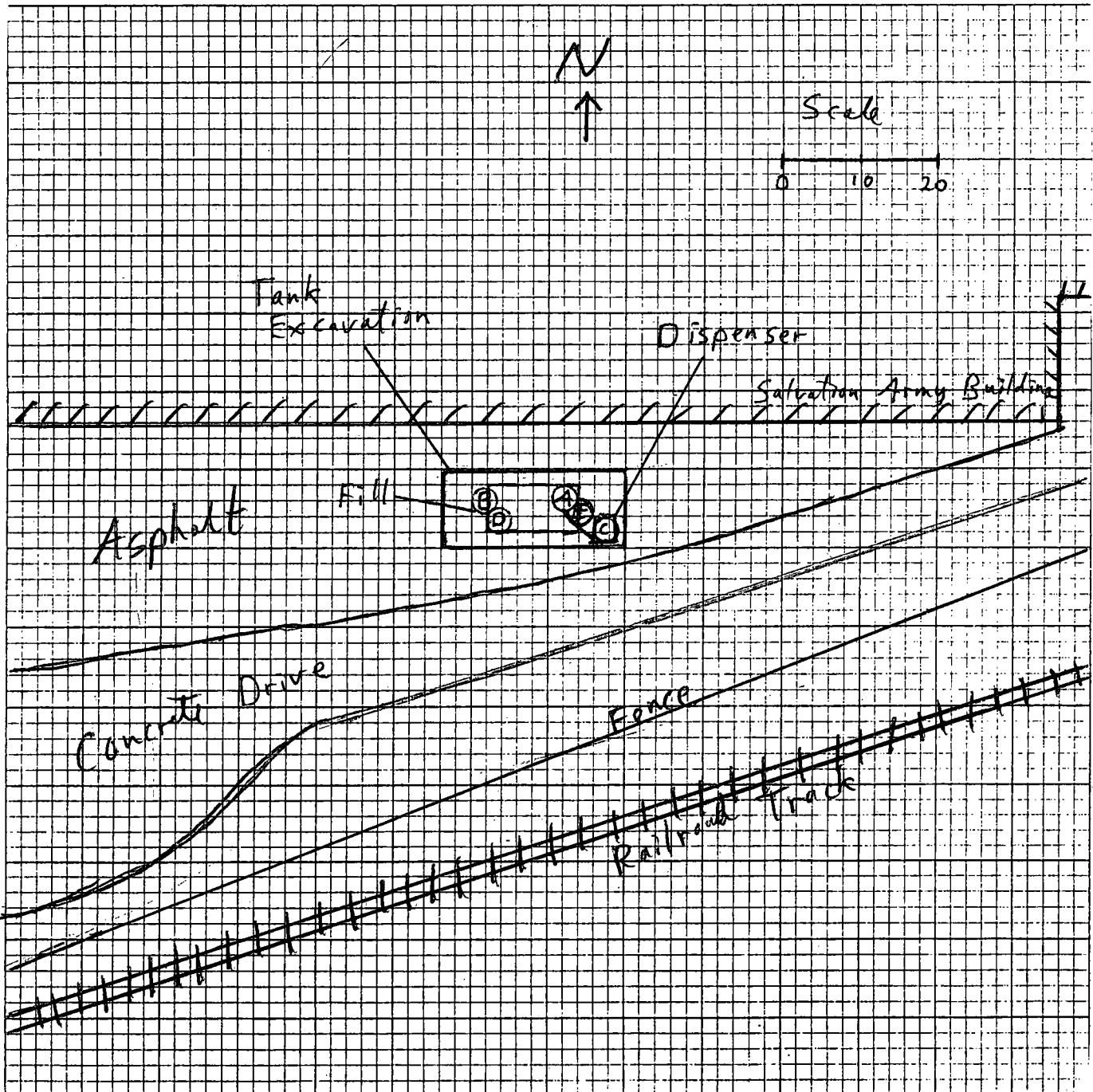
Site Plan

Layout of the tank system (tank and product lines) placement of excavation and dispenser(s) location. The site plan must be approximately to scale, including distances and the north arrow. Also show the tanks relationship to permanent objects.

Location Salvation Army (ARC)

Facility ID# 7415

Date 5/29/90



CHAIN OF CUSTODY RECORD

SAMPLE SITE _____

SAMPLER _____ WITNESS _____

Sample ID	Media	Sample Date	Sample Time	Number of Containers	Analysis

Samples Delivered By Samples Received By Date Time Lab Numbers

Certification of Compliance

A. Type of Site Assessment Conducted Facility I.D. 7415

- In-place assessment
 Tank system removal

B. Type of Analysis Conducted

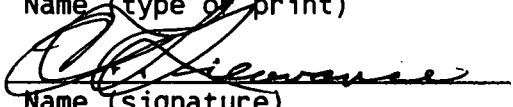
- Field
 Lab

C. Site Status

- No contamination detected
 Contamination detected, soils only (Dug out of contamination by 17' below grade)
 Contamination detected, extent undefined
 Contamination detected, ground water impacted


D. Certification of Owner/Operator of Underground Storage Tank(s).

I certify that I am the owner and/or operator and last user of the underground storage tank, I am the current owner but have never owned or operated the underground storage tank while they were used for storage of a regulated substance and the site assessment was conducted in accordance with the Underground Storage Tank System Site Assessment Protocol for Permanent Closure and Change-In-Service and that all data presented is correct and accurate to the best of my knowledge and belief.

<u>Charles F. Lieurance</u> Name (type or print)	<u>Administrator</u> Company/Position
<u></u> Name (signature)	<u>342-4135</u> Phone Number

E. Certification of Closure Individual

I certify that the site assessment was conducted in accordance with the Underground Storage Tank System Site Assessment Protocol for Permanent Closure and Change In-Service and that all data presented is correct and accurate, to the best of my knowledge and belief.

<u>Jim Andersen</u> Name (type or print)	<u>#2143</u> Company/Certification #
<u></u> Name (signature)	<u>451-8608 OR 6775755</u> Phone Number

F. Submit this form, the site assessment report, the methods and results of analysis, and the site plan to the NDEC 90 days from the date of the permit.



Photo #1. Facing south, the east end of the tank still has a good asphalt coating on it. The west end has almost no coating on it due to past overfills.



Photo #2. Corrosion pits are found in many places on the west end of the tank. None of these pits were found to penetrate the tank shell.

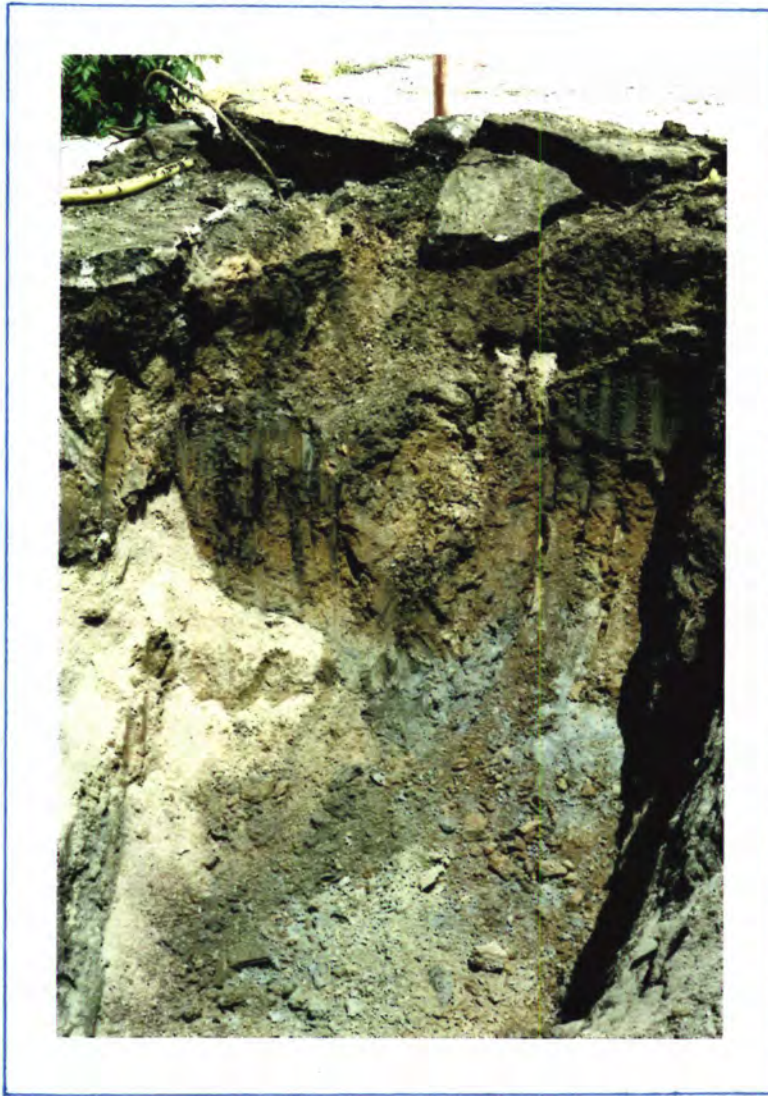


Photo #3. East end of the excavation near the dispenser. Contaminated soils are shown prior to over-excavation.

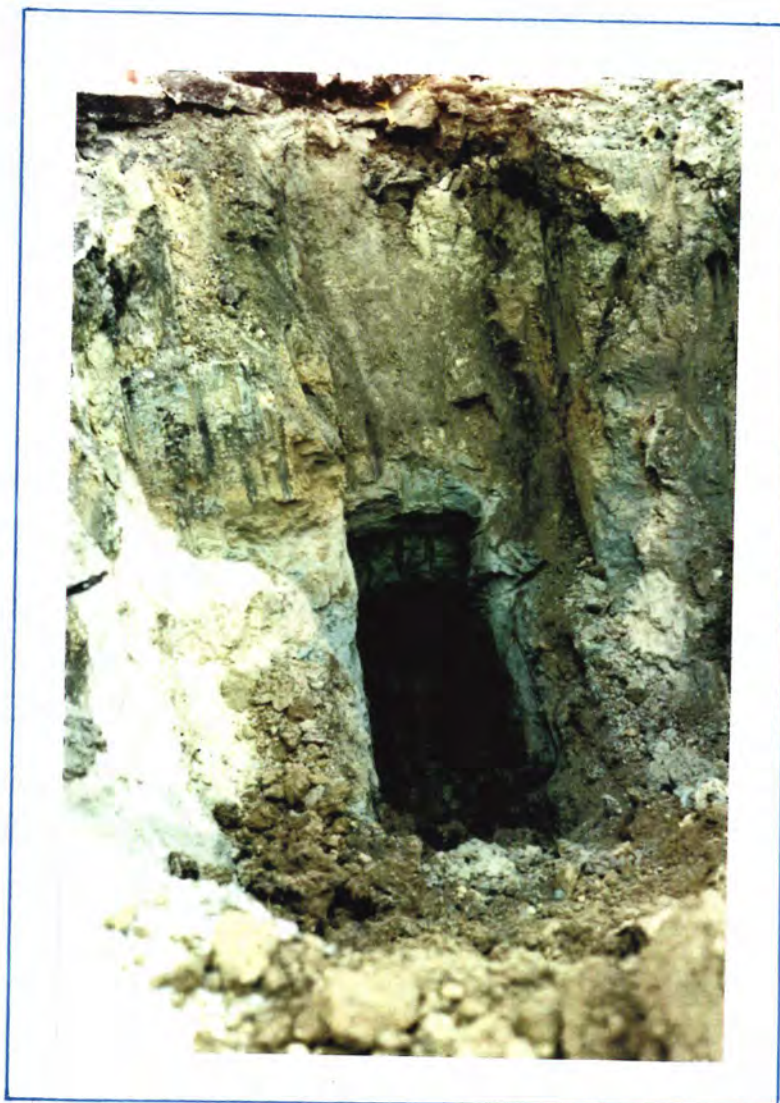


Photo #4. East end of excavation after samples were taken from 17 feet. Sample analysis indicated that contamination was not present at this depth.

June 12, 1990

SALVATION ARMY ARC CORP
860 N. DEARBORN ST.
CHICAGO IL 60610

Facility ID Number: 7415
Facility Location: 2501 CENTER STREET City: OMAHA

Dear Sir/Madam:

This letter is in regard to the site assessment conducted in accordance with the Underground Storage Tank System Site Assessment Protocol for Permanent Closure and Change-in-Service for the above referenced facility.

At this time, the Department will not require any further action at this facility. However, if a problem is recognized in the future that may be attributed to a release of a regulated substance from this tank system, the last owner/operator, as defined by Nebr. Rev. Stat. 81-15,119, will be held responsible for further remedial action.

Thank you for your cooperation in this matter. If you have any questions, please call Kelly Ahlschwede (402) 471-4230.

Sincerely,



David Chambers, Section Supervisor
Ground Water Section
Water Quality Division

cc State Fire Marshal



20190060442

SALVATION ARMY BUILDING

OVERHEAD ELECTRIC LINE

FIRE HYDRANT (T. BM.)

SEWER

ABOVE GROUND STORAGE TANKS (TYPICAL)

BUILDING

SHOP

TANK FARM No. 1

Was

06,893

130

TANK FARM No. 3

MW-2

MW-1

013092-

ML-62

East or main farm

5/28/92

BERMS (TYPICAL)

mid farm

West spill farm (052892-DT-1530)

TANK FARM No. 2

WATER LINE

MANHOLE

MH

MILDER OIL COMPANY BUILDING

BUILDING

OFFICE BUILDING

LEGEND

⊕ MONITORING WELL

60 30 0 60

SCALE IN FEET

PAVEMENT EDGE

BUILDING



20020037124

Woodward-Clyde
ENGINEERING & SCIENCES APPLIED
TO THE EARTH & ITS ENVIRONMENT

SITE PLAN
MILDER OIL COMPANY
OMAHA, NEBRASKA

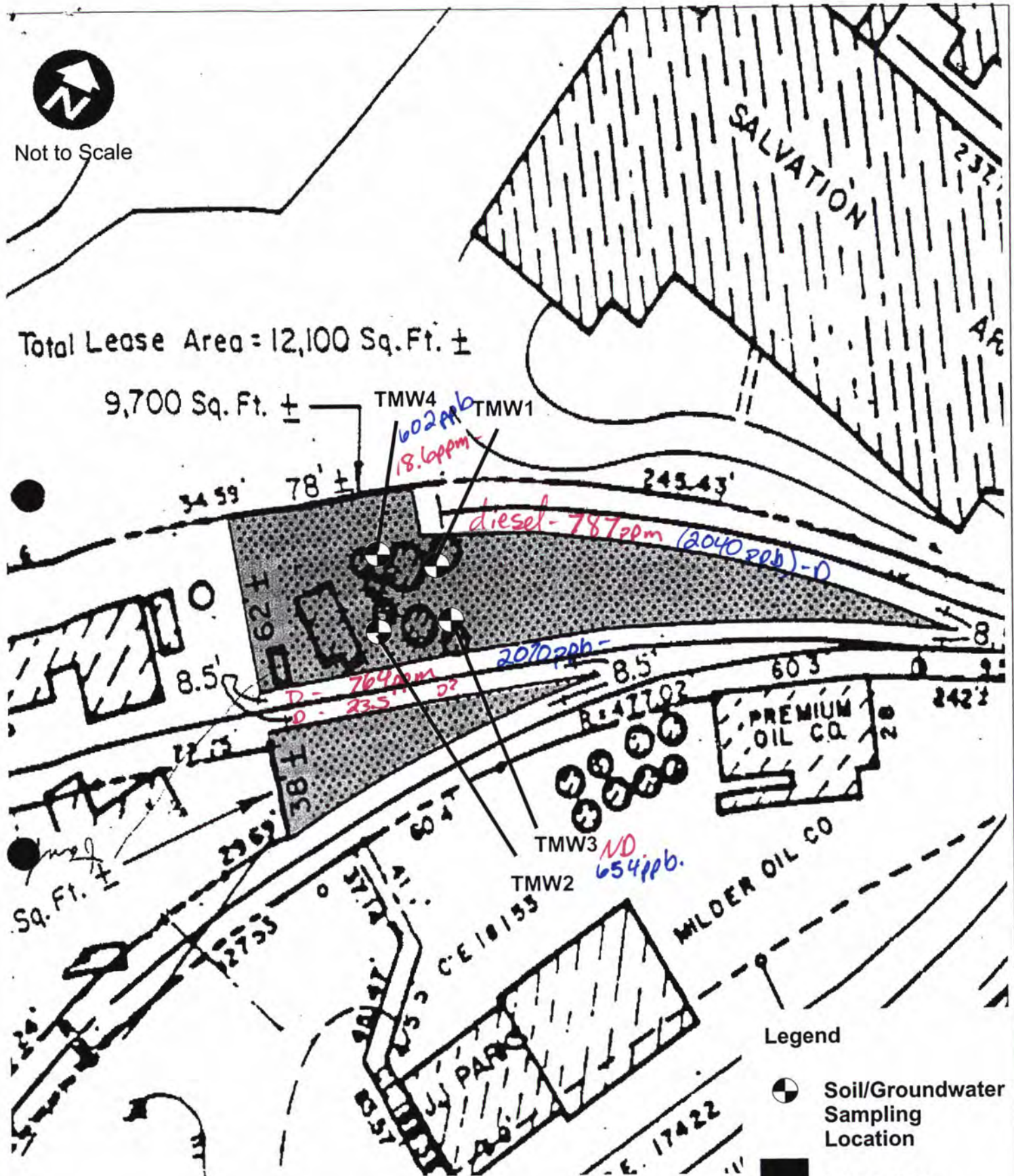
DRN BY: SCR	DATE: 03/23/94	PROJECT NO. 93M557	FIG. 2
CHK'D BY:	REVISION: 0		



Not to Scale

Total Lease Area = 12,100 Sq. Ft. ±

9,700 Sq. Ft. ±



Legend

Soil/Groundwater Sampling Location

Lease Area

Source: UPRR, 1997



HDR Engineering, Inc.

Sample Location Plan

Limited Phase II ESA Report
Milder Oil Lease Site

Date

May 2002

Figure

2

4/90

June 12, 1990

ENTERED
6-20-90
NRM
(Permit site assessment only)

SALVATION ARMY ARC CORP
860 N. DEARBORN ST.
CHICAGO IL 60610

Facility ID Number: 7415
Facility Location: 2501 CENTER STREET City: OMAHA

Dear Sir/Madam:

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Thank you for your cooperation in this matter. If you have any questions, please call Kelly Ahlschwede (402) 471-4230.

Sincerely,



David Chambers, Section Supervisor
Ground Water Section
Water Quality Division

cc State Fire Marshal

Underground Storage Tank Removal Form

OWNER OF UNDERGROUND TANK(S)

LOCATION OF UNDERGROUND TANKS

Name: SALVATION Army
 Street Address/Legal Description: 860 N Dearborn St
Chicago Ill
 County: _____
 City: Chicago State: Ill Zip Code: 60610
 Telephone: (312) - 440-4763

If same as owner's address, mark box here
 Street Address/Legal Description: 2501 Center
 County: _____
 City: Douglas State: Ne Zip Code: 68103
 City: Omaha State: Ne Zip Code: 68103

TANKS REMOVED

State Tank #	Date Removed	Substance Last Stored in Tank	Tank Size (in gallons)	Approx: Tank Age When Taken Out of Service	Surface Over Tanks Concrete/Asphalt Plus Earth or Other (Specify)
<u>001</u>	<u>5-29-90</u>	<u>Diesel</u>	<u>2100</u>	<u>UNKNOWN</u>	<u>ASPHALT + EARTH</u>

	Yes	No	NW
Piping drained and remaining products flushed into tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
All liquid pumped out of tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fill tube removed, fill gauge and product lines disconnected.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
All piping removed (look for corrosion holes in piping). <u>PIPING GONE</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vent line cut off at ground level and capped.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
All remaining openings temporarily plugged, excavation completed, and de-gassing measures undertaken.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inspect tank sides, ends, seams and welds for corrosion, pitting or holes. (scrape dirt off tank in suspected areas)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Is corrosion present?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Corrosion holes through tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Type of backfill material used: <u>Sand</u> / Gravel / <u>Soil</u> / Other _____ (Circle one)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does backfill have petroleum odor or appear grey/green in color?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If backfill exhibits odor or tank has severe corrosion or holes, excavate below grade of pit to extent of equipment reach:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Does soil extracted have a petroleum odor or appear grey/green in color?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

FILL END OF TANK (WEST END) ALL ASPHALT
COULMING WASHED OFF TANK. MIDDLE TO EAST
END COULMING STILL IN PLACE

Tank Site Sketch



C LANTOR

SALVATION ARMY
HIGH RISE

25 m

DRIVE IN DOCK
ROAD

TANK

NOTES pump
ON EAST END
12" FROM TANK

ROAD

220

Date: 5-29-98

Inspector Signature & ID #: _____

C. P. Jester

UNDERGROUND STORAGE TANK DIVISION
REPORT OF SUSPECTED LEAK

INITIAL MEANS OF DISCOVERY (CIRCLE ONE)



- 1) Product or vapors in a structure
- 2) Product or vapors in sewer system
- 3) Petroleum saturated soils encountered excavation
- 4) Site assessment results indicate contamination
- 5) Tank removed with holes in shell
- 6) Petroleum taste in well water
- 7) Accumulation of water in tank
- 8) Abnormal loss-inventory/manual tank gauging
- 9) Failed precision test - tank
- 10) Product in G.W. monitoring well
- 11) Vapors detected in vapor monitoring
- 12) Leak detect. mode activated ATM
- 13) Interstitial monitoring-double wall tank or piping
- 14) Leak detector-pressur. piping
- 15) Failed tightness test-piping
- 16) Hesitation in suction system
- 17) Other _____

In addition to the initial discovery, list all other characteristics from above which suggest a leak.

LOCATION

Address 2501 Center Town Omaha Co Douglas
or vicinity

TIME OF DISCOVERY

Hour 1330 Month 5 Day 29 Year 1990 Day of week Tuesday

WHO DISCOVERED SUSPECTED LEAK

Name Burning tank removal Title or employer _____

WHO REPORTED SUSPECTED LEAK TO STATE FIRE MARSHAL OR DELEGATED AUTHORITY
Name _____ Title or employer _____

WHEN REPORTED TO STATE FIRE MARSHAL OR DELEGATED AUTHORITY

Hour 1330 Month 5 Day 29 Year 1990 Day of week Tuesday
Investigated by C. Jester Date _____ Time _____
2nd investigation Date _____ Time _____

DATE REPORT RECEIVED 1st investigation _____
(Main office use only) 2nd investigation _____

ORDERS WRITTEN Yes ___ No X Fire/Safety Hazards exist Yes ___ No X
Fire/Safety Hazards eliminated Yes ___ No ___
Fire/Safety Hazard potential Yes ___ No ___

TO WHOM WRITTEN

Name _____ Address _____ Name _____ Address _____

D.E.C. notified Yes ___ No X Date _____ Time _____
Who notified at D.E.C. _____ Who responded _____
D.E.C. release number assigned _____

SOURCE OF LEAK IDENTIFIED X Yes ___ No Product involved Diesel
Amount of loss unknown
If NO: List ID's of all facilities which are potential sources

If Yes: Facility name SALVATION ARMY Street/Box 2501 Center
Facility ID# 7415 Owner name SALVATION ARMY

CITY OF OMAHA
UNDERGROUND STORAGE TANK DIVISION

FIRE PREVENTION BUREAU
1819 Farnam Street, Suite 307
Omaha, Nebraska 68183
(402) 444-5707 444-5711

Facility ID # 7415
RE: Installation of _____
Underground Storage Tanks
RE: Closure of 1
Underground Storage Tanks
Location _____

DATE: 4-27-90
TO: Anderson Engineering
1424 So. 90th
Omaha, Ne 68114



Sub-Tank Company
2501 Center St
Omaha, Ne

Permit to Install/Close U.S.T.'s

This office has reviewed your materials submitted to this office for compliance with the Nebraska Fire Safety Regulations and Title 159, Rules and Regulations Concerning Underground Storage Tanks in the State of Nebraska. This permit must be kept on site by the certified contractor.

Installation Approved
(See Remarks)

Resubmit for Approval
(See Remarks)

Closure Approved
(See Remarks)

REMARKS:

1 Certified = 5113 Anderson, Inc
7 Soil work / Max. Testing

CONTACT THIS OFFICE FOR AN INSPECTION AT LEAST 24 HOURS PRIOR TO PRE-INSTALLATION AIR PRESSURE TEST ON TANK(S). UNDERGROUND STORAGE TANK DIVISION, (402) 444-5711

sign
here

[Signature]

**OMAHA FIRE DIVISION
UNDERGROUND TANK STORAGE
1819 Farnam Street
(402) 444-5711**

Application for Permit to Permanently Close Tank

TANK LOCATION		TANK OWNERSHIP		
Name of Business/Company <i>Salvation Army</i>		Name of Owner/Operator <i>Same</i>		
Street <i>2331 Pontiac St</i>		Street		
City <i>Omaha</i>	Zip <i>68105</i>	County <i>Douglas</i>	State	Zip
Telephone <i>(402) 342-5435 For Reference</i>		Telephone ()		

STATUS OF TANKS

Are tanks registered with the State Fire Marshal's Office? Yes No
 If yes, give Facility ID # 7415 If no, give year of last use _____

NOTE: If tanks are not registered or if registration fees are past due, civil penalties may be considered against the owner prior to approval of this permit application.

Will a site assessment be performed in accordance with Department of Environmental Control protocol? Yes No
 If yes, what other contractors or laboratories will be involved? Asb. Testing

If no, check reasons for not performing site assessment. NDEC Ordered Investigation On-going
 Tanks taken out of service prior to July 17, 1986 and property owner never used tanks

LICENSED CLOSURE CONTRACTOR		CERTIFIED CLOSURE INDIVIDUAL	
Name <i>Anderson Environmental and Wastewater, P.C.</i>		Name <i>Tom Anderson</i>	
Street <i>1870 S. 20th St</i>		Certification # <i>27413</i>	
City <i>Omaha</i>	Zip <i>68108</i>	County <i>Douglas</i>	Expiration Date <i>8-18-97</i>
Telephone <i>(402) 342-5811</i>	License # <i>PL 89667</i>	Telephone <i>(402) 342-5811 or 342-5820</i>	

Projected Tank Closure Date 5-31-90 Number of Tanks Being Closed _____
 List Tank ID #'s _____

METHOD OF CLOSURE

TANK: Removal Closure in Place
 PIPING: Removal Closure in Place

Will tanks be replaced with new USTs? Yes No

Will tanks be emptied and cleaned by removing all liquids and accumulated sludge? Yes No

If yes, will all liquids and sludges be recycled or disposed of in accordance with all state and local regulations?
 Yes No

If tank(s) are removed, indicate storage location or final destiny. 4515 N. 16th St - Omaha, MO

If tank(s) are closed in place, indicate type of inert material used. _____

All tanks must be closed in accordance with Title 159, State Fire Marshal Underground Storage Tank Rules and Regulations.

APPLICATION SUBMITTED BY Barbara A. Brown PLEASE PRINT
4-27-90 DATE Barbara A. Brown SIGNATURE

Notification for Underground Storage Tanks

FORM APPROVED
OMB NO. 2050-0049
APPROVAL EXPIRES 6-30-88

**FOR
TANKS
IN
NE**

**RETURN
COMPLETED
FORM
TO**

Nebraska State Fire Marshal
P.O. Box 94677
Lincoln, NE 68509-4677

STATE USE ONLY
I.D. Number 7415
Date Received 6/22/87

GENERAL INFORMATION

Notification is required by Federal law for all underground tanks that have been used to store regulated substances since January 1, 1974, that are in the ground as of May 8, 1986, or that are brought into use after May 8, 1986. The information requested is required by Section 9002 of the Resource Conservation and Recovery Act, (RCRA), as amended.

The primary purpose of this notification program is to locate and evaluate underground tanks that store or have stored petroleum or hazardous substances. It is expected that the information you provide will be based on reasonably available records, or, in the absence of such records, your knowledge, belief, or recollection.

Who Must Notify? Section 9002 of RCRA, as amended, requires that, unless exempted, owners of underground tanks that store regulated substances must notify designated State or local agencies of the existence of their tanks. Owner means—

(a) in the case of an underground storage tank in use on November 8, 1984, or brought into use after that date, any person who owns an underground storage tank used for the storage, use, or dispensing of regulated substances, and

(b) in the case of any underground storage tank in use before November 8, 1984, but no longer in use on that date, any person who owned such tank immediately before the discontinuation of its use.

What Tanks Are Included? Underground storage tank is defined as any one or combination of tanks that (1) is used to contain an accumulation of "regulated substances," and (2) whose volume (including connected underground piping) is 10% or more beneath the ground. Some examples are underground tanks storing: 1. gasoline, used oil, or diesel fuel, and 2. industrial solvents, pesticides, herbicides or fumigants.

What Tanks Are Excluded? Tanks removed from the ground are not subject to notification. Other tanks excluded from notification are:

1. farm or residential tanks of 1,100 gallons or less capacity used for storing motor fuel for noncommercial purposes;
2. tanks used for storing heating oil for consumptive use on the premises where stored;
3. septic tanks;

4. pipeline facilities (including gathering lines) regulated under the Natural Gas Pipeline Safety Act of 1968, or the Hazardous Liquid Pipeline Safety Act of 1979, or which is an intrastate pipeline facility regulated under State laws;

5. surface impoundments, pits, ponds, or lagoons;

6. storm water or waste water collection systems;

7. flow-through process tanks;

8. liquid traps or associated gathering lines directly related to oil or gas production and gathering operations;

9. storage tanks situated in an underground area (such as a basement, cellar, mineworking, drift, shaft, or tunnel) if the storage tank is situated upon or above the surface of the floor.

What Substances Are Covered? The notification requirements apply to underground storage tanks that contain regulated substances. This includes any substance defined as hazardous in section 101 (14) of the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA), with the exception of those substances regulated as hazardous waste under Subtitle C of RCRA. It also includes petroleum, e.g., crude oil or any fraction thereof which is liquid at standard conditions of temperature and pressure (60 degrees Fahrenheit and 14.7 pounds per square inch absolute).

Where To Notify? Completed notification forms should be sent to the address given at the top of this page.

When To Notify? 1. Owners of underground storage tanks in use or that have been taken out of operation after January 1, 1974, but still in the ground, must notify by May 8, 1986. 2. Owners who bring underground storage tanks into use after May 8, 1986, must notify within 30 days of bringing the tanks into use.

Penalties: Any owner who knowingly fails to notify or submits false information shall be subject to a civil penalty not to exceed \$10,000 for each tank for which notification is not given or for which false information is submitted.

INSTRUCTIONS

Please type or print in ink all items except "signature" in Section V. This form must be completed for each location containing underground storage tanks. If more than 5 tanks are owned at this location, photocopy the reverse side, and staple continuation sheets to this form.

Indicate number of continuation sheets attached

I. OWNERSHIP OF TANK(S)

Owner Name (Corporation, Individual, Public Agency, or Other Entity)

The Salvation Army ARC Corp.

Street Address

860 North Dearborn Street

County

Chicago, Illinois 60610

City

State

ZIP Code

Area Code Phone Number

312 -440 440-4763

Type of Owner (Mark all that apply)

Current

State or Local Gov't

Private or Corporate

Former

Federal Gov't (GSA facility I.D. no. _____)

Ownership uncertain

II. LOCATION OF TANK(S)

(If same as Section I, mark box here)

Facility Name or Company Site Identifier, as applicable

The Salvation Army ARC

Street Address or State Road, as applicable

2501 Center Street

County Douglas

Omaha, Nebraska 68105

City (nearest)

State

ZIP Code

Indicate number of tanks at this location

Mark box here if tank(s) are located on land within an Indian reservation or on other Indian trust lands

III. CONTACT PERSON AT TANK LOCATION

Name (If same as Section I, mark box here)

Captain John Wilkins

Job Title

Administrator

Area Code

1-402- 342-4135 Ex. 12

Phone Number

IV. TYPE OF NOTIFICATION

Mark box here only if this is an amended or subsequent notification for this location.

V. CERTIFICATION (Read and sign after completing Section VI.)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete.

Name and official title of owner or owner's authorized representative
Captain John Wilkins Administrator

Signature

Captain John Wilkins

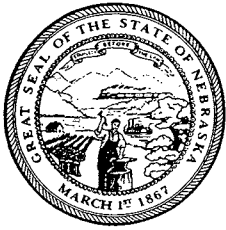
Date Signed

6/10/87

CONTINUE ON REVERSE SIDE

VI. DESCRIPTION OF UNDERGROUND STORAGE TANKS (Complete for each tank at this location.)

Tank Identification No. (e.g., ABC-123), or Arbitrarily Assigned Sequential Number (e.g., 1,2,3...)	Tank No. 1	Tank No.	Tank No.	Tank No.	Tank No.	
1. Status of Tank (Mark all that apply <input checked="" type="checkbox"/>) Currently in Use Temporarily Out of Use Permanently Out of Use Brought into Use after 5/8/86	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
2. Estimated Age (Years)	20					
3. Estimated Total Capacity (Gallons)	2,100					
4. Material of Construction (Mark one <input checked="" type="checkbox"/>) Steel Concrete Fiberglass Reinforced Plastic Unknown Other, Please Specify	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____
5. Internal Protection (Mark all that apply <input checked="" type="checkbox"/>) Cathodic Protection Interior Lining (e.g., epoxy resins) None Unknown Other, Please Specify	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____
6. External Protection (Mark all that apply <input checked="" type="checkbox"/>) Cathodic Protection Painted (e.g., asphaltic) Fiberglass Reinforced Plastic Coated None Unknown Other, Please Specify	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____
7. Piping (Mark all that apply <input checked="" type="checkbox"/>) Bare Steel Galvanized Steel Fiberglass Reinforced Plastic Cathodically Protected Unknown Other, Please Specify	<input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____
8. Substance Currently or Last Stored in Greatest Quantity by Volume (Mark all that apply <input checked="" type="checkbox"/>) a. Empty b. Petroleum Diesel Kerosene Gasoline (including alcohol blends) Used Oil Other, Please Specify c. Hazardous Substance Please Indicate Name of Principal CERCLA Substance OR Chemical Abstract Service (CAS) No. Mark box <input checked="" type="checkbox"/> if tank stores a mixture of substances d. Unknown	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> _____ <input type="checkbox"/> _____ <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____ <input type="checkbox"/> _____ <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____ <input type="checkbox"/> _____ <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____ <input type="checkbox"/> _____ <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____ <input type="checkbox"/> _____ <input type="checkbox"/> _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____ <input type="checkbox"/> _____ <input type="checkbox"/> _____
9. Additional Information (for tanks permanently taken out of service) a. Estimated date last used (mo/yr) b. Estimated quantity of substance remaining (gal.) c. Mark box <input checked="" type="checkbox"/> if tank was filled with inert material (e.g., sand, concrete)	/	/	/	/	/	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



Dave Heineman
Governor

115 : 21503
BF: 0226
STATE OF NEBRASKA

DEPARTMENT OF ENVIRONMENTAL QUALITY
Michael J. Linder

Director

Suite 400, The Atrium

1200 'N' Street

P.O. Box 98922

Lincoln, Nebraska 68509-8922

Phone (402) 471-2186

FAX (402) 471-2909

website: www.deq.state.ne.us

May 21, 2012

Ms. Lynn Dittmer
Metropolitan Area Planning Agency
2222 Cuming St.
Omaha, NE 68102

Re: Petroleum Site Eligibility Determinations for EPA Brownfield Hazardous Substance and
Petroleum Assessment Coalition Grant - Omaha, Nebraska

Dear Ms. Dittmer:

The Nebraska Department of Environmental Quality (NDEQ) has been requested by Metropolitan Area Planning Agency (MAPA) to make a brownfield's petroleum site eligibility determination for specific parcels of land located within the city of Omaha, in order to facilitate their assessment through their EPA Brownfield Coalition grant funds.

The following list is comprised of criteria derived from the "Small Business Liability Relief and Brownfields Revitalization Act" that determines if the site is deemed eligible as a Brownfield Site (CERCLA 101(39) and 101(41)):

- Site is real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant or contaminant
- Site is not subject to a planned or ongoing CERCLA preliminary assessment or site inspection and does not obtain a preliminary score sufficient for possible listing on the NPL
- Site is not subject to a planned or ongoing CERCLA removal action
- Site is not listed or proposed for listing on the NPL
- Site is not subject to a unilateral administrative order, court order, administrative order on consent, or consent decree under CERCLA
- Site is not subject to a unilateral administrative order, court order, administrative order on consent, consent decree, or permit under RCRA, CWA, TSCA or SWDA
- Site is not subject to a corrective action under RCRA 3004(u) or 3008(h) to which a corrective action permit or order has been issued or modified requiring the implementation of corrective measures



20120034504

- Site is not a land disposal unit with closure notification submitted and a closure plan or permit
- Site is not subject to the jurisdiction, custody or control of the federal government
- Site does not have PCB contamination subject to remediation under TSCA
- Site has not received assistance from the LUST program for a response activity
- Site is a LUST site of relatively low risk, there is no viable or liable responsible party, is not subject to the Solid Waste Disposal Act and is deemed an Orphan Site by NDEQ's Petroleum Remediation Section.

Prior to this request, the sites listed below have not been the subject of environmental regulatory actions through this department. The NDEQ Integrated Information System (IIS) and/or Information Management System (IMS) web page and the EPA's EnviroMapper were utilized to conclude the following sites meet the definition of a Brownfield Site and are deemed by the department to be eligible for petroleum assessment grant activities:

1. 1920 S. 26th Street, Omaha.
2. 1921 S. 26th Street, Omaha.
3. 2110 Madison Street, Omaha.
4. 2110 S. 26th Street, Omaha. (Allied Oil east site)
5. 2501 Center Street, Omaha, (Salvation Army (mill))
6. 2623 Center Street, Omaha. (Aggregate Production)
7. 2727 S. 28th Avenue, Omaha
8. 5025 S 33rd Street, Omaha (Former Omaha Cold Storage)
9. 27th Dorcas Street, Omaha. (Salvation Army railroad spur)
10. 27th Dorcas Street, Omaha. (Allied Oil west site)

The following information summarizes the sites and associated criteria qualifying the site for eligibility:

- 1920 S. 26th Street, Omaha.
- 1921 S. 26th Street, Omaha.
- 2623 Center Street, Omaha. (Aggregate Production)
- 2727 S. 28th Avenue, Omaha.
- 27th Dorcas Street, Omaha. (Salvation Army railroad spur)
- 27th Dorcas Street, Omaha. (Allied Oil west site)

All the above sites do not have a file in either of the NDEQ IIS or EPA's EnviroMapper website. This indicates NDEQ does not have any regulatory information reported on spills, violations, actions, orders or clean-up activities related to these sites.

- 2110 Madison Street, Omaha.
- 2623 Center Street, Omaha. (Aggregate Production)

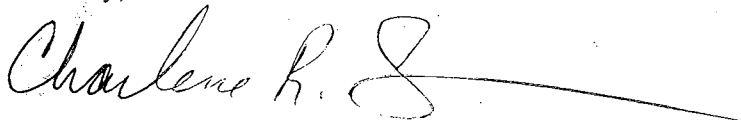
Both above sites were identified as sites that fall under the department's RCRA regulation – Title 128 – Nebraska Hazardous Waste Regulations. The site located at 2110 Madison Street was identified as a Small Quantity Generator. The site located at 2623 Center Street has an inactive RCRA file. For both sites, NDEQ does not have any regulatory information reported on spills, violations, actions, orders or clean-up activities related to these sites.

2501 Center Street, Omaha. (Salvation Army (mill))
5025 S 33rd Street, Omaha. (Former Omaha Cold Storage)

Both above sites were identified as LUST sites. The facility located at 2501 Center Street had a tank removed along with most of the contaminated soil. Upon completion of the tank closure report the facility received a No Further Action Letter from NDEQ's Petroleum Remediation Section. The facility located at 5025 S. 33rd Street is a LUST site and was determined by NDEQ's Petroleum Remediation Section as a low risk Orphan Site. An Orphan Site means there is no viable or liable responsible party for the known contamination at the site.

Should new information become known to the department regarding any of the ten (10) sites that contradicts any of the above determinations, the department will promptly notify EPA and MAPA of this information. Please do not hesitate to contact me directly at (402)-471-6411 or by email at Charlene.sundermann@nebraska.gov if you have any questions regarding this designation.

Sincerely,

A handwritten signature in cursive script that reads "Charlene R. Sundermann". The signature is written in black ink and includes a long horizontal flourish extending to the right.

Charlene R. Sundermann
Nebraska Voluntary Cleanup and Brownfields Program Coordinator
Remediation Section, Waste Management Division

Cc: Devin Pollock, EPA Region 7 Brownfield Project Officer

REMEDIATION SITE ASSESSMENT DECISION REGION 7

SITE NAME: Drum Industries EPA ID#: NED981707730

Alias Site Names: _____

City: Omaha County or Parish: Douglas State: Nebraska

Refer to Report Dated: March 24, 1995 Report type: Abbreviated PA

Report developed by: Ecology and Environment (TAT)

DECISION:

- 1. Further remedial site assessment under CERCLA (Superfund) is **not** required because:
 - 1a. Site does not qualify for further remedial site assessment under CERCLA (Site Evaluation Accomplished - SEA) | | 1b. Site may qualify for further action, but is deferred to: | | RCRA | | NRC
- | | 2. Further Assessment Needed Under CERCLA: 2a. (optional) Priority: | | Higher | | Lower
 - 2b. Activity Type: | | PA | | SI | | ESI | | HRS evaluation
 - | | Other: _____

DISCUSSION/RATIONALE: The Drum Industries operated as a drum cleaning facility from 1986 to 1988. On February 3, 1988, a fire destroyed the facility which contained the drum cleaning operation. Approximately 165 drums and 3 storage tanks containing solvents and chemical residues were damaged in the fire. In February 1988, the NDEC, which had authority over the site, issued Drum Industries an Emergency Compliance Order to clean up the site. Drum Industries failed to comply with the Order and was fined for its inaction in September 1988. The contaminants of concern from the drum washing operation were xylene, toluene, petroleum naphtha, and 1,1,1-trichloroethane. Because no activities were taken by Drum Industries to clean up the site, NDEC identified and located 43 businesses that had contracted with Drum Industries to clean their barrels. The companies (generators) were requested by NDEC to form a steering committee to dispose of the waste at the site. By March 1989, the committee had located an environmental contractor which cleaned up the site by April 1989. As a result of the removal action by the PRPs, EPA determined that there was no threat to the public or environment at the site. No further CERCLA/SARA action is appropriate or necessary at the site.

Report Reviewed and Approved by: Betty Berry, Nebraska SAM Signature: Betty J. Berry Date: 07/03/95

Site Decision Made by: Betty Berry, Nebraska SAM Signature: Betty J. Berry Date: 07/03/95

1999060666

APPENDIX E

ENVIRONMENTAL QUESTIONNAIRE – Not Included



APPENDIX F
PHOTOGRAPHS





1 Interior view of vacant south building.



2 Pool of liquid in vacant south building.



3 Unknown debris on floor in vacant south building.



4 Air compressor in vacant south building.



5 Staining on floor in vacant south building.



6 Pool of liquid in vacant south building.



7 Debris pile in vacant south building.



8 Miscellaneous supplies in vacant south building.



9 55-gallon drum of tar in vacant south building.



10 Loading dock area in vacant south building.



11 Basement of vacant south building.



12 View of assessment site vacant parcel of land.



13 View of vacant north building.



14 View of vacant north building



15 View of residential property on assessment site.



16 Wooded area of assessment site.



17 View of hallway in vacant north building.



18 View of kitchen in vacant south building.

APPENDIX G

QUALIFICATIONS





Dillon A. Dawson

B2 ENVIRONMENTAL

Mr. Dawson is a Industrial Hygienist in B2 Environmental, Inc. B2 Environmental, Inc. specializes in Industrial Hygiene applications such as asbestos, lead-based paint, mold, indoor air quality, worker exposure monitoring, and environmental compliance audits, and Environmental Science applications such as Phase I and Phase II environmental site assessments, tank closures, hazardous materials management, and wetland services. Mr. Dawson has been a practicing environmental contractor and consultant for over three years and has an extensive knowledge of indoor air quality, Phase I and Phase II site assessments, and environmental consulting. His responsibilities include hazardous materials related project consulting, environmental assessments, comprehensive building surveys, and indoor air quality investigations.

PROFESSIONAL EXPERIENCE

Asbestos Services

Inspector responsible for performing asbestos services at industrial, commercial, residential and government sites. Specific services include AHERA/NESHAP inspections, OSHA/EPA air monitoring, and OSHA training.

Asbestos Testing and Reporting, Iowa, Nebraska - State and/or local protocol for inspection services.

Environmental Services

Phase I Environmental Site Assessment Services / Various Sites Throughout United States – Industrial Hygienist responsible for performing due diligence investigations and environmental sampling for commercial, industrial, and agricultural properties.

Phase I/II Environmental Site Assessment / Various Sites Throughout United States – Industrial Hygienist responsible for performing due diligence investigation and environmental sampling for property transaction.

Industrial Hygiene/Indoor Air Quality Services

Industrial Hygienist responsible for performing mold, indoor air quality, radon, dust, mercury and noise investigations. Specific services include visual inspections, ambient and personal air monitoring, area monitoring, and clearance sampling.

Various Sites Throughout United States

EDUCATION

Bachelors Degree of Science in Geology, University of Nebraska – Lincoln, 2016

TRAINING AND CERTIFICATIONS

- EPA AHERA, Building Inspector in Iowa, Nebraska
- 40-Hour OSHA Hazardous Waste Operations
- 10 Hour OSHA Construction Safety and Health
- EPA, Microbial Remediation
- State of Nebraska Lead Abatement Risk Assessor – #308
- State of Nebraska Tank Closure - #3009

HIGHLIGHTS



Brock A. Flowers

B2 ENVIRONMENTAL WWMT

Mr. Flowers is the Environmental Manager for B2 Environmental, Inc. B2 Environmental, Inc. formed in 2006, specializes in Industrial Hygiene applications such as asbestos, lead-based paint, mold, indoor air quality, worker exposure monitoring, and environmental compliance audits, and Environmental Science applications such as Phase I and Phase II environmental site assessments, tank closures, hazardous materials management, and wetland services. Mr. Flowers has more than 16 years of expertise in indoor air quality, construction management, wetland services, Phase I and Phase II site assessments, tank closures, Nebraska Department of Environmental Quality and Iowa Department of Natural Resources Tier I and Tier II Risked Based Corrective Action Assessments, Colorado Department of Labor and Employment Division of Oil and Public Safety Site Characterization Reports and Monitoring and Remediation Reports and hazardous materials management. His responsibilities include training, project management, environmental assessments, and indoor air quality investigations. His responsibilities also included marketing, estimating, proposal writing, resource allocation, and project management

PROFESSIONAL EXPERIENCE

Environmental Services

Phase I Environmental Site Assessment Services / Various Sites Throughout United States - Project manager responsible for performing due diligence investigations and environmental sampling for commercial, industrial, and agricultural properties.

Phase I/II Environmental Site Assessment / Various Sites Throughout United States - Directed and managed due diligence investigation and environmental sampling for property transaction.

Nebraska Tier I and Tier II RBCA Assessments - Project Manager on multiple sites in Nebraska and responsible for all facets of the projects including system O&M and report writing.

Iowa Tier 1 and Tier II Assessments - Worked collaboratively with a CGP on multiple sites in Iowa and performed system O&M, groundwater sampling and Project Management duties.

Colorado Site Characterization Reports and Monitoring and Remediation Reports - Project Manager for multiple Leaking Underground Storage Tank Sites in Colorado. Performed Project Manager duties relating to proposals, field work, report writing and system O&M checks. In addition, was involved and assisted with the installation of an O&M System build.

NEPA Reporting Services / Various Sites - Project manager responsible for coordinating and performing NEPA checklist reporting for proposed land development.

Lead-Based Paint Services

Project manager responsible for performing lead-based paint evaluations at industrial, commercial, residential and government sites. Specific services include HUD protocol inspections and risk assessments for the determination and evaluation of potential hazards, EPA/State approved training, developing and evaluating remedial action plans, and demolition/remediation project management.

Lead-Based Paint Testing and Reporting, Iowa, Colorado and Nebraska - State and/or local protocol for inspection and risk assessment services.

(Cont.)

Asbestos Services

Project manager responsible for performing asbestos services at industrial, commercial, residential and government sites. Specific services include AHERA/NESHAP inspections, preparation of project designs and operations and maintenance plans, AHERA 3-year reinspections, NESHAP abatement project management, OSHA/EPA air monitoring, and OSHA training. Asbestos Testing and Reporting, Colorado, Iowa and Nebraska - State and/or local protocol for inspection services.

Industrial Hygiene/Indoor Air Quality Services

Project manager responsible for performing mold, indoor air quality, radon, dust, mercury and noise investigations. Specific services include visual inspections, ambient and personal air monitoring, area monitoring, and clearance sampling. Various Site Throughout Iowa and Nebraska - Conducted baseline OSHA air quality investigations to determine respiratory protection requirements during various construction, demolition and maintenance activities. Various Sites Throughout Iowa and Nebraska - Conducted air quality and noise investigations of numerous buildings. Work included site investigation, data collection and interpretation and site recommendations.

EDUCATION

Bachelors Degree in Physical Education/ Coaching, Midland Lutheran College 2004

TRAINING AND CERTIFICATIONS

- Phase I ESA Due Diligence at Dawn Training Course
- 40-Hour OSHA Hazardous Waste Operations
- EPA AHERA/Nebraska Asbestos Inspector - #1006
- State of Nebraska Licensed Asbestos Supervisor - #6880
- State of Nebraska Lead Abatement Inspector - #35
- State of Iowa Asbestos Inspector - #17-7519
- State of Iowa Inspector/Risk Assessor - #0002679-INSP
- NIOSH 582 Course, Sampling and Evaluating Airborne Asbestos Dust
- State of Nebraska Water Well Monitoring Technician - #79699
- First Aid/CPR

PROFESSIONAL ORGANIZATIONS

- Sarpy County Chamber of Commerce

Cover Sheet

2501 Center

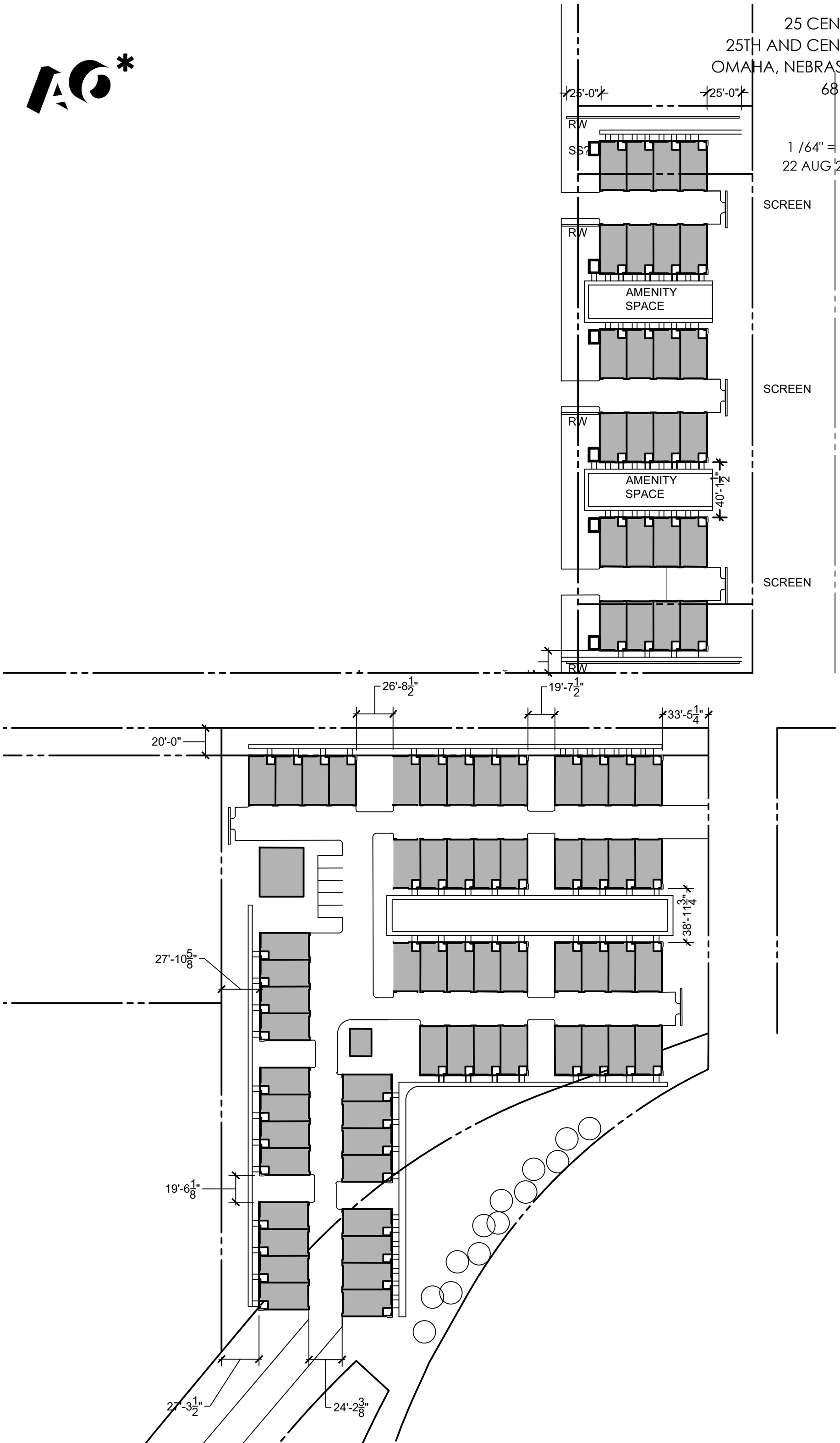
Site Plan, Exterior Elevations, and Interiors

- 1. Note 1: Site plan:** Note that the site plan correctly shows the 59 3-bedroom units on the 2501 Center site but erroneously shows 24 units on the adjacent site. These 24 units will actually be 18 4-bedroom units so the 4-plexes will actually be 3-plexes
- 2. Note 2: Exterior elevations and interiors:** Please refer to the following link: <https://www.juniperrowsdeercreek.com/Marketing/Home/Media>. This includes exterior and interior photos of the aforementioned Juniper Rows at Deer Creek project that 2501 Center will be essentially identical to aesthetically.



25 CENTER
25TH AND CENTER
OMAHA, NEBRASKA
68105

SITE
1/64" = 1'-0"
22 AUG 2022





B2 ENVIRONMENTAL

B2Environmental.com

PHASE II ENVIRONMENTAL SITE ASSESSMENT

**COMMERCIAL PROPERTY
2501 CENTER STREET
OMAHA, NEBRASKA 68105**

Prepared for:

**2501 CENTEROWNER, LLC
1901 HOWARD STREET, SUITE 300
OMAHA, NEBRASKA 68102**

Prepared by:

**B2 ENVIRONMENTAL, INC.
4503 SOUTH 90TH STREET
OMAHA, NEBRASKA 68127**

B2E Project Number: 10373.0040

July 29, 2022

Prepared by:

A handwritten signature in black ink, appearing to read 'Brook Miller'.

**Brook Miller
Environmental Project Manager**

Reviewed by:

A handwritten signature in black ink, appearing to read 'Brock Flowers'.

**Brock Flowers
Environmental Manager**



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LABORATORY ANALYSIS	APPENDIX A
BORING LOCATION MAP	APPENDIX B
SOIL BORING LOG	APPENDIX C



1.0 INTRODUCTION

1.1 General

This report presents the findings and conclusions of the Phase II Environmental Site Assessment of the commercial property located at 2501 Center Street in Omaha, Nebraska, conducted for 2501 CenterOwner, LLC. The report has been prepared in accordance with general Phase II Environmental Site Assessment methodologies as outlined in ASTM E1903-19 and contains all the limitations inherent in these methodologies.

1.2 Authorization

Authorization to perform this assessment was given in the form of an email notice to proceed received on June 14, 2022.

1.3 Purpose

The purpose of the assessment was to provide additional information with respect to the information already provided on the Subject Property. A Phase I ESA was performed at the Subject Property dated September 7, 2021 by B2E which revealed the following *recognized environmental conditions*:

- The Subject Property was identified as a cereal factory with a machine shop and grain bins from at least 1934 to 1969 (35-years). Additionally, the southern portion of the Subject Property was identified as being portions of oil companies with large ASTs present from at least 1934 to 1999 (65-years). The presence of the historical uses of the Subject Property represents a recognized environmental condition based on the known use of petroleum products and common use of petroleum products and hazardous substances in factory operations.
- The adjoining property to the east was identified as various oil companies from at least 1934 to 1999 (65-years). This property contained multiple large ASTs throughout this time period. The presence of the oil companies on the adjoining property to the east represents a recognized environmental condition to the Subject Property.
- The Subject Property is located within the Omaha Lead Superfund NPL area. Several of the Subject Property parcels have a status of either test “high” qualifies for cleanup for not evaluated but does qualify for testing.
- The Subject Property contained a 2,100-gallon diesel UST that was removed in 1990. At the time of removal, no confirmation soil samples were submitted to a laboratory for analysis.
- The adjacent property to the west (2623 Center Street) was identified as SHWS, Brownfields, US Brownfields & RCRA-Non Generator in the EDR Radius Map Report. This site operated as a drum cleaning facility until a fire destroyed it. It was noted that 165 drums and three (3) storage tanks were at the facility that contained solvents and chemical residues.
- The adjoining property to the east/south (1920 South 26th Street & 1946 South 26th Street) was identified as multiple LAST incidents and contained multiple ASTs. The status of some the LAST incidents is still open and pending work with the NDEE.



1.4 Special Terms and Conditions (User Reliance)

This report is for the use and benefit of, and may be relied upon by, Clarity Development, and any of its affiliates, and third parties authorized in writing by Clarity Development, and B2 Environmental, Inc. (B2E). Any third party agrees by accepting this report that any use or reliance on this report shall be limited by the exceptions and limitations in this report, and with the acknowledgment that actual site conditions may change with time, and that hidden conditions may exist at the property that were not discovered within the authorized scope of the assessment. Any use by or distribution of this report to third parties, without the express written consent of B2E, is at the sole risk and expense of such third party.

B2E makes no other representation to any third party except that it has used the degree of care and skill ordinarily exercised by environmental consultants in the preparation of the report and in the assembling of data and information related thereto. No other warranties are made to any third party, either expressed or implied. Unless otherwise agreed upon in writing by B2E and a third party, B2E's liability to any third party authorized to use or rely on this report with respect to any acts or omissions shall be limited to a total maximum amount of \$50,000.

2.0 PROJECT BACKGROUND

2.1 Site Location and Legal Description

The Subject Property is located at 2501 Center Street in Omaha, Nebraska. The Subject Property is situated Section 28, Township 15 North, Range 13 East of the 6th Principal Meridian in Douglas County, Nebraska. A boring location map is presented as Figure 1 in Appendix B.

2.2 Site and Vicinity General Characteristics

The Subject Property and surrounding areas are generally comprised of commercial or residential uses.

3.0 FIELD EXPLORATION

3.1 Scope

Originally B2E proposed four (4) borings as part of the assessment. B2E decided to complete just two (2) borings in the areas of the former ASTs. Field sampling and testing methods were in general accordance with the procedures outlined by applicable Nebraska Department of Environment Energy (NDEE), Risked Based Corrective Action guidelines.

The investigation equipment and all other materials utilized in the soil sampling were decontaminated prior to and between each boring installation and sample collection, as appropriate.

3.2 General

The description of subsurface conditions provided herein is intended to be of general in nature.

3.3 Regional Geology

According to the U.S. Department of Agriculture (USDA) Soil Conservation Service (SCS) data, the dominant soil composition in the general area of the Subject Property consists of Monona – Silt Loam.

3.4 Site Stratigraphy

See Appendix C for detailed boring logs.



3.5 Groundwater

Based on measured groundwater depths general groundwater flow at the Subject Property is estimated to be to the south.

3.6 Soil Sampling

Soil samples were collected continuously in 2.0-foot intervals from ground surface to 8'-12' below ground surface (bgs) utilizing a 1 ¼ inch diameter, 2-goot long, split spoon sampler. The soil encountered during drilling was visually logged using the Unified Soils Classification System. As the soil sample was obtained, it is placed in a sterile, Ziploc bag that is secured. The sample was placed in a 70 to 80 degrees Fahrenheit environment for approximately thirty minutes. The reading of volatile organic vapors was obtained, with a Multi-Rae Lite photo ionization detector (PID), by puncturing the bag with the probe allowing the air accumulated in the bag to be analyzed. Head space screenings did indicate the presence of volatile organics in all borings.

3.7 Groundwater Sampling

A grab groundwater sample was collected from the soil borings. A disposable bailer was used to remove approximately 1 gallon of water from the sample location prior to the collection of the groundwater samples for laboratory analysis. Groundwater measurements at the Subject Property indicate the static water level to be at depths of approximately 6.18-feet below ground surface (bgs).

4.0 LABORATORY ANALYSIS RESULTS

4.1 General

As proposed, laboratory testing included volatile organic compounds (VOCs) by EPA Method 8260 and Total Petroleum Hydrocarbons (TPH) quantified as diesel fuel, motor oil and gasoline per Nebraska OA-2 method. Laboratory testing methods were in general accordance with those outlined by applicable NDEE RBCA guidelines. Table 1 below summarizes the sampling activities.

Table 1: Location, Depth and Type of Samples Collected

Sample Number	Sample Type	Location	Depth (ft)	Date Collected
SB-1	Soil	Former AST Area	2.0-4.0	July 5 th , 2022
SB-1	Groundwater	Former AST Area	-	July 5 th , 2022
SB-2	Soil	Former AST Area	2.0-4.0	July 5 th , 2022
SB-2	Groundwater	Former AST Area	-	July 5 th , 2022
SB-3	Soil	Former UST Area	4.0-6.0	July 5 th , 2022
SB-3	Groundwater	Former UST Area	-	July 5 th , 2022



5.0 CONTAMINANTION ASSESMENT

Soil samples analyzed from SB-1 & SB-2 did contain detections for chemicals of concern (COC's). Groundwater samples from SB-1, SB-2 & SB-3 also contained detections for chemicals of concern. The following sections provides a discussion of the results of laboratory analysis. A complete list of analytical results can be found in Appendix A.

Table 2 – Results of Chemical Analysis (VOCs & OA-2) - Soil (results in mg/kg)

Sample	Benzene	Ethyl benzene	Naphthalene	Toluene	Xylene	n-Hexane	Diesel Fuel	Waste Oil
SB-1 (2.0'-4.0')	ND	ND	ND	ND	ND	ND	422	13.5
SB-2 (2.0'-4.0')	ND	0.895	7.91	ND	ND	0.502	13,600	1,140
SB-3 (4.0'-6.0')	ND	ND	ND	ND	ND	ND	ND	ND
NDEE Risked Based Screening Levels	-	4.370	32.2	-	-	1.670	770	152,666

Bold=Above Regulatory Levels ND-Not Detect

Table 3 – Results of Chemical Analysis (VOCs & OA-2) – Groundwater (results in mg/L)

Sample	Benzene	Ethyl benzene	MTBE	Toluene	Xylene	n-Hexane	Diesel Fuel	Waste Oil
SB-1	ND	ND	ND	ND	ND	ND	12.5	0.52
SB-2	0.616	2.62	ND	ND	2.78	4.62	215	13.9
SB-3	ND	0.002	ND	ND	ND	ND	0.45	0.44
NDEE Risked Based Screening Levels	0.005	0.700	-	-	10.0	4.0	10.00	6.66

Bold=Above Regulatory Levels ND-Not Detect

6.0 CONCLUSIONS

Based on the results of this Phase II Environmental Site assessment, evidence was found to indicate environmental impact from chemicals of concern in soil and groundwater at the Subject Property. Specifically, soil in SB-2 was above regulatory levels for Diesel Fuel, groundwater in SB-1 was above regulatory levels for Diesel Fuel and groundwater in SB-2 was above regulatory levels for Benzene, Ethylbenzene, n-Hexane, Diesel Fuel and Waste Oil.

7.0 RECOMMENDATIONS

Based on the results of this Phase II Environmental Site Assessment B2E recommends the following:

- The project is still feasible, however, similar past situations, B2E recommends that during the construction of the 5-story multi-family and adjacent townhouses, that if contaminated soils in encountered, it would need to be properly handled and/or disposed of per state/local regulations. Additionally, similar to past situations we would recommend the installation of a vapor barrier during the course of construction.

8.0 REFERENCES

The published reference sources relied upon in preparing this Phase II Environmental Site Assessment are identified below:

- USGS Topographic Map, National Map Viewer
- Natural Resources Conservation Service (NRCS) Soil Survey Map



APPENDIX A

LABORATORY ANALYTICAL DATA

July 20, 2022

Mr. Brock Flowers
B2 Environmental Inc
4503 South 90th Street
Omaha, NE 68127

RE: Project: Clarity/110373.0040
Pace Project No.: 60404978

Dear Mr. Flowers:


Enclosed are the analytical results for sample(s) received by the laboratory on July 07, 2022. The results relate only to the samples included in this report. Results reported herein conform to the applicable TNI/NELAC Standards and the laboratory's Quality Manual, where applicable, unless otherwise noted in the body of the report.

The test results provided in this final report were generated by each of the following laboratories within the Pace Network:

- Pace Analytical Services - Kansas City

If you have any questions concerning this report, please feel free to contact me.

Sincerely,



Trudy Gipson
trudy.gipson@pacelabs.com
1(913)563-1405
Project Manager

Enclosures



REPORT OF LABORATORY ANALYSIS

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CERTIFICATIONS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Pace Analytical Services Kansas

9608 Loiret Boulevard, Lenexa, KS 66219

Missouri Inorganic Drinking Water Certification #: 10090

Arkansas Drinking Water

Arkansas Certification #: 22-031-0

Arkansas Drinking Water

Illinois Certification #: 2000302021-3

Iowa Certification #: 118

Kansas/NELAP Certification #: E-10116

Louisiana Certification #: 03055

Nevada Certification #: KS000212020-2

Oklahoma Certification #: 9205/9935

Florida: Cert E871149 SEKS WET

Texas Certification #: T104704407-21-15

Utah Certification #: KS000212019-9

Illinois Certification #: 004592

Kansas Field Laboratory Accreditation: # E-92587

Missouri SEKS Micro Certification: 10070

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SAMPLE SUMMARY

Project: Clarity/110373.0040

Pace Project No.: 60404978

Lab ID	Sample ID	Matrix	Date Collected	Date Received
60404978001	SB-1	Solid	07/05/22 09:45	07/07/22 05:30
60404978002	SB-1	Water	07/05/22 12:51	07/07/22 05:30
60404978003	SB-2	Solid	07/05/22 10:30	07/07/22 05:30
60404978004	SB-2	Water	07/05/22 13:16	07/07/22 05:30
60404978005	SB-3	Solid	07/06/22 11:05	07/07/22 05:30
60404978006	SB-3	Water	07/06/22 12:45	07/07/22 05:30

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SAMPLE ANALYTE COUNT

Project: Clarity/110373.0040

Pace Project No.: 60404978

Lab ID	Sample ID	Method	Analysts	Analytes Reported	Laboratory
60404978001	SB-1	OA2	WFG	5	PASI-K
		EPA 8260B	CSC	10	PASI-K
		ASTM D2974	DWC	1	PASI-K
60404978002	SB-1	OA2	WFG	5	PASI-K
		EPA 8260B	CSC	11	PASI-K
		ASTM D2974	DWC	1	PASI-K
60404978003	SB-2	OA2	WFG	5	PASI-K
		EPA 8260B	CSC	10	PASI-K
		ASTM D2974	DWC	1	PASI-K
60404978004	SB-2	OA2	WFG	5	PASI-K
		EPA 8260B	JLO	11	PASI-K
		ASTM D2974	DWC	1	PASI-K
60404978005	SB-3	OA2	WFG	5	PASI-K
		EPA 8260B	CSC	10	PASI-K
		ASTM D2974	DWC	1	PASI-K
60404978006	SB-3	OA2	WFG	5	PASI-K
		EPA 8260B	JLO	11	PASI-K

PASI-K = Pace Analytical Services - Kansas City

REPORT OF LABORATORY ANALYSIS

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ANALYTICAL RESULTS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Sample: SB-1 **Lab ID: 60404978001** Collected: 07/05/22 09:45 Received: 07/07/22 05:30 Matrix: Solid

Results reported on a "dry weight" basis and are adjusted for percent moisture, sample size and any dilutions.

Parameters	Results	Units	Report Limit	DF	Prepared	Analyzed	CAS No.	Qual
OA2 GCS		Analytical Method: OA2 Preparation Method: EPA 3546 Pace Analytical Services - Kansas City						
Diesel Fuel	422	mg/kg	12.3	1	07/11/22 20:42	07/13/22 07:06	68334-30-5	M1
Gasoline	281	mg/kg	12.3	1	07/11/22 20:42	07/13/22 07:06	8006-61-9	
Waste Oil	13.5	mg/kg	12.3	1	07/11/22 20:42	07/13/22 07:06		
Surrogates								
n-Tetracosane (S)	92	%	10-154	1	07/11/22 20:42	07/13/22 07:06	646-31-1	
p-Terphenyl (S)	81	%	55-128	1	07/11/22 20:42	07/13/22 07:06	92-94-4	
8260 MSV UST 5030 Med Level		Analytical Method: EPA 8260B Preparation Method: EPA 5035/5030B Pace Analytical Services - Kansas City						
Benzene	ND	ug/kg	67.9	1	07/13/22 13:54	07/14/22 03:50	71-43-2	
Ethylbenzene	ND	ug/kg	67.9	1	07/13/22 13:54	07/14/22 03:50	100-41-4	
n-Hexane	ND	ug/kg	340	1	07/13/22 13:54	07/14/22 03:50	110-54-3	
Methyl-tert-butyl ether	ND	ug/kg	67.9	1	07/13/22 13:54	07/14/22 03:50	1634-04-4	
Naphthalene	ND	ug/kg	340	1	07/13/22 13:54	07/14/22 03:50	91-20-3	
Toluene	ND	ug/kg	136	1	07/13/22 13:54	07/14/22 03:50	108-88-3	
Xylene (Total)	ND	ug/kg	340	1	07/13/22 13:54	07/14/22 03:50	1330-20-7	
Surrogates								
4-Bromofluorobenzene (S)	101	%	80-120	1	07/13/22 13:54	07/14/22 03:50	460-00-4	
Toluene-d8 (S)	101	%	80-120	1	07/13/22 13:54	07/14/22 03:50	2037-26-5	
1,2-Dichlorobenzene-d4 (S)	98	%	80-120	1	07/13/22 13:54	07/14/22 03:50	2199-69-1	
Percent Moisture		Analytical Method: ASTM D2974 Pace Analytical Services - Kansas City						
Percent Moisture	20.0	%	0.50	1		07/14/22 11:46		

REPORT OF LABORATORY ANALYSIS

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ANALYTICAL RESULTS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Sample: SB-1	Lab ID: 60404978002	Collected: 07/05/22 12:51		Received: 07/07/22 05:30		Matrix: Water		
Parameters	Results	Units	Report Limit	DF	Prepared	Analyzed	CAS No.	Qual
OA2 GCS		Analytical Method: OA2 Preparation Method: OA2 Pace Analytical Services - Kansas City						
Diesel Fuel	12.5	mg/L	0.44	1	07/11/22 13:22	07/11/22 16:20	68334-30-5	
Gasoline	9.3	mg/L	0.44	1	07/11/22 13:22	07/11/22 16:20	8006-61-9	
Waste Oil	0.52	mg/L	0.44	1	07/11/22 13:22	07/11/22 16:20		
Surrogates								
p-Terphenyl (S)	74	%	30-115	1	07/11/22 13:22	07/11/22 16:20	92-94-4	
n-Tetracosane (S)	81	%	30-110	1	07/11/22 13:22	07/11/22 16:20	646-31-1	
8260 MSV UST, Water		Analytical Method: EPA 8260B Pace Analytical Services - Kansas City						
Benzene	ND	ug/L	1.0	1		07/19/22 20:00	71-43-2	
Ethylbenzene	ND	ug/L	1.0	1		07/19/22 20:00	100-41-4	
n-Hexane	ND	ug/L	10.0	1		07/19/22 20:00	110-54-3	
Methyl-tert-butyl ether	ND	ug/L	1.0	1		07/19/22 20:00	1634-04-4	
Naphthalene	ND	ug/L	10.0	1		07/19/22 20:00	91-20-3	
Toluene	ND	ug/L	1.0	1		07/19/22 20:00	108-88-3	
Xylene (Total)	ND	ug/L	3.0	1		07/19/22 20:00	1330-20-7	
Surrogates								
Toluene-d8 (S)	100	%	80-120	1		07/19/22 20:00	2037-26-5	
4-Bromofluorobenzene (S)	103	%	80-120	1		07/19/22 20:00	460-00-4	
1,2-Dichlorobenzene-d4 (S)	99	%	80-120	1		07/19/22 20:00	2199-69-1	
Preservation pH	1.0		1.0	1		07/19/22 20:00		

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ANALYTICAL RESULTS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Sample: SB-2 **Lab ID: 60404978003** Collected: 07/05/22 10:30 Received: 07/07/22 05:30 Matrix: Solid

Results reported on a "dry weight" basis and are adjusted for percent moisture, sample size and any dilutions.

Parameters	Results	Units	Report Limit	DF	Prepared	Analyzed	CAS No.	Qual
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OA2 GCS

Analytical Method: OA2 Preparation Method: EPA 3546
Pace Analytical Services - Kansas City

Diesel Fuel	13600	mg/kg	1230	100	07/11/22 20:42	07/13/22 07:53	68334-30-5	
Gasoline	7940	mg/kg	1230	100	07/11/22 20:42	07/13/22 07:53	8006-61-9	
Waste Oil	1140	mg/kg	123	10	07/11/22 20:42	07/13/22 07:42		
Surrogates								
n-Tetracosane (S)	0	%	10-154	10	07/11/22 20:42	07/13/22 07:42	646-31-1	S4
p-Terphenyl (S)	0	%	55-128	10	07/11/22 20:42	07/13/22 07:42	92-94-4	S4

8260 MSV UST 5030 Med Level

Analytical Method: EPA 8260B Preparation Method: EPA 5035/5030B
Pace Analytical Services - Kansas City

Benzene	ND	ug/kg	328	5	07/13/22 13:54	07/14/22 04:04	71-43-2	
Ethylbenzene	895	ug/kg	328	5	07/13/22 13:54	07/14/22 04:04	100-41-4	
n-Hexane	502J	ug/kg	1640	5	07/13/22 13:54	07/14/22 04:04	110-54-3	
Methyl-tert-butyl ether	ND	ug/kg	328	5	07/13/22 13:54	07/14/22 04:04	1634-04-4	
Naphthalene	7910	ug/kg	1640	5	07/13/22 13:54	07/14/22 04:04	91-20-3	
Toluene	ND	ug/kg	657	5	07/13/22 13:54	07/14/22 04:04	108-88-3	
Xylene (Total)	ND	ug/kg	1640	5	07/13/22 13:54	07/14/22 04:04	1330-20-7	
Surrogates								
4-Bromofluorobenzene (S)	103	%	80-120	5	07/13/22 13:54	07/14/22 04:04	460-00-4	
Toluene-d8 (S)	101	%	80-120	5	07/13/22 13:54	07/14/22 04:04	2037-26-5	
1,2-Dichlorobenzene-d4 (S)	101	%	80-120	5	07/13/22 13:54	07/14/22 04:04	2199-69-1	

Percent Moisture

Analytical Method: ASTM D2974
Pace Analytical Services - Kansas City

Percent Moisture	19.1	%	0.50	1	07/14/22 11:46			
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REPORT OF LABORATORY ANALYSIS

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ANALYTICAL RESULTS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Sample: SB-2	Lab ID: 60404978004	Collected: 07/05/22 13:16		Received: 07/07/22 05:30		Matrix: Water		
Parameters	Results	Units	Report Limit	DF	Prepared	Analyzed	CAS No.	Qual
OA2 GCS								
Analytical Method: OA2 Preparation Method: OA2								
Pace Analytical Services - Kansas City								
Diesel Fuel	215	mg/L	4.0	10	07/11/22 13:22	07/11/22 16:36	68334-30-5	
Gasoline	276	mg/L	40.0	100	07/11/22 13:22	07/11/22 16:45	8006-61-9	
Waste Oil	13.9	mg/L	0.40	1	07/11/22 13:22	07/11/22 16:28		
Surrogates								
p-Terphenyl (S)	84	%	30-115	1	07/11/22 13:22	07/11/22 16:28	92-94-4	
n-Tetracosane (S)	97	%	30-110	1	07/11/22 13:22	07/11/22 16:28	646-31-1	
8260 MSV UST, Water								
Analytical Method: EPA 8260B								
Pace Analytical Services - Kansas City								
Benzene	616	ug/L	250	250			07/18/22 15:02	71-43-2
Ethylbenzene	2620	ug/L	250	250			07/18/22 15:02	100-41-4
n-Hexane	4620	ug/L	2500	250			07/18/22 15:02	110-54-3
Methyl-tert-butyl ether	ND	ug/L	250	250			07/18/22 15:02	1634-04-4
Naphthalene	3460	ug/L	2500	250			07/18/22 15:02	91-20-3
Toluene	ND	ug/L	250	250			07/18/22 15:02	108-88-3
Xylene (Total)	2780	ug/L	750	250			07/18/22 15:02	1330-20-7
Surrogates								
Toluene-d8 (S)	94	%	80-120	250			07/18/22 15:02	2037-26-5
4-Bromofluorobenzene (S)	96	%	80-120	250			07/18/22 15:02	460-00-4
1,2-Dichlorobenzene-d4 (S)	101	%	80-120	250			07/18/22 15:02	2199-69-1
Preservation pH	1.0		1.0	250			07/18/22 15:02	

REPORT OF LABORATORY ANALYSIS

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ANALYTICAL RESULTS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Sample: SB-3 **Lab ID: 60404978005** Collected: 07/06/22 11:05 Received: 07/07/22 05:30 Matrix: Solid

Results reported on a "dry weight" basis and are adjusted for percent moisture, sample size and any dilutions.

Parameters	Results	Units	Report Limit	DF	Prepared	Analyzed	CAS No.	Qual
OA2 GCS		Analytical Method: OA2 Preparation Method: EPA 3546 Pace Analytical Services - Kansas City						
Diesel Fuel	ND	mg/kg	12.2	1	07/11/22 20:42	07/13/22 08:11	68334-30-5	
Gasoline	ND	mg/kg	12.2	1	07/11/22 20:42	07/13/22 08:11	8006-61-9	
Waste Oil	ND	mg/kg	12.2	1	07/11/22 20:42	07/13/22 08:11		
Surrogates								
n-Tetracosane (S)	104	%	10-154	1	07/11/22 20:42	07/13/22 08:11	646-31-1	
p-Terphenyl (S)	92	%	55-128	1	07/11/22 20:42	07/13/22 08:11	92-94-4	
8260 MSV UST 5030 Med Level		Analytical Method: EPA 8260B Preparation Method: EPA 5035/5030B Pace Analytical Services - Kansas City						
Benzene	ND	ug/kg	69.8	1	07/13/22 13:54	07/14/22 04:19	71-43-2	
Ethylbenzene	ND	ug/kg	69.8	1	07/13/22 13:54	07/14/22 04:19	100-41-4	
n-Hexane	ND	ug/kg	349	1	07/13/22 13:54	07/14/22 04:19	110-54-3	
Methyl-tert-butyl ether	ND	ug/kg	69.8	1	07/13/22 13:54	07/14/22 04:19	1634-04-4	
Naphthalene	ND	ug/kg	349	1	07/13/22 13:54	07/14/22 04:19	91-20-3	
Toluene	ND	ug/kg	140	1	07/13/22 13:54	07/14/22 04:19	108-88-3	
Xylene (Total)	ND	ug/kg	349	1	07/13/22 13:54	07/14/22 04:19	1330-20-7	
Surrogates								
4-Bromofluorobenzene (S)	101	%	80-120	1	07/13/22 13:54	07/14/22 04:19	460-00-4	
Toluene-d8 (S)	103	%	80-120	1	07/13/22 13:54	07/14/22 04:19	2037-26-5	
1,2-Dichlorobenzene-d4 (S)	100	%	80-120	1	07/13/22 13:54	07/14/22 04:19	2199-69-1	
Percent Moisture		Analytical Method: ASTM D2974 Pace Analytical Services - Kansas City						
Percent Moisture	18.8	%	0.50	1		07/14/22 11:46		

REPORT OF LABORATORY ANALYSIS

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ANALYTICAL RESULTS

Project: Clarity/110373.0040

Pace Project No.: 60404978

Sample: SB-3	Lab ID: 60404978006	Collected: 07/06/22 12:45	Received: 07/07/22 05:30	Matrix: Water				
Parameters	Results	Units	Report Limit	DF	Prepared	Analyzed	CAS No.	Qual
OA2 GCS								
Analytical Method: OA2 Preparation Method: OA2								
Pace Analytical Services - Kansas City								
Diesel Fuel	0.45	mg/L	0.36	1	07/11/22 13:22	07/11/22 16:53	68334-30-5	
Gasoline	0.42	mg/L	0.36	1	07/11/22 13:22	07/11/22 16:53	8006-61-9	
Waste Oil	0.44	mg/L	0.36	1	07/11/22 13:22	07/11/22 16:53		
Surrogates								
p-Terphenyl (S)	76	%	30-115	1	07/11/22 13:22	07/11/22 16:53	92-94-4	
n-Tetracosane (S)	84	%	30-110	1	07/11/22 13:22	07/11/22 16:53	646-31-1	
8260 MSV UST, Water								
Analytical Method: EPA 8260B								
Pace Analytical Services - Kansas City								
Benzene	ND	ug/L	1.0	1		07/18/22 12:16	71-43-2	
Ethylbenzene	2.0	ug/L	1.0	1		07/18/22 12:16	100-41-4	
n-Hexane	ND	ug/L	10.0	1		07/18/22 12:16	110-54-3	
Methyl-tert-butyl ether	ND	ug/L	1.0	1		07/18/22 12:16	1634-04-4	
Naphthalene	ND	ug/L	10.0	1		07/18/22 12:16	91-20-3	
Toluene	ND	ug/L	1.0	1		07/18/22 12:16	108-88-3	
Xylene (Total)	ND	ug/L	3.0	1		07/18/22 12:16	1330-20-7	
Surrogates								
Toluene-d8 (S)	92	%	80-120	1		07/18/22 12:16	2037-26-5	
4-Bromofluorobenzene (S)	93	%	80-120	1		07/18/22 12:16	460-00-4	
1,2-Dichlorobenzene-d4 (S)	101	%	80-120	1		07/18/22 12:16	2199-69-1	
Preservation pH	1.0		1.0	1		07/18/22 12:16		

REPORT OF LABORATORY ANALYSIS

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QUALITY CONTROL DATA

Project: Clarity/110373.0040
Pace Project No.: 60404978

QC Batch: 797383 Analysis Method: EPA 8260B
QC Batch Method: EPA 5035/5030B Analysis Description: 8260 MSV 5030 Med
Laboratory: Pace Analytical Services - Kansas City

Associated Lab Samples: 60404978001, 60404978003, 60404978005

METHOD BLANK: 3176501 Matrix: Solid

Associated Lab Samples: 60404978001, 60404978003, 60404978005

Parameter	Units	Blank Result	Reporting Limit	Analyzed	Qualifiers
Benzene	ug/kg	ND	50.0	07/14/22 01:09	
Ethylbenzene	ug/kg	ND	50.0	07/14/22 01:09	
Methyl-tert-butyl ether	ug/kg	ND	50.0	07/14/22 01:09	
n-Hexane	ug/kg	ND	250	07/14/22 01:09	
Naphthalene	ug/kg	ND	250	07/14/22 01:09	
Toluene	ug/kg	ND	100	07/14/22 01:09	
Xylene (Total)	ug/kg	ND	250	07/14/22 01:09	
1,2-Dichlorobenzene-d4 (S)	%	99	80-120	07/14/22 01:09	
4-Bromofluorobenzene (S)	%	100	80-120	07/14/22 01:09	
Toluene-d8 (S)	%	100	80-120	07/14/22 01:09	

LABORATORY CONTROL SAMPLE: 3176502

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
Benzene	ug/kg	2000	1980	99	75-125	
Ethylbenzene	ug/kg	2000	1890	94	80-130	
Methyl-tert-butyl ether	ug/kg	2000	1940	97	75-130	
n-Hexane	ug/kg	2000	1640	82	55-150	
Naphthalene	ug/kg	2000	1970	99	80-120	
Toluene	ug/kg	2000	1920	96	80-120	
Xylene (Total)	ug/kg	6000	5610	93	80-125	
1,2-Dichlorobenzene-d4 (S)	%			101	80-120	
4-Bromofluorobenzene (S)	%			102	80-120	
Toluene-d8 (S)	%			100	80-120	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 3176503 3176504

Parameter	Units	60405004001 Result	MS		MSD		MS % Rec	MSD % Rec	% Rec Limits	RPD	Max RPD	Qual
			Spike Conc.	MS Result	Spike Conc.	MSD Result						
Benzene	ug/kg	ND	2390	2390	2370	2490	99	104	45-130	5	35	
Ethylbenzene	ug/kg	ND	2390	2390	2450	2510	102	105	35-140	3	35	
Methyl-tert-butyl ether	ug/kg	ND	2390	2390	2270	2450	95	103	35-140	7	35	
n-Hexane	ug/kg	0.64	2390	2390	2960	3340	97	113	10-150	12	35	
Naphthalene	ug/kg	0.87	2390	2390	3320	4050	103	133	10-160	20	35	
Toluene	ug/kg	ND	2390	2390	2310	2450	97	103	40-135	6	35	
Xylene (Total)	ug/kg	ND	7160	7160	7040	7470	98	104	30-145	6	35	

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QUALITY CONTROL DATA

Project: Clarity/110373.0040

Pace Project No.: 60404978

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 3176503 3176504												
Parameter	Units	60405004001 Result	MS	MSD	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limits	RPD	Max RPD	Qual
			Spike Conc.	Spike Conc.								
1,2-Dichlorobenzene-d4 (S)	%							97	99	80-120		
4-Bromofluorobenzene (S)	%							99	99	80-120		
Toluene-d8 (S)	%							99	100	80-120		

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QUALITY CONTROL DATA

Project: Clarity/110373.0040

Pace Project No.: 60404978

QC Batch: 798067

Analysis Method: EPA 8260B

QC Batch Method: EPA 8260B

Analysis Description: 8260 MSV UST-WATER

Laboratory: Pace Analytical Services - Kansas City

Associated Lab Samples: 60404978004, 60404978006

METHOD BLANK: 3178758

Matrix: Water

Associated Lab Samples: 60404978004, 60404978006

Parameter	Units	Blank Result	Reporting Limit	Analyzed	Qualifiers
Benzene	ug/L	ND	1.0	07/18/22 12:00	
Ethylbenzene	ug/L	ND	1.0	07/18/22 12:00	
Methyl-tert-butyl ether	ug/L	ND	1.0	07/18/22 12:00	
n-Hexane	ug/L	ND	10.0	07/18/22 12:00	
Naphthalene	ug/L	ND	10.0	07/18/22 12:00	
Toluene	ug/L	ND	1.0	07/18/22 12:00	
Xylene (Total)	ug/L	ND	3.0	07/18/22 12:00	
1,2-Dichlorobenzene-d4 (S)	%	100	80-120	07/18/22 12:00	
4-Bromofluorobenzene (S)	%	92	80-120	07/18/22 12:00	
Toluene-d8 (S)	%	92	80-120	07/18/22 12:00	

LABORATORY CONTROL SAMPLE: 3178759

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
Benzene	ug/L	20	19.2	96	80-120	
Ethylbenzene	ug/L	20	17.5	88	80-120	
Methyl-tert-butyl ether	ug/L	20	18.3	92	65-130	
n-Hexane	ug/L	20	18.3	91	60-135	
Naphthalene	ug/L	20	14.9	75	70-120	
Toluene	ug/L	20	17.1	86	80-120	
Xylene (Total)	ug/L	60	52.2	87	80-120	
1,2-Dichlorobenzene-d4 (S)	%			99	80-120	
4-Bromofluorobenzene (S)	%			92	80-120	
Toluene-d8 (S)	%			95	80-120	

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QUALITY CONTROL DATA

Project: Clarity/110373.0040
Pace Project No.: 60404978

QC Batch: 798417	Analysis Method: EPA 8260B
QC Batch Method: EPA 8260B	Analysis Description: 8260 MSV UST-WATER
	Laboratory: Pace Analytical Services - Kansas City

Associated Lab Samples: 60404978002

METHOD BLANK: 3179918 Matrix: Water

Associated Lab Samples: 60404978002

Parameter	Units	Blank Result	Reporting Limit	Analyzed	Qualifiers
Benzene	ug/L	ND	1.0	07/19/22 15:20	
Ethylbenzene	ug/L	ND	1.0	07/19/22 15:20	
Methyl-tert-butyl ether	ug/L	ND	1.0	07/19/22 15:20	
n-Hexane	ug/L	ND	10.0	07/19/22 15:20	
Naphthalene	ug/L	ND	10.0	07/19/22 15:20	
Toluene	ug/L	ND	1.0	07/19/22 15:20	
Xylene (Total)	ug/L	ND	3.0	07/19/22 15:20	
1,2-Dichlorobenzene-d4 (S)	%	99	80-120	07/19/22 15:20	
4-Bromofluorobenzene (S)	%	99	80-120	07/19/22 15:20	
Toluene-d8 (S)	%	100	80-120	07/19/22 15:20	

LABORATORY CONTROL SAMPLE: 3179919

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
Benzene	ug/L	20	20.8	104	80-120	
Ethylbenzene	ug/L	20	20.0	100	80-120	
Methyl-tert-butyl ether	ug/L	20	19.9	100	65-130	
n-Hexane	ug/L	20	19.9	99	60-135	
Naphthalene	ug/L	20	21.4	107	70-120	
Toluene	ug/L	20	20.2	101	80-120	
Xylene (Total)	ug/L	60	59.5	99	80-120	
1,2-Dichlorobenzene-d4 (S)	%			100	80-120	
4-Bromofluorobenzene (S)	%			100	80-120	
Toluene-d8 (S)	%			100	80-120	

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QUALITY CONTROL DATA

Project: Clarity/110373.0040

Pace Project No.: 60404978

QC Batch:	796755	Analysis Method:	OA2
QC Batch Method:	EPA 3546	Analysis Description:	OA2 GCS
		Laboratory:	Pace Analytical Services - Kansas City

Associated Lab Samples: 60404978001, 60404978003, 60404978005

METHOD BLANK: 3174360 Matrix: Solid
Associated Lab Samples: 60404978001, 60404978003, 60404978005

Parameter	Units	Blank Result	Reporting Limit	Analyzed	Qualifiers
Diesel Fuel	mg/kg	ND	9.9	07/13/22 06:41	
Gasoline	mg/kg	ND	9.9	07/13/22 06:41	
Waste Oil	mg/kg	ND	9.9	07/13/22 06:41	
n-Tetracosane (S)	%	99	10-154	07/13/22 06:41	
p-Terphenyl (S)	%	85	55-128	07/13/22 06:41	

LABORATORY CONTROL SAMPLE: 3174361

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
Diesel Fuel	mg/kg	82.9	81.4	98	72-123	
n-Tetracosane (S)	%			110	10-154	
p-Terphenyl (S)	%			99	55-128	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 3174362 3174363

Parameter	Units	60404978001		3174363		MS % Rec	MSD % Rec	% Rec Limits	RPD	Max RPD	Qual
		MS Result	MS Spike Conc.	MSD Result	MSD Spike Conc.						
Diesel Fuel	mg/kg	422	102	580	103	154	351	60-140	30	39	M1
n-Tetracosane (S)	%					103	114	10-154			
p-Terphenyl (S)	%					78	87	55-128			

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QUALITY CONTROL DATA

Project: Clarity/110373.0040

Pace Project No.: 60404978

QC Batch: 796708

Analysis Method: OA2

QC Batch Method: OA2

Analysis Description: OA2 GCS

Laboratory: Pace Analytical Services - Kansas City

Associated Lab Samples: 60404978002, 60404978004, 60404978006

METHOD BLANK: 3174229

Matrix: Water

Associated Lab Samples: 60404978002, 60404978004, 60404978006

Parameter	Units	Blank Result	Reporting Limit	Analyzed	Qualifiers
Diesel Fuel	mg/L	ND	0.40	07/11/22 16:04	
Gasoline	mg/L	ND	0.40	07/11/22 16:04	
Waste Oil	mg/L	ND	0.40	07/11/22 16:04	
n-Tetracosane (S)	%	52	30-110	07/11/22 16:04	
p-Terphenyl (S)	%	51	30-115	07/11/22 16:04	

LABORATORY CONTROL SAMPLE: 3174230

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
Diesel Fuel	mg/L	12.5	7.1	57	25-110	
n-Tetracosane (S)	%			85	30-110	
p-Terphenyl (S)	%			81	30-115	

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QUALITY CONTROL DATA

Project: Clarity/110373.0040

Pace Project No.: 60404978

QC Batch: 797493

Analysis Method: ASTM D2974

QC Batch Method: ASTM D2974

Analysis Description: Dry Weight/Percent Moisture

Laboratory: Pace Analytical Services - Kansas City

Associated Lab Samples: 60404978001, 60404978003, 60404978005

METHOD BLANK: 3176883

Matrix: Solid

Associated Lab Samples: 60404978001, 60404978003, 60404978005

Parameter	Units	Blank Result	Reporting Limit	Analyzed	Qualifiers
Percent Moisture	%	ND	0.50	07/14/22 11:45	

SAMPLE DUPLICATE: 3176884

Parameter	Units	60404897001 Result	Dup Result	RPD	Max RPD	Qualifiers
Percent Moisture	%	15.9	16.0	0	20	

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REPORT OF LABORATORY ANALYSIS

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QUALIFIERS

Project: Clarity/110373.0040

Pace Project No.: 60404978

DEFINITIONS

DF - Dilution Factor, if reported, represents the factor applied to the reported data due to dilution of the sample aliquot.

ND - Not Detected at or above adjusted reporting limit.

TNTC - Too Numerous To Count

J - Estimated concentration above the adjusted method detection limit and below the adjusted reporting limit.

MDL - Adjusted Method Detection Limit.

PQL - Practical Quantitation Limit.

RL - Reporting Limit - The lowest concentration value that meets project requirements for quantitative data with known precision and bias for a specific analyte in a specific matrix.

S - Surrogate

1,2-Diphenylhydrazine decomposes to and cannot be separated from Azobenzene using Method 8270. The result for each analyte is a combined concentration.

Consistent with EPA guidelines, unrounded data are displayed and have been used to calculate % recovery and RPD values.

LCS(D) - Laboratory Control Sample (Duplicate)

MS(D) - Matrix Spike (Duplicate)

DUP - Sample Duplicate

RPD - Relative Percent Difference

NC - Not Calculable.

SG - Silica Gel - Clean-Up

U - Indicates the compound was analyzed for, but not detected.

N-Nitrosodiphenylamine decomposes and cannot be separated from Diphenylamine using Method 8270. The result reported for each analyte is a combined concentration.

Reported results are not rounded until the final step prior to reporting. Therefore, calculated parameters that are typically reported as "Total" may vary slightly from the sum of the reported component parameters.

Pace Analytical is TNI accredited. Contact your Pace PM for the current list of accredited analytes.

TNI - The NELAC Institute.

ANALYTE QUALIFIERS

M1 Matrix spike recovery exceeded QC limits. Batch accepted based on laboratory control sample (LCS) recovery.

S4 Surrogate recovery not evaluated against control limits due to sample dilution.

REPORT OF LABORATORY ANALYSIS

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QUALITY CONTROL DATA CROSS REFERENCE TABLE

Project: Clarity/110373.0040

Pace Project No.: 60404978

Lab ID	Sample ID	QC Batch Method	QC Batch	Analytical Method	Analytical Batch
60404978001	SB-1	EPA 3546	796755	OA2	796947
60404978003	SB-2	EPA 3546	796755	OA2	796947
60404978005	SB-3	EPA 3546	796755	OA2	796947
60404978002	SB-1	OA2	796708	OA2	796872
60404978004	SB-2	OA2	796708	OA2	796872
60404978006	SB-3	OA2	796708	OA2	796872
60404978001	SB-1	EPA 5035/5030B	797383	EPA 8260B	797421
60404978003	SB-2	EPA 5035/5030B	797383	EPA 8260B	797421
60404978005	SB-3	EPA 5035/5030B	797383	EPA 8260B	797421
60404978002	SB-1	EPA 8260B	798417		
60404978004	SB-2	EPA 8260B	798067		
60404978006	SB-3	EPA 8260B	798067		
60404978001	SB-1	ASTM D2974	797493		
60404978003	SB-2	ASTM D2974	797493		
60404978005	SB-3	ASTM D2974	797493		

REPORT OF LABORATORY ANALYSIS

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WO#: 60404978



DC#_Title: ENV-FRM-LENE-0009_Sample Conc

Revision: 2

Effective Date: 01/12/2022

Issued By: Lenexa

Client Name: B2 Environmental Inc

Courier: FedEx [] UPS [] VIA [x] Clay [] PEX [] ECI [] Pace [] Xroads [] Client [] Other []

Tracking #: 5645 8494 965B Pace Shipping Label Used? Yes [x] No []

Custody Seal on Cooler/Box Present: Yes [x] No [] Seals intact: Yes [x] No []

Packing Material: Bubble Wrap [] Bubble Bags [x] Foam [] None [] Other []

Thermometer Used: T301 Type of Ice: Wet [x] Blue [] None []

Cooler Temperature (°C): As-read 3.3 Corr. Factor -1.0 Corrected 2.3

Date and initials of person examining contents: LS 7/10/22

Temperature should be above freezing to 6°C

Chain of Custody present:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Chain of Custody relinquished:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Samples arrived within holding time:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Short Hold Time analyses (<72hr):	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
Rush Turn Around Time requested:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
Sufficient volume:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Correct containers used:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Pace containers used:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Containers intact:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Unpreserved 5035A / TX1005/1006 soils frozen in 48hrs?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
Filtered volume received for dissolved tests?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
Sample labels match COC: Date / time / ID / analyses	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
Samples contain multiple phases? Matrix: SL, WT	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
Containers requiring pH preservation in compliance? (HNO ₃ , H ₂ SO ₄ , HCl<2; NaOH>9 Sulfide, NaOH>10 Cyanide) (Exceptions: VOA, Micro, O&G, KS TPH, OK-DRO) LOT#:	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	List sample IDs, volumes, lot #'s of preservative and the date/time added.
Cyanide water sample checks:		
Lead acetate strip turns dark? (Record only)	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Potassium iodide test strip turns blue/purple? (Preserve)	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Trip Blank present:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
Headspace in VOA vials (>6mm):	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
Samples from USDA Regulated Area: State: NE	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
Additional labels attached to 5035A / TX1005 vials in the field?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	

Client Notification/ Resolution: Copy COC to Client? Y / N Field Data Required? Y / N

Person Contacted: _____ Date/Time: _____

Comments/ Resolution: _____

Project Manager Review: _____ Date: _____

REVIEWED
By Trudy Gipson at 2:58 pm, 7/10/22



CHAIN-OF-CUSTODY Analytical Request Document

Chain-of-Custody is a LEGAL DOCUMENT - Complete all relevant fields

LAB USE ONLY- Affix Workorder/Login Label Here or List Pace Workorder Number or
MTJL Log-in Number Here

60404978

ALL SHADED AREAS are for LAB USE ONLY

Container Preservative Type ** Lab Project Manager:

** Preservative Types: (1) nitric acid, (2) sulfuric acid, (3) hydrochloric acid, (4) sodium hydroxide, (5) zinc acetate, (6) methanol, (7) sodium bisulfate, (8) sodium thiosulfate, (9) hexane, (A) ascorbic acid, (B) ammonium sulfate, (C) ammonium hydroxide, (D) TSP, (U) Unpreserved, (O) Other

Analyses Lab Profile/Line: Lab Sample Receipt Checklist:

Custody Seals Present/Intact	Y	N	NA
Custody Signatures Present	Y	N	NA
Collector Signatures Present	Y	N	NA
Bottles Intact	Y	N	NA
Correct Bottles	Y	N	NA
Sufficient Volume	Y	N	NA
Samples Received on Ice	Y	N	NA
VOA - Headspace Acceptable	Y	N	NA
USDA Regulated Soils	Y	N	NA
Samples in Holding Time	Y	N	NA
Residual Chlorine Present	Y	N	NA
Cl Strips:			
Sample pH Acceptable	Y	N	NA
pH Strips:			
Sulfide Present	Y	N	NA
Lead Acetate Strips:			

LAB USE ONLY:
Lab Sample # / Comments:

NE 0A-1
NE 0A-2
X
X
X
X
X
X
X
X
X

Lab Sample Temperature info:
Temp Blank Received: Y N NA
Therm ID#: _____
Cooler 1 Temp Upon Receipt: 3.3°C
Cooler 1 Therm Corr. Factor: -1.0°C
Cooler 1 Corrected Temp: 2.3°C
Comments:

SHORT HOLDS PRESENT (<72 hours): Y N N/A
Lab Tracking #: 2568186
Samples received via:
FEDEX UPS Client Courier Pace Courier
MTJL LAB USE ONLY

Date/Time: 7/17/22 0530
Date/Time: _____
Date/Time: _____
Date/Time: _____

Received by/Company: (Signature)
Received by/Company: (Signature)
Received by/Company: (Signature)

Date/Time: 7-6-22 13:45
Date/Time: _____
Date/Time: _____

Relinquished by/Company: (Signature)
Relinquished by/Company: (Signature)
Relinquished by/Company: (Signature)

Date/Time: _____
Date/Time: _____
Date/Time: _____

Page 1 of 2

Company: **B2 Environmental Inc**
 Address: **6503 S 96th St**
 Report To: **Brock & BAE.COM**
 Copy To: _____

Billing Information: **BAE**

Email To: _____

Site Collection Info/Address: _____

Customer Project Name/Number: **CLARITY 103730040**
 State: **NE / Dogkas**
 County/City: _____
 Time Zone Collected: [] PT [] MT [] CT [] ET

Phone: **402-990-4781**
 Email: **Brock & BAE.COM**
 Site/Facility ID #: _____

Collected By (print): **Brock Flowers**
 Quote #: _____
 Purchase Order #: _____

Turnaround Date Required: **STANDARD**
 Rush: [] Same Day [] Next Day [] 2 Day [] 3 Day [] 4 Day [] 5 Day (Expedite Charges Apply)

Sample Disposal: [] Dispose as appropriate [] Return [] Archive: _____ [] Hold: _____

Time Zone Collected: [] PT [] MT [] CT [] ET
 Compliance Monitoring? [] Yes [] No
 DW PWS ID #: _____
 DW Location Code: _____
 Immediately Packed on Ice: [] Yes [] No
 Field Filtered (if applicable): [] Yes [] No
 Analysis: _____

* Matrix Codes (Insert in Matrix box below): Drinking Water (DW), Ground Water (GW), Wastewater (WW), Product (P), Soil/Solid (SL), Oil (OL), Wipe (WP), Air (AR), Tissue (TS), Bioassay (B), Vapor (V), Other (OT)

Customer Sample ID	Matrix *	Comp / Grab	Collected (or Composite Start)		Res Cl	# of Ctns
			Date	Time		
SB-1	Soil		7-5	9:45		2
SB-1	Water		7-5	12:51		5
SB-2	Soil		7-5	10:30		2
SB-2	Water		7-5	13:16		5
SB-3	Soil		7-6	11:05		2
SB-3	Water		7-6	12:45		5

Customer Remarks / Special Conditions / Possible Hazards: _____

Type of Ice Used: Wet Blue Dry None

Packing Material Used: _____

Radchem sample(s) screened (<500 cpm): Y N NA

Client: B2 Environmental Inc

Profile #

10534 Line 1 ~~water~~ 2 water

Site: Clarity 110373.0040

Notes

OAI is 8260SUST & 8260WUST

COC Line Item	Matrix	VG9H	DG9H	DG9Q	VG9U	DG9U	DG9M	DG9B	BG1U	AG1H	AG1U	AG2U	AG3S	AG4U	AG5U	UGFU	WGKU	WGDU	BP1U	BP2U	BP3U	BP1N	BP3N	BP3F	BP3S	BP3C	BP3Z	WPDU	ZPLC	Other
1	SL																													
2	WT 3														2															
3	SL																													
4	WT 3														2															
5	SL																													
6	WT 3														2															
7																														
8																														
9																														
10																														
11																														
12																														

Container Codes

	Glass		Plastic	Misc.
DG9B	40mL bisulfate clear vial	WGKU	1L NaOH plastic	I Wipe/Swab
DG9H	40mL HCl amber vial	WGDU	1L HNO3 plastic	SP5T 120mL Coliform Na Thiosulfate
DG9M	40mL MeOH clear vial	WG2U	1L H2SO4 plastic	ZPLC Ziploc Bag
DG9Q	40mL TSP amber vial	JGFU	1L unpreserved plastic	AF Air Filter
DG9S	40mL H2SO4 amber vial	AG0U	1L NaOH, Zn Acetate	C Air Cassettes
DG9T	40mL Na Thio amber vial	AG1H	500mL NaOH plastic	R Terracore Kit
DG9U	40mL amber unpreserved	AG1S	500mL HNO3 plastic	U Summa Can
VG9H	40mL HCl clear vial	AG1T	500mL H2SO4 plastic	
VG9T	40mL Na Thio. clear vial	AG1U	500mL unpreserved plastic	
VG9U	40mL unpreserved clear vial	AG2N	500mL NaOH, Zn Acetate	
BG1S	1liter H2SO4 clear glass	AG2S	250mL NaOH plastic	
BG1U	1liter unpres glass	AG3S	250mL HNO3 plastic - field filtered	
BG3H	250mL HCL Clear glass	AG2U	250mL HNO3 plastic	WT Water
BG3U	250mL Unpres Clear glass	AG3U	250mL unpreserved plastic	SL Solid
WGDU	16oz clear soil jar	AG4U	250mL H2SO4 plastic	NAL Non-aqueous Liquid
		AG5U	250mL NaOH, Zn Acetate	OIL OIL
			125mL unpres amber glass	WP Wipe
			100mL unpres amber glass	DW Drinking Water
			125mL unpreserved plastic	
			125mL HNO3 plastic	
			125mL H2SO4 plastic	
			16oz unpreserved plastic	

Work Order Number:

60404978

APPENDIX B
BORING LOCATION MAP



Site Plan
Figure 2

4503 S 90th Street
 Omaha, NE 68127
 (o) 402-330-0763



B2 ENVIRONMENTAL
 B2Environmental.com

**Commercial/Vacant/Residential
 Various
 Omaha, Nebraska**

Job Number:	Date:	Initials:
10373.0039	09/07/21	BF

APPENDIX C
SOIL BORING LOG

SOIL BORING LOG - SB-1

Project Name: <u>3152 Leavenworth Street, Omaha, NE</u>	Project Manager: <u>B. Flowers</u>
	Project Number: <u>10373.004</u>
Consulting Firm: <u>O'Malley Drilling</u>	Start Date: <u>7/5/2022</u>
Drill Rig: <u>Truck Mount</u> Driller: <u>Ryan O.</u> Logger: <u>B. Flowers</u>	Start Time: <u>9:32</u>
	Finish Date: <u>7/5/2022</u>
Interval/Method: <u>2.0' - Split Spoon</u> Drilling Method: <u>Augers</u>	Finish Time: <u>9:58 AM</u>
	Total Depth: <u>8'</u>
Boring Location: <u>Refer to Figure 1 - Boring Location Map</u>	Static Water Level: <u>4.1</u>

Depth (Feet)	U.S.C.S.	Geologic Description	PID Reading
0	N/A	Black/Brown Hard Soil	0.0
2			
2	N/A	Black/Brown Hard Dirt/Asphalt *	0.0
4			
4	MH/CH	Black Moist Silty Clay Odor	5.0
6			
6	MH/CH	Black/Grey Moist Silty Clay Odor	75.0
8			
		Bottom of Boring @ 8'	

* = Laboratory Sample

Note: Boring abandoned following completion of drilling with bentonite grout and native fill.

SOIL BORING LOG - SB-3

Project Name: <u>3152 Leavenworth Street, Omaha, NE</u>	Project Manager: <u>B. Flowers</u>
	Project Number: <u>10373.004</u>
Consulting Firm: <u>O'Malley Drilling</u>	Start Date: <u>7/5/2022</u>
Drill Rig: <u>Truck Mount</u> Driller: <u>Ryan O.</u> Logger: <u>B. Flowers</u>	Start Time: <u>10:55</u>
	Finish Date: <u>7/5/2022</u>
Interval/Method: <u>2.0' - Split Spoon</u> Drilling Method: <u>Augers</u>	Finish Time: <u>11:35 AM</u>
	Total Depth: <u>15'</u>
Boring Location: <u>Refer to Figure 1 - Boring Location Map</u>	Static Water Level: <u>8.45</u>

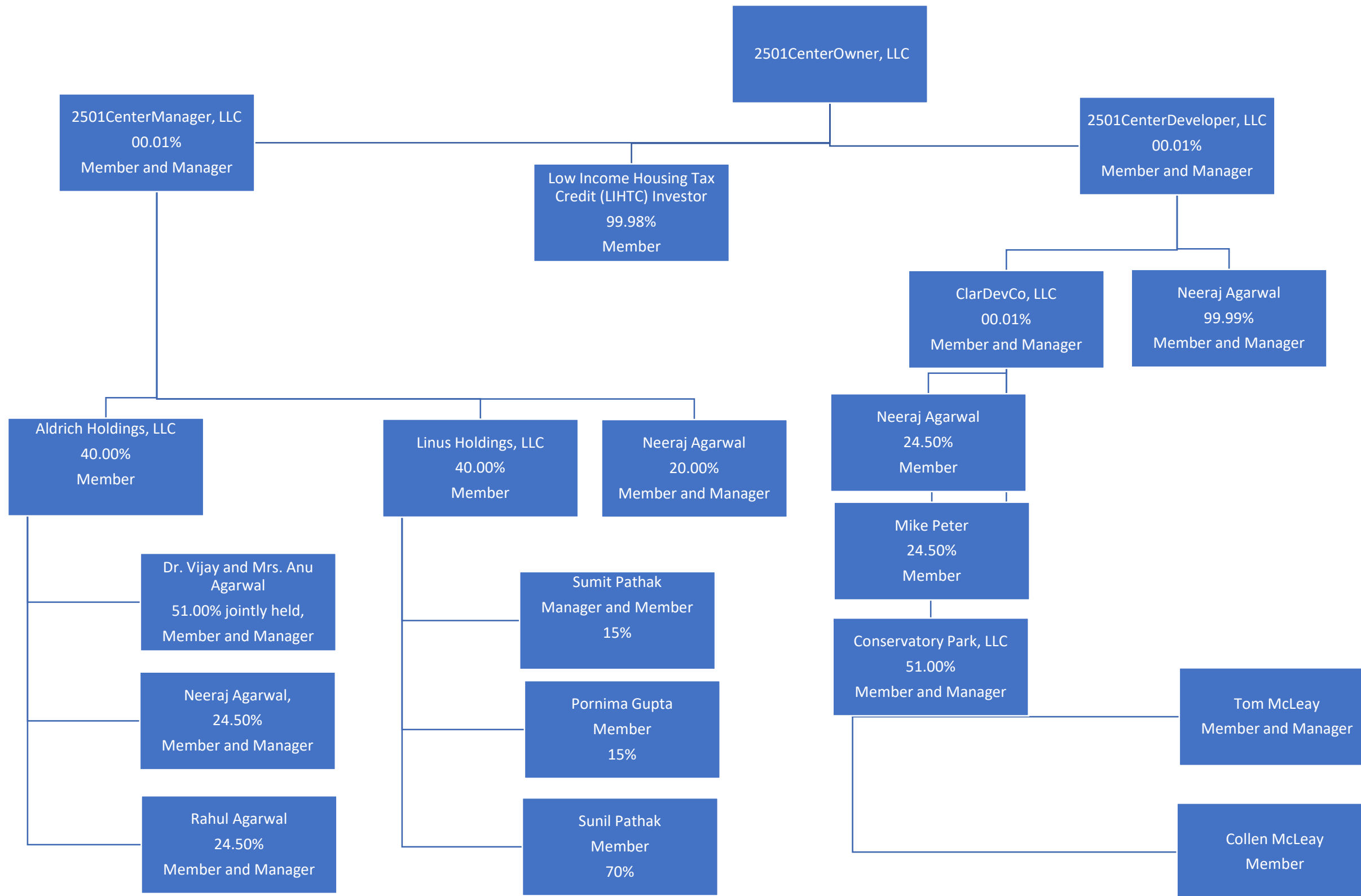
Depth (Feet)	U.S.C.S.	Geologic Description	PID Reading
0	ML/CL	Brown Hard Silty Clay	0.0
2			
2	N/A	No Recovery	
4			
4	ML/CL	Brown Silty Clay w/ Iron* Slight Odor	62.0
6			
6	ML/CL	Brown Soft Silty Clay Slight Odor	6.0
8			
8	ML/CL	Brown Soft Silty Clay	57.0
10			
10	ML/CL	Brown Soft Silty Clay	10.0
12			
12	ML/CL/SH	Brown Soft Silty Clay w/ Moist Sand	3.0
14			
14	ML/CL	Brown Soft Silty Clay	5.0
15			
		Bottom of Boring @ 15'	

* = Laboratory Sample

Note: Boring abandoned following completion of drilling with bentonite grout and native fill.

Residential Income				Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	
GPR		1,216,740		1,241,075	1,265,896	1,291,214	1,317,039	1,343,379	1,370,247	1,397,652	1,425,605	1,454,117	1,483,199	1,512,863	1,543,121	1,573,983	1,605,463	1,637,572	
Vacancy		(85,172)	7.00%	(86,875)	(88,613)	(90,385)	(92,193)	(94,037)	(95,917)	(97,836)	(99,792)	(101,788)	(103,824)	(105,900)	(108,018)	(110,179)	(112,382)	(114,630)	
Other Vacancy		(2,965)	7.00%	(2,965)	(3,024)	(3,084)	(3,146)	(3,209)	(3,273)	(3,339)	(3,405)	(3,473)	(3,543)	(3,614)	(3,686)	(3,760)	(3,835)	(3,912)	
Utility reimbursement		23,100	\$ 25.00	23,562	24,033	24,514	25,004	25,504	26,014	26,535	27,065	27,607	28,159	28,722	29,296	29,882	30,480	31,090	
Other Income: General		19,250	\$ 250.00	19,635	20,028	20,428	20,837	21,254	21,679	22,112	22,554	23,006	23,466	23,935	24,414	24,902	25,400	25,908	
Effective Gross Income (EGI)		1,170,954		1,194,432	1,218,321	1,242,687	1,267,541	1,292,892	1,318,750	1,345,125	1,372,027	1,399,468	1,427,457	1,456,006	1,485,126	1,514,829	1,545,125	1,576,028	
Operating Expenses (OpEx)																			
Management Fee		52,693	684.32	4.50%	54,274	55,902	57,579	59,306	61,086	62,918	64,806	66,750	68,752	70,815	72,939	75,127	77,381	79,703	82,094
Advertising		15,400	200.00		15,862	16,338	16,828	17,333	17,853	18,388	18,940	19,508	20,094	20,696	21,317	21,957	22,615	23,294	23,993
Administrative and Leasing		38,500	500.00		39,655	40,845	42,070	43,332	44,632	45,971	47,350	48,771	50,234	51,741	53,293	54,892	56,539	58,235	59,982
Payroll		77,000	1,000.00		79,310	81,689	84,140	86,664	89,264	91,942	94,700	97,541	100,468	103,482	106,586	109,784	113,077	116,469	119,963
Utilities (less because landlord does not pay w/s for row house projects unlike apartments)		23,100	300.00		23,793	24,507	25,242	25,999	26,779	27,583	28,410	29,262	30,140	31,044	31,976	32,935	33,923	34,941	35,989
Repairs and Maintenance		38,500	500.00		39,655	40,845	42,070	43,332	44,632	45,971	47,350	48,771	50,234	51,741	53,293	54,892	56,539	58,235	59,982
Insurance		26,950	350.00		27,759	28,591	29,449	30,332	31,242	32,180	33,145	34,139	35,164	36,219	37,305	38,424	39,577	40,764	41,987
RE taxes: base		2,076	26.96		2,076	2,138	2,202	2,268	2,336	2,407	2,479	2,553	2,630	2,709	2,790	2,874	2,960	3,049	3,140
RE taxes: increment		233,783	3,036.14		240,797	248,020	255,461	263,125	271,019	279,149	287,524	296,149	305,034	314,185	323,610	333,319	343,318	353,618	364,226
Replacement reserves		23,100	300.00		23,793	24,507	25,242	25,999	26,779	27,583	28,410	29,262	30,140	31,044	31,976	32,935	33,923	34,941	35,989
Total Operating Expenses (OpEx)		531,102	6,897.43	45.36%	546,973	563,382	580,283	597,692	615,623	634,091	653,114	672,707	692,889	713,675	735,085	757,138	779,852	803,248	827,345
			3,861.28																
NOI		639,852			647,459	654,939	662,404	669,849	677,269	684,658	692,011	699,320	706,579	713,782	720,921	727,988	734,976	741,877	748,683
Debt Service		556,393			556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393	556,393
DSCR		1.15			1.16	1.18	1.19	1.20	1.22	1.23	1.24	1.26	1.27	1.28	1.30	1.31	1.32	1.33	1.35
LHHC Investor Asset Management Fee		7,500			7,725	7,957	8,195	8,441	8,695	8,955	9,224	9,501	9,786	10,079	10,382	10,693	11,014		
Cash flow (CF)		75,959			83,342	90,589	97,815	105,015	112,182	119,310	126,394	133,426	140,400	147,309	154,146	160,902	167,570	185,485	192,290

Sources					RESI
Federal LIHTC	37.275%			\$	13,561,539
Permanent Loan	23.761%			\$	8,644,961
PACE/TIF (not monetizing TIF)	9.172%			\$	3,336,981
OERA grant	16.492%			\$	6,000,000
NDED / site prep + environmental grant	5.497%			\$	2,000,000
Owner Contribution	2.749%			\$	1,000,000
DDF	5.054%			\$	1,838,827
Total Sources				\$	36,382,308
USES					Budget
Land				\$	1,524,600
GMP Construction Contract				\$	22,372,875
new construction					
bond premium					
contractor-other fees - surveying and staking & concrete testing					
demolition/abatement				\$	1,750,000
Construction contingency				\$	1,207,644
3rd party studies				\$	30,000
Appraisal					
Market study					
Geo tech + Survey					
Phase I					
Architect Design				\$	536,000
Architect Supervision				\$	64,000
Engineering (civil/MEP/Structural- directly contracted with Owner)				\$	138,250
Civil Engineering-Construction Administration				\$	60,000
PACE transactional				\$	75,000
NIFA LIHTC fees				\$	77,063
NIFA upfront compliance fees				\$	416,138
Real estate taxes during construction				\$	12,349
Insurance- Builder's Risk, General Liability, and Umbrella				\$	75,000
Title				\$	60,000
Legal-Borrower				\$	125,000
Operating reserve				\$	362,498
Marketing/lease up				\$	75,000
Redstone Construction Loan fee aka administration fee				\$	112,075
RedstonePerm Loan: Origination Fee (1% of Bonds)				\$	112,075
Construction interest				\$	1,093,920
Bridge lender legal (no separate bridge lender/R4 upsizes construction loan)					
Bridge origination					
Bridge lender legal					
Redstone/Lender: Construction Inspection Fees (1,800 per month during assumed 20 month construction period)				\$	36,000
LIHTC Cost Certification/basis analysis/tax returns				\$	25,000
Redstone (25000 application fee + 25000 legal deposit + 35000 due diligence+ 25000 cushion)				\$	110,000
LIHTC Federal Investor: due diligence/counsel fee				\$	75,000
Bond reservation deposit				\$	10,000
Bond counsel fees and expenses				\$	50,000
Bond issuer and issuer's counsel				\$	60,000
Volume cap				\$	150
Developer Fee				\$	5,736,672
Total Uses				\$	36,382,308



Memorandum of Understanding

Services Agreement

This Memorandum of Understanding (MOU) is entered into by and between the following entities: True Purpose ("Partner"), and Neeraj Agarwal ("Developer").

I. Purpose and Scope of Work

- a) **Purpose:** To establish the general framework for a supportive services Partner shall directly provide or coordinate relative to other supportive service providers for the following two affordable housing projects that Developer shall develop in Omaha, Nebraska: (1) 18howard consisting of a 5-story building with 120 apartments ranging from studios to 2-bedroom units and approximately 10,000+ square feet of commercial space at approximately 18th and Howard Street, Omaha, NE 68102 ("18howard") and (2) 2501 Center consisting of approximately 80 3-bedroom and 4-bedroom row houses at approximately 2501 Center Street, Omaha, NE 68105 ("2501 Center")(18howard and 2501 Center shall hereinafter collectively be referred to as the "Projects" or "Projects"). The projects to shall be primarily owned by Developer and its affiliates and Partner is anticipated to be minority owner of each project with the precise anticipated ownership percentages of Partner to be determined prior to the financial closing of each project.
- b) **Scope of Work: Developer:** Developer's scope of work shall include the following duties and obligations:
- 1) Secure all financing necessary for both projects which shall include, without limitation:
 - a. Low Income Housing Tax Credits
 - b. Tax Increment Financing (TIF) and PACE Financing
 - c. Potential 3rd Party Donations
 - 2) Hold and direct regular meetings for construction and design team as well as property management company
 - 3) Negotiate, finalize and execute all contracts and partnership agreements
 - 4) Develop progress reports, timeline, and plans for future development
 - 5) Manage construction process and general contractor
 - 6) Facilitate projects from financial closing through construction completion through economic stabilization
- c) **Scope of Work: Partner:** Partner's scope of work shall include the following duties and obligations:
- 1) Direct Supportive Services
 - a. Life skills training and health and wellness
 - b. Job/employment skills training
 - c. Financial literacy
 - 2) Supportive Services Liaison: serve as an intermediary with other supportive service providers to provide onsite and offsite supportive services for both projects.

IV. Binding Nature

This Memorandum of Understanding shall not be binding on any parties and only serves as reference in order for a formal Development Agreement to be mutually executed.

1) Supportive Service Partner

Signature/Date

2) Developer

Signature/Date 10/9/22

Grant Application

Row 217

Organization Name (if applicable) Benson Creative District

Physical Address 2729 N 62nd St. Omaha, NE 68104

Mailing Address

Website <http://www.experiencebenson.com/> (Currently being redone)

Social Media Accounts BFF Omaha @bffomaha

Name Ross Miller

Title Council Member

Email Address ross@maplestconstruct.com

Phone +1 (402) 525-0330

Team Yes

Ross Miller: BCD Council Member, Maple St. Construct Co-Founder & President. Principal of FormGrey Studio, an architectural and design firm. Ross has already done a lot of legwork regarding the redevelopment of the alleyways and will be a critical and lead member of the team. Alex Jochim: BCD Council Member, Executive Director & Co-Founder of BFF Omaha. Alex has been a driving force in creating the cultural and arts programming of the Benson neighborhood over the last ten years. He is very active and a leader in the community and will serve a critical role in this project. Linda Hilliar: BCD Council Member, President of BFF Omaha. Linda has been an instrumental leader in getting Benson recognized as a Creative District by the state of Nebraska and the continued organization of the BCD. Linda will be a critical team member on this project. Brittany Dabestani: BCD Council Member, Benson Business Improvement District (BID) Director. Brittany represents the BID, the BID meets regularly, maintains relationships with the city of Omaha, and has also done preliminary legwork regarding the redevelopment of the alleyways. Brittany and the BID will be critical members of the team. Other current BCD Council Members will also serve in various volunteer roles for this project.

Organizational Chart

Other Completed Projects and/or Accomplishments The Benson Creative District (BCD) is a new organization that was just officially granted the state of Nebraska's Creative District distinction. But, as a community and a collection of several organizations (BFF Omaha, Benson Neighborhood Association, Benson Improvement District, Maple St. Construct,

Radial Arts Center, etc.) of which all these organizations are represented on the BCD Council. See the attached documentation identifying BCD's mission, vision, values, organizational structure, and historical value.

Proposal Title	Benson Alleyway Redevelopment
Total Budget (\$)	\$10,000,000.00
LB1024 Grant Funding Request (\$)	\$10,000,000.00
Proposal Type	Capital project
Brief Proposal Summary	<p>The Benson Alleyway Redevelopment proposal is a capital improvement project that aims to revitalize the underutilized and under-designed alleyways into functional, active, sustainable, safe, and healthy social spaces within the Benson business district. The redevelopment of the Benson alleyways would contribute to over 50% of additional public space to the Benson business district, creating opportunities for multimodal transportation, healthy outdoor environments, expanded business/economic opportunities and job creation, increased artistic and cultural programming/activities, and upgraded infrastructure and sustainable utility upgrades; all while maintaining the functional and utilitarian needs for alleyways. A project of this nature will be transformational and serve as a catalyst for similar projects that focus on revitalizing and redeveloping underutilized infrastructure and spaces in the city of Omaha and other cities and towns in Nebraska. A redevelopment of the alleyways will generate long-lasting economic growth, increase employment opportunities, and contribute to widespread economic vitality. This project will also improve the lives of the residents, neighbors, and visitors to the area by creating healthy outdoor environments, improving infrastructure and utilities, providing opportunities to safely socialize and engage in the community, and enhancing civic, cultural, educational, and recreational services. The timeline of this project from design to substantial completion will conservatively take three years to accomplish with positive outcomes occurring instantly thereafter, much like the redevelopment of the Gene Leahy Mall.</p>
Timeline	<p>Design: Design could take anywhere from 6 months to a year once a design team is selected. 2023-2024 Phases in design would include community workshops and ideation, schematic design, design development, marketing strategies, additional fundraising, and construction documentation. Construction: Depending on complexity, utility, and infrastructure improvements, construction could conservatively take anywhere from 1 year to 2 years. 2024/2025-2026</p>
Percentage completed by July 2025	100%
Funding Goals	<p>Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area,</p>

leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)

Community Needs Multimodal Transportation (i.e., enable connectivity through driving, biking, taking transit, walking, and rolling) Other Infrastructure (i.e., develop or improve broadband, business districts, roadways, sewer, etc.) Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment The Benson Alleyway Redevelopment project will incorporate natural and green spaces; and utilize sustainable and renewable utilities, materials, and energies which all promotes a sustainable community, improve quality of life for residents, and create educational, civic, and recreational opportunities. Working with local business and stakeholder needs, the design will incorporate opportunities for multimodal transportation by creating a connective network of biking and walking paths. This project will update and improve the infrastructure (alleyways, sewer, drainage, lighting, etc.) of the alleyways, generate increased economic growth in the community, elevate the safety and security of the community, and improve the district and community as a whole.

Visioning Workshop Findings Alignment The Benson Alleyway Redevelopment project aligns with the findings of the Visions Workshop Summary. The project seeks to upgrade the existing insufficient infrastructure and utilities, aligns with and fits within the cultural context of the Benson neighborhood and supports expansion among pre-existing cultural programming. Lastly, the project will increase accessibility in the area, providing residents and visitors better ways to utilize, leverage, and expand the community's resources.

Priorities Alignment The Benson Alleyway Redevelopment project addresses many of the ARPA guidelines. This project creates healthy public outdoor spaces, something that has become much more critical since the COVID-19 pandemic. This project will provide economic growth and job creation, especially in a community that was hit hard during the pandemic closures and restrictions due to many of the businesses in the community being restaurants, bars, entertainment venues, art spaces, etc. This project is a direct investment and upgrade in water, sewer, and broadband infrastructure for the community. This project keeps investment within the community, it creates transformational and long-lasting economic growth, and provides fundamental positive change to the area. This project aligns with the community needs of Benson, it can be scaled and replicated to other parts of the city and state, it will likely attract other investment opportunities in the area, and it creates new connections (social, multimodal transportation, education, civic, and recreational) within the Benson community.

Economic Impact Hundreds of temporary (1-3 year) with construction and design-

related jobs associated will be created through this project. Permanent jobs will be harder to quantify at this time, but BCD anticipates the need for 2-5 full time and part time positions, as well as opportunities for professional and economic development among Benson's small businesses and working artists. These created jobs will maintain alleyway improvements on a regular basis. By redeveloping and activating the alleyways, existing buildings and businesses will have opportunities for new business access points that are alley-facing, increasing economic viability and improved spaces that can be leased or utilized, when traditionally they would not have been. In turn, the number of businesses is expected to increase, while existing businesses will expand and attract new economy to the area. All of these efforts will lead to increased job creation, professional development, and new opportunities for Benson residents and stakeholders.

BCD anticipates the need for 2-5 full time and part time positions, as well as opportunities for professional and economic development among Benson's small businesses and working artists. Additional community events, improved infrastructure, and added business viability will greatly increase opportunities for job creation in event planners, contracted workers, artists, performers, food vendors, maintenance, and associated staff and volunteers.

The BCD anticipates hundreds of temporary jobs to be created indefinitely through construction, design, and associated programming efforts.

Pay wages will be above minimum wage and competitive within industry standards, while construction wages will reference the Davis-Bacon memorandum. BCD currently plans to compensate all future staff at a minimum of \$25/hour, as per BFF Omaha's standard.

The Alleyway Redevelopment project could give preference to contractors and professional design service providers that are located within the Qualified Census Tracts or make it a qualification that contractors and professional design service providers have to team up with and include other contractors and professional design service providers on their teams that are located within the Qualified Census Tracts. According to BFF Omaha's event surveys, the top three audience zip codes are 68104, 68131, and 68105, all of which are designated QCTs by the City of Omaha's Department of Housing and Urban Development, with at least 50% of households having an income below 60% of the area median gross income, or a poverty rate of at least 25%.

Community Benefit

The redevelopment of the Benson alleyways will provide spaces for residents and the community to come together for creative programming and opportunities. The ability for communities to come together and safely socialize is vital in any community. Whether the spaces be formal or casual, the more opportunities communities have to interact with each other, the stronger they become.

By creating redeveloped alleyways through sustainable design standards, incorporating natural and green spaces, and utilizing sustainable and renewable utilities, materials, and energies this lends to improved quality of life and numerous educational

opportunities. Learning about the values of the environment and learning the value of being good stewards of the natural environment helps create a future generation of entrepreneurs and environmental stewards.

Best Practices/Innovation

There are several major metropolitan areas that have already embraced and redeveloped alleyways and other underutilized infrastructures and spaces; they have also developed best practices for reimagining and designing these types of spaces. We plan on tapping into those available resources. This project will also be designed with sustainable design practices in mind. And a project of this nature and on this scale is definitely a new concept that could be successfully adapted to other parts of the city of Omaha.

Outcome Measurement

Improved education, Improved quality of life, Economic growth, Job growth, and Sustainability metrics.

These metrics could be measured through surveys and data collection from businesses, community members, and visitors who live, work, play, and utilize the redeveloped alleyways. The BCD, Benson BID, and/or BNA could develop and disseminate these surveys.

Yes, this project would create the potential for additional investment and development from the Benson BID and other businesses and organizations that have alleyway frontages or adjacencies. We see this project further activating the commercial district and serving as inspiration for new and inventive development and investment in the area. We also believe that this type of redevelopment can successfully be replicated in other parts of the city and state.

Partnerships

Yes

Benson Improvement District: The BID will be instrumental as a partner, providing critical input from the Benson business district owners and representatives, providing shared resources, and a direct line to the City of Omaha. BFF Omaha: BFF Omaha will also be an instrumental partner, by also providing critical input on the project direction, providing ongoing programming and activation of the alleyways, among many other things. BFF Omaha acts as the BCD's fiscal agent and administrator. Benson Neighborhood Association: The BNA will be a good partner and will allow for great input from the neighbors and citizens of Benson, they will be very helpful in communication Benson residents. Maple St. Construct: MSC will be a critical partner, another arts and design organization that will be involved in programming and activation of the alleyways, the co-founders are all architecturally trained and one of them works professionally as an architectural and design professional, so they will be an instrumental resource in the design, planning, and construction of the redevelopment of the alleyways, likely leading many of those aspects. We will need to partner and work with the City of Omaha and Public Works, and the BID will assist in forming those partnerships. We plan to reach out to additional organizations such as Omaha by Design, Mode Shift, One Omaha, and others. Omaha by Design advocates for excellence in people-centered urban design and policy. Mode Shift Omaha advocates for transportation options that enhance the quality of life and opportunities for everyone to live, work, and play. One Omaha

empowers people where they live with education, training, and engagement to develop thriving neighborhoods. We see these organizations as great potential partners for helping to develop and workshop community engagement and visioning sessions/workshops.

BFF Omaha, BID, and MSC have all done preliminary work regarding the development of the alleyways since 2018, when the Benson Out Back alleyway development project was first proposed to the neighborhood. Formalized MOUs have been created upon the designation of the Creative District, and they will be updated upon realization of funding for this project. As historical and current partners with the involved organizations of this project, Omaha by Design, Mode Shift Omaha, and One Omaha are expected to formalize an MOU upon partnership agreement.

Displacement No

Displacement explanation

Physical Location The Benson Creative District centers around Benson's downtown business district along Maple Street. It extends west along Maple to 72nd Street, encompassing street-facing businesses and residential areas. It goes east along Maple St, turning into NW Radial HWY, and extending until 52nd Street. On the north side, it is mainly bound by the alleyway just north of Maple Street, although extending briefly along Military Ave to include Grace Young Park, along 60th Street to include Heartland Family Services planned headquarters, and along 52nd Street to include Gallagher Park, Benson High School, and Monroe Middle School. The southern border follows the alleyway just south of Maple, although extending briefly along 61st Street to include StoneBridge Church, along 60th Ave to include Immanuel Lutheran Church, along 56th Street to include Citylight Church and Radial Arts Center, and along Country Club Ave to include St. Paul United Methodist Church. The project would specifically focus on the alleyways of the Benson business district.

Qualified Census Tract Adjacent to one or more QCTs

Additional Location Documents

Property Zoning Yes

Is the project connected to utilities?

Yes

Yes

Design, Estimating, and Bidding No

No

The \$10,000,000 amount comes from conservative management, design, and construction ballpark estimates and a healthy contingency to account for the unknown of continually increasing construction, material, and infrastructural costs; unforeseen below grade infrastructure costs, and being in a commercial district that is on the National Register of Historic Places where there is the potential for elevated costs. It should be noted that this dollar amount is not exact, as an architectural and design professional I have some working knowledge of the type of costs that a project like this would entail. Conservative Estimates: Design Services (Architecture, Engineering, Landscape, Planning, etc): \$1,500,000 Construction (including contingency, infrastructure upgrades, and materials): \$8,000,000 Administration/Financial Management: \$500,000

General Contractor No

Request Rationale The \$10,000,000 amount comes from conservative management, design, and construction ballpark estimates and a healthy contingency to account for the unknown of continually increasing construction, material, and infrastructural costs; unforeseen below grade infrastructure costs, and being in a commercial district that is on the National Register of Historic Places where there is the potential for elevated costs. It should be noted that this dollar amount is not exact, as an architectural and design professional I have some working knowledge of the type of costs that a project like this would entail. Conservative Estimates: Design Services (Architecture, Engineering, Landscape, Planning, etc): \$1,500,000 Construction (including contingency, infrastructure upgrades, and materials): \$8,000,000 Administration/Financial Management: \$500,000

Grant Funds Usage LB1024 grant funds will be used to provide the capital needed for the design services (architectural, engineering, landscape, planning, etc.), construction services (including materials and infrastructure upgrades), and the financial management and administration of the project.

Proposal Financial Sustainability Yes

There will be possible ongoing and future costs associated with routine and ongoing maintenance and/or repairs, there will likely be ongoing costs associated with employing worker(s) to keep the alleyways clean and maintained. The BCD will get these funds through NAC Creative District grants, matching funds from foundations, and other grant opportunities.

Funding Sources Please outline other funding sources including government-sponsored economic incentives you have committed, have currently pending, or anticipate exploring for this proposal. Right now, no other funding sources have been sought, but this is the type of catalyst project and development that the city of Omaha and the state of Nebraska could really get behind. It would be likely that, if needed, additional funding sources would be explored and sought for this project.

Not currently seeking additional funding sources at this time, plan to in the future.

Although this project will not go forward without funding, if awarded funds are less than the request, the BCD will seek additional funding through NAC Creative District grants, matching funds from foundations, and other grant opportunities.

Scalability

This project is absolutely scalable and could really serve as a catalyst for other districts and neighborhoods in the state of Nebraska and the city of Omaha when it comes to the revitalization, reactivation, and repurposing of alleyways for economic, cultural, transformational, sustainable, and healthy development. Ideally, this project is not broken up into smaller components or phases.

Financial Commitment

The BCD will continue to pursue other grant funding. Currently, the BCD is in the process of applying for a \$250,000 grant from the Nebraska Arts Council Creative District Grant and is actively looking for other grant and funding opportunities. The BCD is looking to hire an Administrator for the District and has developed a strategic plan, so that the BCD can sustain itself as an organization and continue to actively and positively serve the community for a very long time.

ARPA Compliance Acknowledgment



ARPA Reporting and Monitoring Process Acknowledgment



LB1024 Funding Sources Acknowledgment



Public Information



File Uploads

Additional Location Documents (see application for list) Plans and detailed descriptions, including pictures and a map of the site location/surrounding area

CREATIVE DISTRICTS





Purpose of the Program

The Creative District Program is a program ran by the Nebraska Arts Council, with legislation passed by the Nebraska Legislature that will utilize the arts as an economic driver, support communities in Nebraska in telling their stories, and elevate the value of the arts.

Instructions

This workbook is designed to help your community prepare to become a Creative District. Each community is unique in its make up and relationships, so there is no standard answer for each question.

Completed workbooks and supplemental materials will be submitted to the Nebraska Arts Council at nac.grants@nebraska.gov.

Supplemental materials include:

- a map of the district
- two marketing samples
- three letters of support
- a memorandum of understanding or letter of agreement between the partnering entities, which includes a representative from an agency of local government

Remember to document your work! Focus groups, surveys, and town hall meetings are all great ways to gather and record input from your community.

Photos on cover clockwise from top left: Greeley Irish Festival in Greeley, Nebraska; sculpture by Dale Chihuly at the Fred & Pamela Buffett Cancer Center in Omaha; Rock County Fair in Bassett; Benson First Friday in Benson; Sehnert's Bakery in McCook; Post Playhouse in Fort Robinson

Who, What, Where

As the Creative Districts program was being created, there were a multitude of questions that the Nebraska Arts Council had to answer. As an agency, we wanted to make sure this program benefited all Nebraskans, no matter if they were located in an urban or rural area. We constantly went back to the basics...who, what, and where.

Who is this program for? Creative Districts will benefit all Nebraskans whether by increasing economic development, strengthening community bonds or elevating the arts. The program's flexibility, as designed, means that it can be adapted to any size community, in any location. Economically, employer demand for creativity, originality and initiative are expected to increase in 2022 (1), and elevating the arts through Creative District designation promotes these skills.

“Embracing the arts drives economic growth. “Creative districts allow communities to cluster hubs of economic activity around arts, culture, and heritage. They enhance an area as an appealing place to live, visit, and do business. These districts complement non-arts businesses such as restaurants, offices, retail, housing, and lodging.” - Nebraska State Senator Megan Hunt

What will this program do? Creative districts have been shown to build bridges between communities, promote civic engagement, (2) improve business districts, and attract talent and investment.(3) The arts have also been shown to support the development of a robust workforce,(4) drive rural prosperity,(5) and provide positive experiences in a troubled world.(6) These are all assets and attributes that Nebraska—and every state—can effectively harness as it seeks to reinvigorate its economy.

The work the districts will do in the planning phase will set the course for what will be accomplished. The district itself will set their own goals. They know their community best, so they will know what will benefit their district. The district will identify their assets and weaknesses to give them a clear vision of the work that needs to be done.

Where will this program be implemented? The Creative District program is designed for any community in Nebraska to participate in. The district itself will define the geographic area. The term “easily navigable” may look one way in Omaha and a different way in Wakefield.

1 Source: World Economic Forum, The Future of Jobs Report, 2018

2 Geoffrey Crossick, The Social Impact of Cultural Districts, Global Cultural Districts Network (March 2019).

3 Kiley Arroyo, "Capturing Value and Preserving Identity 2020," Global Cultural Districts Network (2020).

4 Jennifer L. Novak-Leonard, Gwendolyn Rugg, Michael Reynolds and Carol Hafford, "The Role of the Arts and Creative Expression in Employability and Economic Opportunity," NORC at University of Chicago (November 2018). Creative Economies and Economic Recovery <https://www.norc.org/PDFs/ARC/The%20Role%20of%20the%20Arts%20and%20Creative%20Expression%20in%20Employability%20and%20Economic%20Opportunity.pdf>.

5 Sally Rood, "Rural Prosperity and the Arts & Creative Sector: A Rural Action Guide for Governors and States," National Governors Association (January 2019). <https://www.nga.org/ruralarts/>.

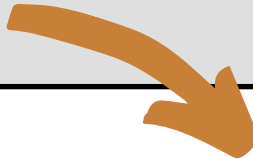
6 Americans for the Arts, "Americans Speak out about the Arts in 2018: An in-Depth Look at Perceptions and Attitudes About the Arts in America" (2018).

GEOGRAPHY

Is the Creative District a walkable area?

YES

NO



If not, explain why and how the area is easily navigable.

For Example: There is a railroad that cuts through the bottom portion of the district. However, there is an overpass so traffic can still flow freely through the district.

Not Applicable.

Describe the boundaries of the area.

For Example: Twelve block area of downtown Artsville, 58th street to 64th street and Corby St. to NW Radial

The Benson Creative District centers around Benson's downtown business district along Maple Street. It extends west along Maple to 72nd Street, encompassing street-facing businesses and residential areas. It goes east along Maple St, turning into NW Radial HWY, and extending until 52nd Street. On the north side, it is mainly bound by the alleyway just north of Maple Street, although extending briefly along Military Ave to include Grace Young Park, along 60th Street to include Heartland Family Services planned headquarters, and along 52nd Street to include Gallagher Park, Benson High School, and Monroe Middle School. The southern border follows the alleyway just south of Maple, although extending briefly along 61st Street to include StoneBridge Church, along 60th Ave to include Immanuel Lutheran Church, along 56th Street to include Citylight Church and Radial Arts Center, and along Country Club Ave to include St. Paul United Methodist Church.

Note: A map will be required with the submission of the workbook.

CULTURAL IDENTITY

Describe the demographics of your community: gender, ethnicity, age, disability, etc. You can find this information from the US Census Bureau.

- Approximately 70% of residents are considered to have low-to-moderate income levels.
- Ethnicity statistics: 55% White, 30% Black, 6% Hispanic, 3% Asian, and 0.5% Native American.
- Over 28,000 individuals are veterans, or a total of 7.3% of Benson residents.
- According to the latest US Census Data, the age breakout is as follows:
 - Under 19 years - 29.6%
 - 20 - 34 years - 22.5%
 - 35 - 54 years - 25.7%
 - Over 44 years - 22.2%
- According to the latest US Census data, the Disability statistics are as follows:
 - 13.3% of residents identify with a disability
 - 7.9% of residents with a disability live with an ambulatory (walking) difficulty making pedestrian safety a top priority.
- According to the latest US Census data, there are 93 males for every 100 females in the Benson neighborhood.

Describe your community's cultural or historical heritage. Include information about: indigenous people, pioneers or settlers, the origins of the local economy, immigrant and migrant populations.

Please see Appendix B.

Describe any cultural events or activities that are a part of your community.

For Example: The Greeley Irish Festival, Fur Trade Days, Christmas in the Village

Benson is home to BFF's First Friday art walks, which bring a surge of tourists and a variety of cultural assets to the neighborhood each month, year-round. First Fridays feature a large variety of cultural activities from artist markets to gallery exhibitions, from musical performances to theatre performances at the renovated historic Benson Theatre. The New American Arts Festival, founded in 2013 by BFF Omaha & Lutheran Family Services, showcases local refugee and immigrant arts and cultures annually in August. The Benson neighborhood also puts on Benson Days, an annual parade and festival celebrating the creativity and people of Benson. Other annual events include PETFEST music festival, a Pet Parade, Benson Beer Fest, the Zombie Walk and many more. BFF Omaha, with the support of the community, has also taken the lead to celebrate Omaha's LGBTQIA2S+ community during PRIDE month in June by decorating storefronts, installing public art, and celebrating LGBTQIA2S+ artists & performers.

A Creative District has an identity that makes it a unique, distinguishable destination. What is yours? What sets it apart from other places?

Benson is a creative hub, boasting slogans such as "Keep Benson Bent" and "Keep Benson Good Weird," that comes alive as a night-life destination due to its concentration of restaurants, bars, theatres, galleries, and music venues. An ever-increasing presence of public art can be seen along alleyways and Benson buildings, artist-designed banners hang from street poles along Maple Street, and colorful promotional posters adorn many light poles and storefront windows. During the day, creative retail and service shops, including three tattoo parlors, multiple salons, book stores, vintage shops, and other businesses slinging curios and antiques make the Benson Creative District unique and original. In addition to these creative happenings, it is the local schools, churches, library, community center, and local residents that keep the neighborhood alive.

How are you ensuring your Creative District activities reflect the diversity of your community?

To ensure Benson's diverse community is represented in our activities, we have and will provide ongoing opportunities for input through online surveys and in-person community forums open to the public. We have reached out to all Benson businesses and organizations seeking their involvement in the process and encourage them to participate and spread the word. Our coordinating committee is an open door for stakeholders to get involved in any capacity whether it's sharing opinions, volunteering, or getting their hands dirty with planning an implementation. All future activities will be vetted through public input processes and implemented at the hands of interested residents, business owners, community members, and other stakeholders. No significant decisions will be made without input and polling from the community.



Don't forget to order your arts license plates! A portion of each plate goes to help fund the Creative District program.

DATA COLLECTION

Collecting data is one way we have of showing that Creative Districts are an asset to the economic fabric of the state. To show that, we will track the information on the following page during the Creative District's time in the program.

To help with gathering this data, a handout is available on our website, or you may contact the Nebraska Arts Council staff. We ask that everyone use the data sources on this handout when collecting their data, so everything is coming from the same source.

Your Creative District may want to track additional, more specific data and it is important to have these conversations now about what you want to know, how you will obtain the data, and who will be in charge of gathering it.

We will require Creative Districts to track the number of visitors to their district throughout the year. This can be done by surveys, asking for zip codes during ticket sales, counting license plates at events, etc. Have a system in place that tracks your attendance. The number of new business starts will be tracked once the Creative District is certified.

Population in your Creative District
~1,775 (Please see Appendix C)

Average monthly rent for a one bedroom apartment
\$794

Number of Creative Industries
127

Number of Creative Industries jobs
250

2019 Sales Tax Revenue
\$163,351,314.17

2020 Sales Tax Revenue
\$172,454,930.20

2019 Lodging Tax Revenue
\$8,222,233.82

2020 Lodging Tax Revenue
\$3,774,428.20

Total businesses in your Creative District
165

Free & reduced lunch rate for the school district that the proposed Creative District is in
68.69%

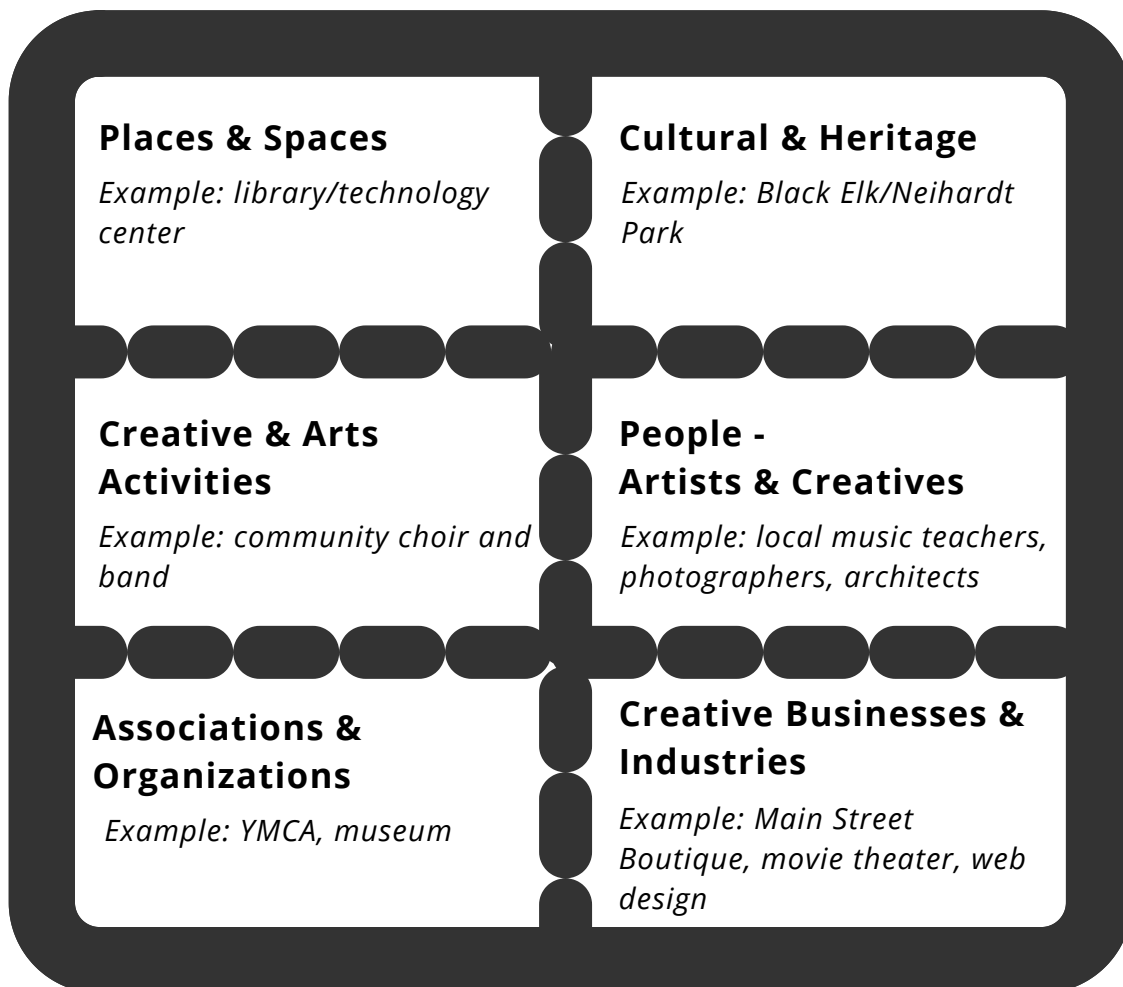
Internet Speed in the proposed district
42.5 Mbps median download speed

ASSETS

Make a list (also known as an 'ASSET MAP') of all the resources in your community within the following areas. The purpose is to identify the resources in your area and to understand how these resources are connected. This exercise can be used in a larger community engagement meeting to get a full picture of the assets your community has.

As you hold meetings and work toward your Creative District designation, also allow opportunities to report back to your community about the work that's happening. Asset maps are a good tool to include in reporting back to your community. These are the things that make your district great, and people want to hear that!

A small example is below. The following pages offer more room to record your answers.



Places & Spaces

Example: library/technology center

- 1912
- 402 Arts Collective
- 402 Buildings
- Alleyways
- Art Galleries
- Artist Markets
- Beer Gardens
- Benson Food Forest
- Benson HS Art Department
- Benson Library
- Benson Lights
- Benson Lions Park
- Benson Park
- Benson Theatre
- Benson West Elementary
- BFF Gallery
- BFF Omaha
- BLK 59
- Choice Framing
- One Hope Church
- Community Center
- District Loft
- Edge of the Universe
- Fontenelle Blvd.
- Front Porches
- Fruitful Design
- Gallagher Park
- Hardy Coffee
- MAMO
- Maple St
- Maple St. Construct
- Masonic Lodge
- Military Rd
- Overpasses
- Petshop
- Post Office
- Radial Arts Center
- Rain Garden
- Reverb Lounge
- Rose Hill Elementary
- St. Paul Benson
- Store Fronts
- Street Lamps
- TACK Architects
- Ted & Wallys
- The Shakedown
- The Sydney
- Waiting Room

Cultural & Heritage

Example: Black Elk/Neihardt Park

- Art Galleries
- Beer Gardens
- Benson Baptist
- Benson Business District/
Benson Commercial
Historic District
- Benson Food Forest
- Benson High School
- Benson Library
- Benson Lions Park
- Benson Park
- Benson Plant Rescue
- Benson Post Office
- Benson Theatre
- BFF Omaha
- BID
- BNA
- Bowling Green Park
- One Hope Church
- Community Center
- Front Porches
- Gallagher Park
- Grace Young Park
- Lake James Park
- Low-income residents
- Malcolm X Memorial Center
- Masonic Temple
- METRO
- Monroe Middle School
- Omaha Street School
- OPD
- Overpasses
- Radial Arts Center
- Rain Garden
- Rose Hill Elementary
- St. Bernard
- St. Paul Methodist
- St. Pius
- Street Lamps
- Charles Drew Health Center
- Union Omaha (soccer)
- Walnut Hill Elementary

Creative & Arts Activities

Example: community choir & band

- 402 Arts Classes
- 402 Arts podcast
- Aksarben Creative
- Ang Bennet's podcast
- Artist Market
- Benson Beer Fest
- Benson Community Gardens
- Benson Days
- Benson High School
- Benson, Ne FB Page
- BFF newsletter
- BFF Omaha
- BFF zine
- Bike Tours
- BNA
- BNA newsletter
- Boo Bash
- Community Cleanups
- Dining/Drinking
- Experiencebenson.com
- Faturday Omaha
- First Fridays
- Food Truck Rodeo
- Greasy Butt Bike Rides
- Live Comedy
- Live music
- Maple Street YMCA
- Monthly Meetings
- Mural Walks
- New American Arts Festival
- Omaha Art Lending Library
- Pet Parade
- Petfest
- Queer Night
- Reverb Lounge
- Social Media
- The Sydney
- Waiting Room Lounge
- Zombie Walk

People - Artists & Creatives

Example: local music teachers, photographers, architects

- 1% Productions
- Adam Van Osdel
- Alex Jochim
- Alex O'Hanlon
- Alison Ranniger
- Amber Ruffin
- Amy Ryan
- Ang Bennett
- Angie & Andrew Norman
- Ann Boyle
- Ann Cavanaugh
- Artist Market Vendors
- Ashton Masek
- Autumn Pruitt
- Bart Vargas
- Ben Matukewicz
- Ben Shafer
- BFF Board
- BNA Board
- Brittani Button
- Caitlin Little
- Cecil Hicks
- Dan Cavanagh
- Diane Rhoten
- Edge of the Universe
- Edison Creative
- Elizabeth Schwartz
- Ian Aeillo
- Jeff Doezal
- Jess Benjamin
- Jessica Scheuerman
- Jim Schaeffer
- JJ Carol
- Joe Addison
- Joe Carmichael
- John Larkin
- John Thein
- John-Paul Gurnett
- Joseph Pittack
- Josh Audiss
- Kristin Hoffman
- Linda Hilliar
- Lynn Meyer
- Maggie Webber
- Megan Hunt
- Molly Hobson
- Natasha Kessler
- Nicolas Fredrickson
- Nicole Callahan
- Nolan Treadway
- norm4eva
- Olivia Bell
- Omaha Steampunks
- On My Omaha blog
- Patrick Jensen
- Paul & Annette Smith
- Pete Festersen
- Rebecca Harding
- Ross Miller
- Samantha Guelden
- Sarah Johnson
- Scott Blake
- Shelby Audiss
- The Carmichaels
- Thomas Prinz
- Tim Maides
- Todd McCollister
- Tom & Chris Prinz
- Travis Apel
- Trudy Swanson
- UNO students
- Watie White
- Zach Schneider

Associations & Organizations

Example: YMCA, museum

- 402 Arts Collective
- Ames-Benson Neighb. Assoc.
- Angel Guardians
- Art For All
- Benson Area
- Benson Art Gallery
- Benson Bounty
- Benson BID
- Benson Community Garden
- Benson High School
- Benson Historical Society
- Benson Library
- Benson Neighborhood Assoc.
- Benson Plant Rescue
- Benson Theatre
- Bensonhurst Neighb. Assoc.
- BFF Omaha
- BFF Youth Engagement
- Big Brothers Big Sisters
- Blazing Star Seed Coop
- Block 59
- Box (dance company)
- Child Saving Institute
- CHOICE Custom Frame
- Charles Drew
- Choice Custom Framing
- City Sprouts
- Conceive Nebraska
- Connect Black Omaha
- Culxr House
- DIBS for kids
- Edge of the Universe
- Fit Girl Inc
- Fruitful Designs
- Glorey Visuals
- Habitat for Humanity
- HFS
- I Be Black Girl
- Landlock Gallery
- LFS
- Lover's Luxuries
- MaMO Gallery
- Maple St. Construct
- Modeshift
- Nebraska 117
- New Century Art Build
- NorthStar Foundation
- Omaha Girls Rock
- Omaha Permaculture
- One % Productions
- Parent Teacher Assoc.
- Pear Tree
- Petshop
- Planned Parenthood
- Radial Arts Center
- Refugee Taskforce
- Ren Motion Films
- Restoring Dignity
- RFD
- Rock Academy
- Spark CDI
- TBD Dance Collective
- Teen Challenge
- The Union
- Tip Top (YES)
- Valiant Art Studio

Creative Businesses & Industries

Example: Main Street Market Boutique, movie theater, web design

Please see Appendix E.

CREATIVE DISTRICT MANAGEMENT & PLANNING DISTRICT ADMINISTRATION

Proposed Creative Districts must designate a structured entity to act as the District Administrator. This entity will serve as the project coordinator and the fiscal agent. They will be the official applicant to, and contact for, the Nebraska Arts Council. Being a fiscal agent for a Creative District will not affect the entity's eligibility for other NAC grants.

District Administrators must:

- be incorporated nonprofit organizations, physically located in the State of Nebraska, with articles of incorporation current and on file in the Nebraska Secretary of State's office; or a subdivision of government.
- have a Federal Employer Identification Number (FEIN).
- have received federal tax-exempt status. Divisions of government must submit a copy of the sales tax exemption certificate from the State Department of Revenue.

Examples may include municipal or tribal government, Chamber of Commerce, registered neighborhood organization, downtown development authority, or development organization.

Please identify the administrative entity and its operating structure.

For Example: The administrative entity for the Artsville Creative District is the Artsville Chamber of Commerce (ACC). ACC has a volunteer board of 15 local business leaders and a staff of one full time Executive Director and one part time assistant. The board meets every other month to conduct business and has six committees: Executive, Financial, Marketing, Special Events, Membership, and Government Affairs.

For their role in the Creative District, the ACC will work closely with the Creative District Task Force and will be responsible for all fiscal responsibilities, as well as helping with marketing materials, coordinating meetings, and general communication.

The administrative entity for the Benson Creative District is BFF Omaha (BFF). BFF is dedicated to building community through arts engagement, and advocating for the Arts through Education, Inclusion, Opportunity, and Unique Experiences (AEIOU). For the past 10 years, they have provided a social infrastructure that has proved integral to the community's well being and supportive of artists, businesses, residents, commerce, and the environment through unique and interactive year-round programming. BFF is operated by a base of 50+ dedicated volunteers, including one full time Executive Director, and 17 part time staff within both operating and programming departments. The board, staff, and volunteers (collectively dubbed "The Crew") meet monthly on the 2nd Wednesday of each month. All directors and key staff meet weekly, and the Executive Board meets quarterly.

For their role in the Benson Creative District, BFF will work closely with the Benson Creative District Coordinating Committee (BCDCC) and will be responsible for all fiscal activity and reporting, as well as helping with marketing materials, coordinating meetings, and general communication.

Is the total annual operating budget of the administrative organization at least \$10,000?

This does not refer to the Creative District budget.

Yes

No

If the entity is not a local government, does it have the cooperation of the municipal entity that governs the geographical location of the proposed district?

Yes

No

Is there a designated staff position assigned to oversee district activities?

Yes

No

If yes, please explain the staff role.

Currently, the designated staff positions are filled by two key volunteers from BFF Omaha. Alex Jochim, BFF's Co-Founder and Executive Director, and Linda Hilliar, BFF's President of the Board. These two represent the administrative entity, work closely with the BCDCC, and are responsible for all fiscal activities associated with the designated district, as well as helping with marketing materials, coordinating meetings, and general communication.

The Benson Creative District plans to designate and compensate an official staff position to oversee district activities when funds are actualized.

PARTNERSHIPS

Creative Districts require partnerships between businesses, nonprofits, local governments, and economic development agencies to be successful. To be eligible for the Nebraska Creative District program, a partnership of at least three entities must be shown. One of those partners must be a representative from an agency of local government. The cultural non-profit must have a two year history of arts programming and activities.

A majority of these partners should be included in the physical boundaries of the Creative District. However, there may be important partners you need to include that reside outside of your district.

When the Creative District plan is submitted, a memorandum of understanding or letter of agreement between partnering entities, or local government resolution acknowledging the partnership, will be required.

Who are your key partners?

Which groups, people, and organizations do you already have on board to ensure your Creative District is successful?

Identify if they are a branch of local government or a cultural non-profit and if they are located within the physical boundaries of the Creative District.

BCD's key partners include nonprofits BFF Omaha, Radial Arts Center, Maple St. Construct, Benson Theatre, St. Paul Benson Church, and Charles Drew Health Center; the city-sanctioned Benson Business Improvement District; and neighborhood residents Spencer Goracke, JoDee Goracke, Ross Miller, and Kayla Meyer.

Beyond key partners, supporting entities located within the physical boundaries of the Creative District include:

Government Officials: Megan Hunt, Pete Festersen, Dr. Erin Feichtinger, et al.

Local Business Owners & Employees: Jason Levering, Paul B Allen, Brittany Dabestani, Rachel Evans, Ross Miller, Stephanie Ahlschwede, Erin R. Duerr, JC Carmichael, Ben Shafer, Grace Dahlke, Andrew Miller, Rich Wahl, Samantha Guelden, Joseph Pittack, Chris Erickson, Kathy Buchanan, Amy Ryan, Michal Simpson, Annie Butler, Bill Carmichael, Jason Ackland, Jeremy Ivers, Joseph Goodman, Wayne Brecke, Elisha Tinker, Julie Toma, Michael Shever, Kassie Bendorf, Michaela Lucas, Abigail Lemke, Rob Rutar, Bret Reimers, Alexander Lund, Stephen Currie, Jill Anderson, Caleb Devine, Jay Muller, Bailey Gappa, Jenni Byrd, Zach Schmieder, Jim Johnson, Sue Behr, Rod and Carol Feelhaver, David Utterback, Joel Jantzen, and many more,

Local Artists & Residents: Alex Jochim, Linda Hilliar, Ang Bennett, Ben Matukewicz, Katera Brown, Spencer Goracke, JoDee Goracke, Kayla Meyer, Alex O'Hanlon, Jessie Fisher, Melyn Marie, Dawaune Hayes, Laura Simpson, Mike Nesbit, John-Paul Gurnett, Tres Johnson, J. J. Carroll, Trudy Swanson, Jess Benjamin, Tom Prinz, Bryan Miller, Todd McCollister, Natalie Yechout, Elizabeth Ponce, Maurtize Ivy, Angela Gahan, Brandon White, Brent Bett, Brittani Button, Caitlyn Perman, Camille Rotermund, CC Pebbles, Daniel Cavanagh, Delaney Nordbrock, DèShaun the Fruit, Emily Draper, Enrique Lopez, Erin Carr, Grace Short, Jasmine Eggert, Joe Addison, Keyonna Jeter, Kirby Kaufman, Lindsay Jump, Liz Thrash, McKenna Nordbrock, Ned Vasquez, Nicole Hulstein, Olivia Bell, Parker Brown, Paul Meyer, Ramanda Fuelberth, Jerome Helm, Sarah E. Cavanagh, Sarah Ferguson, Saraya Vogel, Sedra D'mente, Shelby Audiss, Sterling Burns, Tyler Swain, and many more artists & residents who participate in monthly First Fridays, daily performances, and other arts-related events in Benson.

Organizations: BFF Omaha, Benson Business Improvement District, Radial Arts Center, Omaha Public Library, 402 Arts Collective, Omaha Public Schools, Maple St. Construct, Benson Theatre, St. Paul Benson Church, Charles Drew Health Center, and many more that show their support through partnerships, praise, and appearances.

Supporting entities outside the physical boundaries: Teresa Gleason, Caitlin Little, Jamie Hardy, Melinda Sorenson, Sara Pate, Stephanie Diaz, and many more that show their support through partnerships, praise, and appearances.

Who is missing from this list? Why?

President Joe Biden, VP Kamala Harris, RuPaul Charles, Oprah, Warren Buffet, and many many more high-profile celebrities and government officials that have yet to realize the impact that the Benson Creative District will have on the world.

On a more serious note, we would love to have more direct support from Mayor Jean Stothert, Governor Pete Ricketts, and other government officials who have yet to voice their support for the BCD.

Note: Three letters of support from individual community members or organizations located in the proposed district are required with the submission of the workbook. Examples include individual artists, social service organizations, local elected officials, creative businesses, etc.

SUPPORT FROM LOCAL GOVERNMENT

Has the Creative District been presented to the local government entity in the proposed district?

For Example: Village Board, County Board of Supervisors, City Council, City Planning Department, Urban Planning Division

Yes

No

Note: A memorandum of understanding or letter of agreement between partnering entities, which includes a representative from an agency of local government is required when you submit your completed workbook.

If the entity from the first question will not endorse the Creative District, please explain why.

Not applicable.

DEVELOPMENT, LAND USE AND HOUSING

Are there regulations that impact the development of this area?

For Example: restricted-use zones, environmental mitigation, etc.?

The different zoning of properties that fall within the boundary map include CC (Community Commercial District), GC (General Commercial District), GI (General Industrial District), NBD (Neighborhood Business District), R4 (Single-Family Residential District), R5 (Urban Family Residential District), R7 (Medium-Density Multiple-Family Residential District), and R8 (High-Density Multiple-Family Residential District). Zoning districts promote compatible land use patterns and establish site development regulations and performance standards appropriate to the purposes and specific nature of each district. The Benson Commercial Historic District, which falls within the boundary map, is listed as a National Register Historical District, which from a development standpoint preserves the scale and integrity of the district. The portion of Maple Street within the map boundary, is also Nebraska Highway 64, which is under the jurisdiction of the Nebraska Department of Transportation (NDOT). In addition, Northwest Radial Highway is also Nebraska Link 28K (L-28K), which is also under the jurisdiction of the NDOT. Due to these two streets being under the state's jurisdiction, there are some increased regulations and limitations that could have potential impact to the development of this area, as opposed to streets that just fall under the city's jurisdiction.

Describe any infrastructure projects that may need to take place to make the area more accessible or user-friendly.

For Example: traffic mitigation, improved lighting

The following list of projects, upgrades and ideas relating to infrastructure were collected via surveys and various community forums. The list includes: bike lanes and bike racks, affordable housing, neighborhood wide scooter access, roundabouts, re-natured green spaces, general accessibility, trees and shade area, indoor/outdoor marketplace for food, wider sidewalks, changeable public art display, grocery store, gardens, more accessible bathrooms, making Maple Street pedestrian only, traffic mitigation, safer crosswalks, closed alleyways to vehicles, community maps, parking, improved lighting in alleyways, street lighting, pedestrian safety upgrades, homeless services, decorative lighting over the streets, longer crosswalk durations with audio cues, more benches and protected/shaded seating options, ADA compliances, a safe-use drug space, etc.

Among these answers, here are the top 5 ranking infrastructure improvements, gathered online & in-person, and discussed during facilitated community discussions:

1. Pedestrian safety - tied with alleyway redesign
2. Alleyway redesign - compliments pedestrian safety
3. Greenspace development - tied into alleyway redesign; beautification
4. Diversified transit options - tied into all the above; includes bike lanes and racks
5. Improved parking - tied into diversified transit options & pedestrian safety; BID is currently hosting conversations about the possibility of a Parking Benefits District (PBD) in Benson and are actively working on upgrades, based on public feedback.

Revisit your asset map and SWOT analysis and describe any designated assets that people would like to see redeveloped.

For Example: historic buildings, transit centers, community plazas, etc.

Desired infrastructure improvements include more efficient and beneficial parking, improving the walkability and infrastructure for alternative modes of transportation, increased accessibility measures on all fronts, wider and more accessible sidewalks, alley-way development, redevelopment and repurposing of unused properties or empty buildings for community spaces and community gardens, and connecting green spaces with the district. In the second Community Meeting, we discussed how to improve artist support. Amongst the top discussion points was the need for affordable live/work spaces for artists. This is a top priority for the Benson Creative District. Luckily, Benson is filled with buildings for lease, and the community is already communicating with building owners about using spaces for studios.

What would you like to see added to your community?

For Example: a coffee shop, welcome sign on the outskirts of town, a public transportation option, etc.

Grocery store, bike shop, coffee shop, improved public transportation, artist studio space(s), outdoor water stations for people, welcome/info kiosks, more green space, more daytime business, vegan restaurants, record shop, more small businesses/shops, access statements and access info on all event and establishment websites, sculpture garden, skate park, electric car chargers, more free parking, dog park, more murals, mural festival events, artists on all billboards, farmers market, statues/sculptures, efficient trash/recycling bins, community gardens, art supply store, etc.

Gentrification is a process in which the character of an area is changed and residents and small businesses are displaced, typically through higher housing costs brought on by new construction and redevelopment. What discussions or actions has your community taken to keep this from happening?

We discussed this in two of our community forums and online, receiving the following feedback of varying opinions:

The neighborhood has tried to resist luxury apartments, but to no avail.; Benson has had an organic, community-based economic growth precluding it from gentrification. There is a nice mix of many different and diverse economic classes and cultures.; The BNA has discussed this in their meetings. One BNA member had this to say: 30+ years ago when gangs were prevalent in Benson, the Benson Neighborhood Association was formed. The BNA worked together to make the neighborhood safer and as a result it attracted businesses and middle class people and families who improved housing in the area. Along with recent increased activity by Bensonhurst Association to remove crime, one could assume that Benson has been truly gentrified.; It's important to maintain and create affordable housing and/or studio space for creatives to be able to afford to stay in Benson.; Benson has been truly gentrified.; It feels like people standing up against gentrification aren't winning too many fights right now.; Not sure it's been an issue.; Staying engaged with the community and having a culture that stands up for it will combats gentrification.; Allow the space to just BE.; A lot of gentrification projects MISUSE "revitalization" in their project.; Educate people and gather everyone's opinion.; Try to work with building owners and spread word about BCD's intentions and needs - how do we combine the needs and utilize empty spaces for the benefit of the district.; Having standards.; Focus on the youth.; Pay attention to our history.

Overall, our facilitated discussion groups decided that:

The difference between gentrification and revitalization is communication and inclusion.

The BCD will strive to continue to communicate and include as many diverse individuals, groups, businesses, and organizations as possible in its planning and implementation processes. Hopefully, the community focused efforts will mitigate some of the effects that gentrification has already had on the community.

Is there a local need for affordable housing and/or work-space for artists?



Yes



No

EDUCATION, WORKFORCE AND JOB CREATION

Does the community support and foster arts educational opportunities for life-long learning?

Yes

No

What are some of the organizations that do this work? What services do they provide?

Please see Appendix P.

Does the local community college/school district offer arts-based job training curriculum?

Yes

No

If YES, list the curricula:

Please see Appendix P.

Does the local workforce development agency have a plan to create workforce development opportunities in creative economy jobs in the area?

Yes

No

Do these plans include disadvantaged demographic groups (such as veterans, low-income, persons with disabilities, etc.)?

Yes

No

If YES (to either question), please describe some of the plans that assist with developing the local workforce.

Please see Appendix P.

ECONOMIC DEVELOPMENT

What organization(s) manages economic development work on behalf of the local community?

For Example: local economic development corporation

- Greater Omaha Chamber
- City of Omaha Planning Dept.
- Omaha by Design
- Benson Business Improvement District

Please describe the activities that the community and this organization does or will do to support creative-sector economic development.

- **Greater Omaha Chamber:** Manages economic development for the City of Omaha, which would encompass the Benson neighborhood.
- **Omaha by Design:** Has acted as project manager for City of Omaha projects.
- **Benson Business Improvement District:** A collaborative partner, it helps fund public art projects & installations, assists in marketing & promotions, and advertises opportunities to business owners.
- **Community Organizations / Local Businesses:** Create events that attract a consumer audience, e.g. First Fridays, theatre productions, gallery shows, art performances, concerts & live music, Benson Days, New American Arts Festival, PRIDE, and Zombie Walk.
 - Provide affordable artist studios, mentorships, and networking.
 - Fund and install creative neighborhood features and public art to give the neighborhood a distinct creative identity and attract new businesses.

Is there a designated economic development plan that includes the arts as a driver of economic activity?



Yes



No

If yes, describe the key aspects of the plan.

The Omaha 2040 plan focuses on making the whole region one of the most inspirational places in the country. The plan focuses on people, building a sense of place and using targeted economic development to grow a prosperous economy that benefits all residents, including creatives.

Specific goals include:

- 1) The tradition of attracting national and international artists to live in the Omaha area where they create, teach and innovate has evolved to include music and performing arts like nowhere else in the world.**
- 2) Neighborhoods reflecting the diverse population's cultural heritage flourish throughout the region. A stroll through outdoor eateries across the region expose all of the senses to the richness of ethnic variety, food, art and language.**

Are there plans to add creative economy activities to the proposed district in the future?

Yes

No

If so, please describe.

Yes:

- The district is applying to be a designated Creative District.
- The Benson Business Improvement District plans to help in the creation of a centralized website that acts as a guide for events, available spaces & services, job listings, and neighborhood resources.
- BFF Omaha has plans to create additional affordable artist studios, residency programs, art galleries, and events.

Does the region currently have systems in place to help support, train and grow entrepreneurs and small businesses?



Yes



No

Please describe these systems that exist in the community already. If you answered NO, describe those that you would like to see in the future.

The following list of opportunities will be displayed on the BCD website:

- **GROW Nebraska** - a nonprofit resource to create viable economic development through business training, technical assistance, promotion, and access to markets.
- **Omaha Chamber** - supplies entrepreneurial development assistance to a dynamic business community by connecting founders and the Omaha startup ecosystem. A few of our key partners are directly connected with the chamber and are helping the Benson neighborhood stay in contact.
- **Entrepreneurs Education Collaborative** - a cooperative alliance of the Better Business Bureau, Catholic Charities, Greater Omaha Chamber of Commerce's Reach Initiative, NE Enterprise Fund, NE Business Development Center, U.S. SBA, and SCORE Mentors of Omaha that provides entrepreneurial education.
- **Nebraska Angels** - resource guide and network of angel investors who review business plans, listen to pitches, conduct due diligence and negotiate terms for potential investments.
- **Nebraska Enterprise Fund** - a nonprofit providing business mentoring, training and funding support for small and micro business development.
- **Midlands Latino Community Development Corporation** - provides educational and financial resources to help develop the Omaha metro latino community.
- **Catholic Charities Microbusiness and Asset Development Program** - offers a wide range of services tailored to help entrepreneurs and small business owners.
- **Benson High School**
 - **Design and Construction Academy** - opportunity for students to earn industry certifications in Adobe Illustrator and Adobe Photoshop.
 - **Business & Entrepreneurship Academy** - opportunity for students to earn Entrepreneurship and Small Business (ESB) Certification.
- **BFF Omaha**
 - **First Friday events & Artist Markets** provide local artists, makers, small businesses, and start-up entrepreneurs accessible opportunities to market their businesses, gain hands-on experience, increase sales, and build customer relationships & new audiences.
 - **I AM SEEN** -LGBTQIA2S+ artist & youth mentorship program.
 - **MaMO (Mobile Gallery) Artist Residencies**
 - **Multiple artist workshops**, including Teen Line, solely dedicated to local youth

Mark any of the economic development programs your community has gone through.

Economic Development Certified Community (EDCC) Program

Leadership Certified Community (LCC) Program

Other: Please explain the box below.

- **The Benson-Ames Alliance Plan (2006)**- “A plan to encourage mixed-use centers that blend retail, residential and office elements to achieve balanced and truly livable neighborhoods in Downtown Benson; 72nd and Military; North Saddle Creek and Hamilton; Ames corridor between 50th and 60th streets; Sorensen Park Plaza; and Benson Park Plaza. Additional sections of the plan address transportation, housing and public space issues. It also contains recommendations on the restoration, conservation and preservation of housing stock, and offers ideas on creative and distinctive signage to reflect the community’s unique character.”
- **The Maple Street Corridor Project (2008)** - “A collaborative formed to revitalize Maple Street in downtown Benson from Northwest Radial Highway to 64th Street. The project, which also focuses on Military Avenue from Maple Street to Northwest Radial Highway, is a partnership of the Benson-Ames Alliance, the Benson Business Association, the Benson Neighborhood Association, the City of Omaha Departments of Planning and Public Works, and Omaha by Design. The project focuses on three components – a new streetscape design, a housing and retail market analysis, and a community branding initiative designed to spark civic pride and investment in redevelopment opportunities.”
- **Benson Commercial Historic District (2020)** - The Benson business district is officially listed in the National Register of Historic Places. The designation makes many property owners eligible for Historic Tax Credit Programs which are some of the most impactful tools to promote economic revitalization and stimulate the local economy.
- TIF funding was approved for the following projects to encourage private investment and redevelopment within Benson: Benson Lights Apartments (2015), The Mill Apartments (2019), District Loft Benson (2019), and Benson Theatre (2020).

MARKETING

Two marketing samples will be required with the submission of your workbook. Preferred samples will show how the community is marketed as a whole. Examples include a website, magazine ads, or brochures. If there are no examples of marketing pieces from the district, pieces from individual organizations may be accepted. Applicants will have to explain why there are no marketing pieces specific to the district already in existence.

Will there be a marketing and promotional budget assigned to the promotion of the District?

Yes

No

How have you marketed your community in the past?

- The BID hosts an existing website, [experiencebenson.com](http://www.experiencebenson.com) that will be built out to become the BCD official website. <http://www.experiencebenson.com/>
- BFF has been promoting its events in both grassroots and traditional methods since April 2012. The organization creates monthly posters, printed & digital maps, online events, social media posts, press releases, and other promotions to market First Fridays in the Benson Neighborhood. BFF also has a designated Communications Director and communications team, including interns and volunteers. This team creates digital promotions, social media videos & graphics (Facebook, Instagram, TikTok, et al.), distributes Press Releases regularly to 44 members of the press, facilitates non-traditional promotional events and specials, and utilizes the BFF website to reach a wide audience. Here's an example of April 1, 2022's First Friday event: <https://fb.me/e/2kZKyNE9x>

Who is your target market and how do you intend to promote your arts and tourist activities to them?

Please see Appendices T and U.

In order to successfully market your District, what marketing or promotional materials will you need to create that you have not had the resources to create or do not already exist?

- **Expanding our physical distribution areas for posters, fliers, brochures, etc. to untapped areas within and outside of the BCD will diversify our reach.**
- **Fine tuning our social media outreach and virtual offerings will attract new people to visit our district and aid in accessibility. In order to ramp up an effective outreach strategy, we will hire a marketing expert to develop a virtual & social media content strategy. We will also need to invest money into professional photographers and videographers.**
- **In order to tie all of our marketing strategies together, we need to further invest in the development of a website with ecommerce capabilities to facilitate a customer loyalty program. This website will also position us to update content frequently to reflect our evolution in outreach and share a fuller vision of our brand offering.**
- **Adding digital kiosks and signage to the Far East and West ends of Maple Street would be a good improvement and marketing tool. This idea will be further explored at future community meetings.**

OUTREACH

Describe community outreach activities that your group has done.

This is an excellent time to document activities. Make sure you have a designated person to record minutes, and take pictures, if possible.

- **The Benson Creative District coordinating committee (BCDCC) has held multiple in-person planning sessions. These gatherings, also available recorded and on Zoom to virtual attendees, gave community members an accessible opportunity to shape the efforts to position Benson as a creative district.**
- **BCDCC actively promoted our efforts during First Friday events November 2021 - April 2022, and plan to continue as such.**
- **Multiple community surveys have been distributed within local businesses, at events within the district, through resident networking, and social media channels of the key BCD partners. Surveys were also incentivized with randomly selected prize winners.**
- **Additionally, existing arts-focused groups in our community (e.g., BFF Omaha, 402 Arts Collective, and Arts For All) have been actively working to attract and retain visitors on an ongoing basis. Collaboration between local business entities and the BCDCC is ongoing, with many committee members also being local business owners. This collaboration has allowed for simultaneous engagement with current customers in local businesses as this effort progresses.**
- **The BCDCC also includes residents who are neither business owners, nor directly involved in arts activities in the district. Extensive community outreach has ensured that our application is representative of many groups and perceptions of people within the community.**
- **Please see Appendix V-Zb**

Describe the concerted outreach efforts you have made to artists and other creatives. Explain how artists and creatives are actively working on your district committees.

- **BFF and Radial Arts Center have hosted multiple in-person planning sessions and distributed an online survey, giving community members the opportunity to shape the efforts to qualify Benson as a creative district.**
- **First Fridays, facilitated monthly by BFF Omaha, have provided an opportunity for informal dialogue between local artists and people leading the BCD application effort. Through ongoing interaction at these monthly events, many local artists and creatives have officially joined the effort by signing up to lead various committees, attend community forums, and share feedback via the online survey.**

Are there residents who can act as advocates or cheerleaders on behalf of the Creative District?

Yes

No



If so, who are they?

These advocates may be listed on your asset map!

- | | | |
|---|----------------------|------------------|
| BFF Omaha, and its 60+ volunteers & staff | Elisha Tinker | Megan Hunt |
| Abby Lemke | Elizabeth Ponce | Melynda Walsh |
| Adalia Socha | Grace Dahlk | Micael Sanchez |
| Alex Jochim | Jason Ackland | Michael Shever |
| Alexander Lund | Jay Muller | Michaela Lucas |
| Alison Ranniger | Jenni Byrd | Michal Simpson |
| Amanda Good | Jeremy Ivers | Natalie Yechout |
| Amanda Huckins | Jess Benjamin | Paul B Allen |
| Amy Ryan | Jessie Fisher | Rachel Evans |
| Andrew Miller | Jill Anderson | Rachel Morgan |
| Angi Coleman | Jim Johnson | Rich Wahl |
| Annie Butler | JJ Carroll | Rob Rutar |
| Ashley Koenig | JoDee Goracke | Ronnie S. |
| Bailey Gappa | Joe Carmichael | Ross Miller |
| Ben Matukewicz | Joe Goodman | Samantha Guelen |
| Ben Shafer | Joe Pittack | Sandi Czapla |
| Ben Stallings | Joel Jantzen | Spencer Goracke |
| Bill Carmichael | Jose D. | Stephanie |
| Bret Reimers | Joseph Pittack | Ashlschwede |
| Brian Miller | Joy Jones | Stephen Currie |
| Brittany Dabestani | JP Gurnett | Sue Behr |
| Caleb Devine | Julie Toma | Teresa Gleason |
| Carol Feelhaver | Kassandra Mayo | Todd McCollister |
| Chad Gilliland | Kassie Bendorf | Tom Prin |
| Chris Erickson | Katera Brown | Tres Johnson |
| David & Brenda Losole | Kathy Buchanan | Trudy Swanson |
| David Utterback | Lauren Koop Daughtry | Zach Schmieder |
| Dawaune Hayes | Linda Hilliar | |
| | Maurtize Ivy | |

What challenges have you had in your outreach efforts?

The lack of a cohesive strategy across the entire districts' businesses, people, and resources at hand has caused inefficiencies. Additionally, piecing together a substantial operation without any paid employees directly dedicated to the effort has also been an added challenge. Luckily, the BCDCC is passionate & persistent in seeing these efforts through successfully.

STRENGTHS, WEAKNESSES, OPPORTUNITIES & THREATS

A SWOT analysis allows you to look at your community as a whole. To develop a successful plan to get you where you want to be, you must first have an honest, realistic picture of where you are. A SWOT analysis should be done by multiple people, since each person may have a different perspective.

Internal strengths and weaknesses are things you can change. External opportunities and threats are things you have no control over. Some items may appear in more than one section. For example, empty commercial buildings may be a weakness due to the economic impact on the community, but may also be an opportunity for growth.

A small example is below, so you can see how the areas relate to each other. A full page for each category follows, so that you have enough room to record the feedback you receive from the community.

<p>Internal Strengths</p> <p><i>What does your district already have going for it?</i></p> <p><i>Examples: Strong relationship with local government, great cultural assets, right on major highway</i></p>	<p>Internal Weaknesses</p> <p><i>Where are more resources needed?</i></p> <p><i>Examples: Poor branding for community, no signage for tourists, outdated website</i></p>
<p>External Opportunities</p> <p><i>What opportunities are open to you?</i></p> <p><i>Examples: New technologies available, second exit off the highway, new funding sources</i></p>	<p>External Threats</p> <p><i>What threats might hamper your community's growth?</i></p> <p><i>Examples: Decreasing population, new tax laws, unfavorable economic forecast</i></p>

INTERNAL STRENGTHS

What does your district already have going for it?

Examples: Strong relationship with local government, great cultural assets, right on major highway

- **Cultural diversity/multi-generational**
- **Quirky businesses**
- **Proximity to greater Omaha**
- **Benson Identity**
- **Vibrant networks**
- **Walkability on main strip**
- **Nightlife**
- **LGBTQ presence and support**
- **Inclusivity & Acceptance**
- **Tourism draw**
- **DIY mentality**
- **Well-Defined area**
- **Artistic infrastructure**
- **Conviviality**
- **Community spirit**
- **Services from religious institutions**
- **Location close to downtown**
- **Affordable housing compared to Dundee and other recently revitalized areas including midtown and the 72nd and Dodge corridor**
- **Organized events**
- **Strong relationship with local government**
- **Accessible location from public transportation**
- **Good bars, restaurants, & music venues**
- **Strong identity of artists; Great culture**
- **Advocacy for BLM**
- **Historic**
- **Major highway (13,000 impressions a day)**

INTERNAL WEAKNESSES

Where are more resources needed?

Examples: Poor branding for community, no signage for tourists, outdated website

- **Lack of coordination/communication**
- **between different groups**
- **Over-reliance on same people/organizations**
- **Lack of funding**
- **Apathy toward arts culture from businesses**
- **Cliquy**
- **Lack of parking/Heavy traffic/need**
- **better infrastructure for alternative forms of**
- **transportation outside cars**
- **Lack of grocery store**
- **Lack of walkability outside of main strip**
- **Litter**
- **No central social media acct**
- **Incorrect perceptions of the district**
- **Brain drain**
- **Located in out of the way pocket of Omaha**
- **Lack of day time activities**
- **Empty buildings/ disrepair**
- **Maple street as a Hwy**
- **Need more outreach and inclusivity**
- **Conflicting interests**
- **Lack of business association**
- **Lack of appeal to older/conservative people**
- **Too many bars**
- **Poor public transport & bike infrastructure**
- **Outdated district website**
- **Lack of a marketing strategy**
- **Weak/poor signage and branding**
- **Alleys need to be revitalized/enhanced**
- **Accessibility for disabled people**
- **Unsafe at night**
- **More adult friendly than family friendly**
- **Need better relationship with City of Omaha**

EXTERNAL OPPORTUNITIES

What opportunities are open to you?

Examples: New technologies available, second exit off the highway, new funding sources

- **Missing Middle Housing movement**
- **Growing Tourism**
- **Growing Arts culture**
- **More collaboration with other creative districts**
- **Omaha 2040 plan**
- **Single-use plastic ban**
- **New residents**
- **Parking Benefits District**
- **Improve walkability and infrastructure for non-car forms of transport**
- **Work with Mayor and City Council**
- **Post-covid activity is increasing**
- **Funding from foundations**
- **Sponsorship potential**
- **Individual donors**
- **Build a sustainable model**
- **Become a destination**
- **Alley-way development**
- **Unused properties/empty buildings**
- **Business developments**
- **Neighborhood Meetups**
- **Connecting green spaces with business district**
- **Incorporate families**
- **Day time activities**
- **City's climate action plan**
- **Omaha Summer Arts Festival**
- **Better bus service**
- **New housing options**
- **Planning with accessibility in mind**
- **Very "up and coming"**

EXTERNAL THREATS

What threats might hamper your community's growth?

Examples: Decreasing population, new tax laws, unfavorable economic forecast

- **Car culture / traffic / parking**
- **Pandemic**
- **Gentrification**
- **Divisive state and national politics**
- **Apathy/burnout**
- **Street Construction**
- **Failing to have good relationships with Mayor/City Council**
- **Developers (especially from out of state)/ developments that don't fit the culture**
- **Business turnover due to rising rents that restrict ability to stay or grow in district**
- **Inflation**
- **Rising cost of living**
- **Gang activity**
- **Climate change/extreme weather**
- **Other creative districts may limit funding opportunities**
- **Brain Drain**
- **Too much nightlife, need more balance**
- **Failure to create connections between green spaces and business district**
- **Shortage of affordable housing**
- **Economy**
- **Funding, planners and leaders moving at a pace that does not allow for inclusion of laborers, disabled people, sick people, etc.**
- **White supremacy culture, in general**
- **Rising prices of homes, rentals and leases for businesses**
- **Covid**
- **Inflation**
- **Uneven political landscape**
- **Crime**
- **Competition from too many areas like Blackstone, AkSarBen, Midtown, Old Market**

FOUNDATION

What is your creative district's vision statement?

This is a statement that describes your ideal future.

For Example: The Artsville Creative District (ACD) is a diverse and vibrant arts destination that embraces its urban heritage and drives economic growth.

Our vision is to elevate artists, amplify Benson's creative spirit, and serve as a hub for creative enterprise and expression in the Midwest.

What is the mission of the creative district?

In other words, what you'll do and how you'll do it.

For Example: The Artsville Creative District's mission is to encourage artistic and cultural creativity through advocacy, promoting programs and activities, supporting our multicultural urban communities, and providing opportunities for diverse expression.

Our mission is to advance creativity and the economic vitality in the historic Benson community.

What are the creative district's values?

Use short words or phrases to describe the core beliefs or guiding principles your community holds dear.

For Example: Inclusion - ACD is committed to participatory decision-making. We value and welcome diverse people, art and ideas.

- **Art is Everywhere - We value the arts in all aspects of our lives; beyond visual, and immersed into schools, businesses, community spaces, outdoors, parks, streets, alleys, etc.**
- **All Are Welcome - We value diversity, inclusion, and differing ideas from all residents, stakeholders, & visitors.**
- **We're Human - We value helping each other, learning from each other and providing a safe and sustainable atmosphere for all.**
- **We're Family - We value our supportive community and seek collaborative partnerships among all Benson residents and visitors.**
- **We're Original - We value grassroot ideals and hold space for all creatives to innovate freely.**

GOALS & EVALUATION

As you look ahead to the future, you will begin to set goals for your Creative District. What do you want to see your Creative District become? Revisit your SWOT analysis and Cultural Assets as you set your goals. What do you see happening that will affect your community? What steps do you need to take to accomplish these goals? Who will help you get where you want to go?

Begin thinking about how you will evaluate your goals. How will you know when you've accomplished those goals? It may help to 'dream big' and then apply smaller, measurable goals to help you get there.



“Our goals can only be reached through a vehicle of a plan, in which we must fervently believe, and upon which we must vigorously act. There is no other route to success.” —Pablo Picasso

Note: A strategic plan will be required when the Creative District plan is submitted.

What do you want to see happen in your Creative District in 3 years?

- a. Increased artist retention**
- b. Additional creative businesses**
- c. Expanded artist resources**
- d. Additional working artists**
- e. Deeper community engagement with the arts**
- f. Initiate the Marketing and Outreach Strategies**
- g. Desired infrastructure improvements include more efficient and beneficial parking, improving the walkability and infrastructure for alternative modes of transportation, alley-way development, redevelopment and repurposing of unused properties or empty buildings, and connecting green spaces with the business district.**

What steps need to happen for this to become a reality?

- a. BCD designation**
- b. BCD funding - expanded revenue streams**
- c. BCD dedicated paid staff person**
- d. Increased and continued partnership with the City of Omaha**
- e. Continued community input**
- f. Dedicated volunteer network**
- g. Working with the right organizations, nonprofits and businesses**
- h. Provide subsidized pricing for artist studios and creative spaces**
- i. Create a direct marketing strategy**
- j. Increased Public Art and improved green spaces**

What do you want to see happen in your Creative District in 5 years?

- Direct financial support from the city and county
- Become a beacon for creativity and increased tourism in NE
- Establish clear & walkable guides through the district - guided tours?
- Alleyway Initiatives
- Large buildings dedicated to creative spaces
- Host community meetings and continue to improve the marketing and outreach strategies
- Infrastructure and accessibility improvements not realized in the first three years
- In five years, we expect to have artists and creatives who are living and working in the area feeling like they are better supported to thrive here (e.g., exposure, resources, funding opportunities, etc.). We expect the number of artists and creatives living and working in the area to increase, while also increasing that groups' diversity of backgrounds and professional experience. We want to have other artists and creatives in the region looking to our district as an example for how to grow a creative district.
- As it relates to economic outcomes, we plan to see BCD reinforce its reputation as a thriving destination for nightlife, providing opportunities for local business to sustain success already achieved. We plan to grow the number of visitors coming to BCD during daytime hours. This will happen through strategic product/service offerings, targeting new market segments with outreach, and a cohesive branding and social marketing campaign.
- Achieving the BCD living and economic outcomes listed above is contingent upon substantial infrastructure and neighborhood improvements. Examples of improvements we hope to see developed in collaboration with community members, local businesses, local nonprofits, and official government entities include improved pedestrian safety infrastructure, increased accessibility from outside visitors to the district, alleyway redesign and repurposing, and upgraded community green spaces.
- Lastly, we hope to have our most prominent value - Art Everywhere - manifest within the lives of people and places in our community. Our district will have more visible art as part of its landscape. Art programming will be more prominently featured in activities happening in our community. Businesses will see art as a catalyzing influence on our market potential. And art will be an obvious association that non-residents make with our reputation as a neighborhood, destination as a place to visit, and influence on our city and region.

What steps need to happen for this to become a reality?

- a. BCD funding - expanded revenue streams
- b. Continued funding support for a full time BCD staff person
- c. Continued community input
- d. Dedicated volunteer network
- e. Working with the right organizations, nonprofits and businesses
- f. Provide subsidized pricing for artist studios and creative spaces
- g. A better understanding of state and foundation funds that can be sought for large, strategic community improvements
- h. Work closely with the City of Omaha and advocate for municipal policies and/or tax breaks that support the residents, employees, artists and business owners. Also work with the city on all infrastructure improvements (e.g, wider sidewalks, alleyway improvements)
- i. Direct marketing strategy to improve economic outcomes for businesses
- j. To support our goal of Art Everywhere, we will increase public art initiatives, work closely with local artists and businesses, and ensure that artists are paid for their beautification efforts in the neighborhood.

CHECKLIST

Congratulations on completing your workbook!

Use the checklist below to make sure you have all of the supplemental materials required at the time of submission.

Completed workbooks and supplemental information should be sent to the Nebraska Arts Council at nac.grants@nebraska.gov.



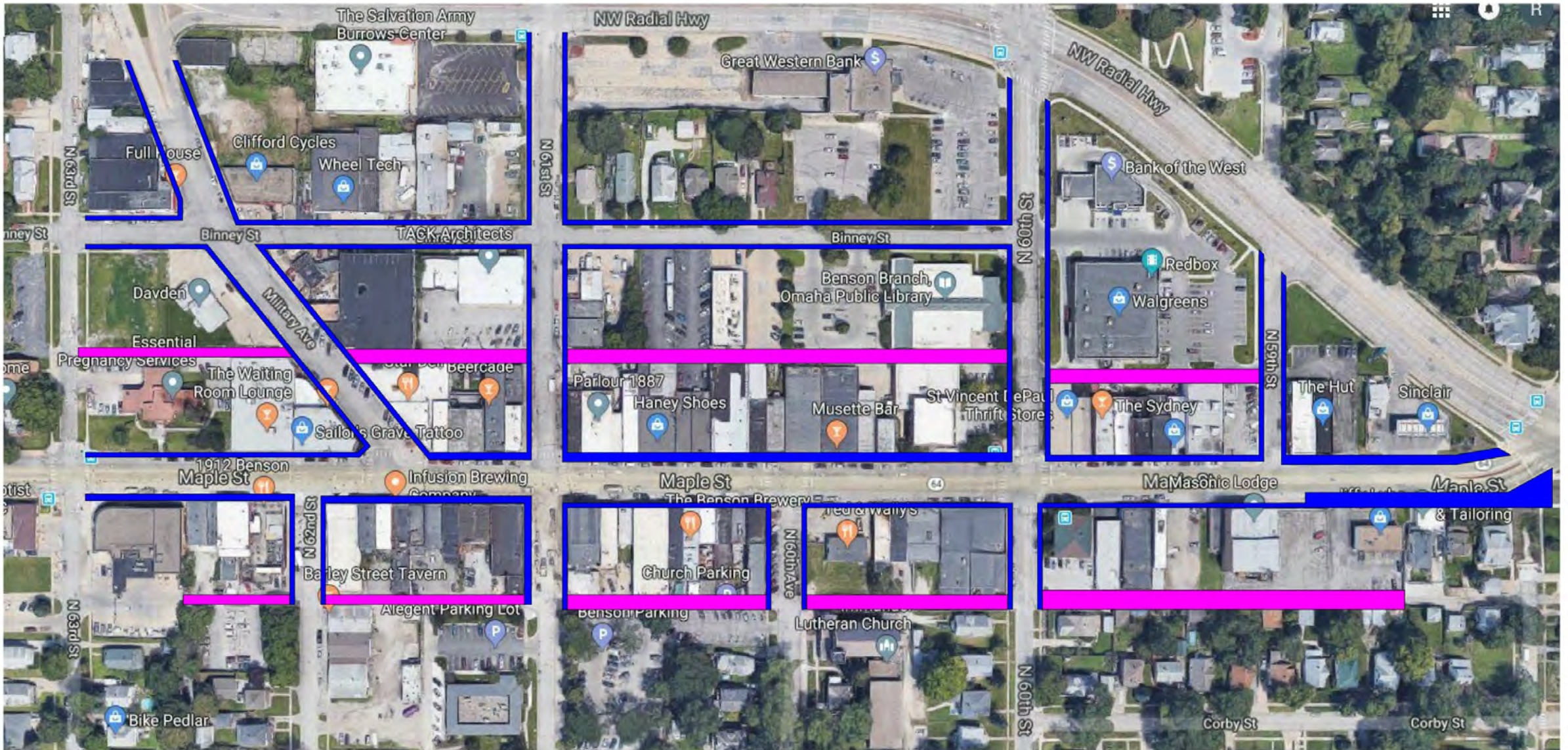
- Completed workbook
- Physical map of the Creative District
- Two marketing samples
- Three letters of support
- A memorandum of understanding or letter of agreement between partnering entities, which includes a representative from an agency of local government

OUT  **BACK**
b e n s o n



41° 17' 6.8964" N | 96° 0' 15.498" W

Alleys can contribute to over 50% of additional public space to Downtown Benson, creating a network for pedestrians.



■ CURRENT SIDEWALKS = ~500 sf

■ CURRENT ALLEYWAYS = ~325 sf



From Dead Space to Public Space.

**Creating Collaborative Arteries that are Safe,
Sustainable, and Pedestrian-Friendly Alleys**

Design Opportunities:

- **Art (Public, Interactive, Updating)**
- **Furniture & Seating Areas**
- **Landscaping & Plants / Green Spaces**
- **Lighting (Overhead, on Buildings, on the Ground)**
- **Upgrade Paving Surfaces (Permeable)**
- **Smaller Drive Aisles**
- **Alley Entries/Signage**
- **Events to Activate Alleys**
- **Expanded Business Opportunities**



GREAT JONES ALLEY

STEREO
RECORDS & MUSIC

Alley Entry Example



GREAT JONES ALLEY

Alley Entry Example



Alley Intervention
Example



Alley Intervention
Example



Activating Alleys Through Events



Activating Alleys Through Events





Alley Intervention Example



Alley Intervention Example



Alley Lighting Example





Alley Lighting Example



Alley Lighting Example



Alley Lighting + Furniture + Paving Example



Alley Lighting + Art Example



Alley Lighting + Art + Paving
Example



Alley Lighting + Art + Paving Example





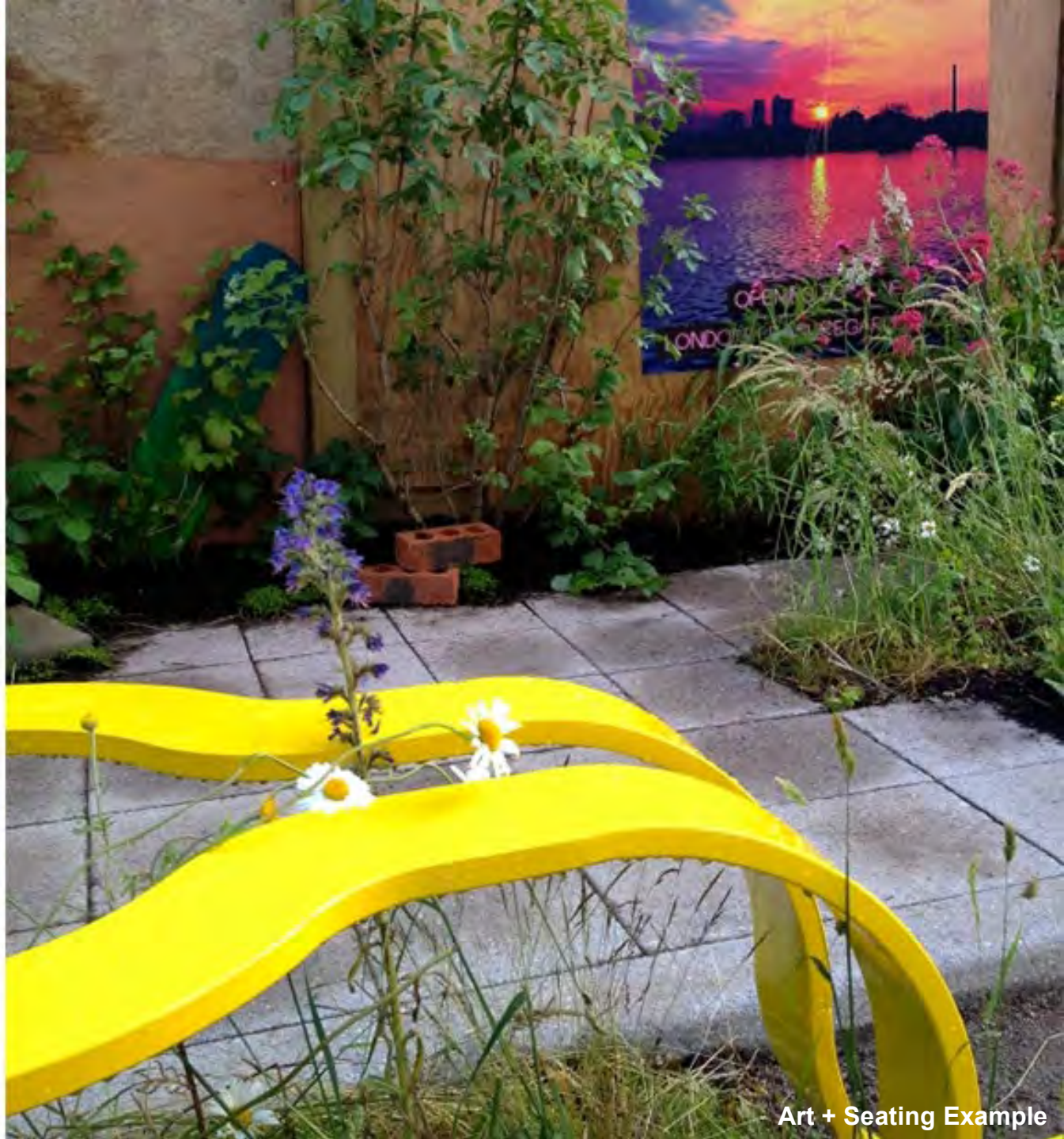
Alley Lighting Above + Below Example



Alley Ground Art + Lighting Example



Art + Projections + Lighting Example



Art + Seating Example



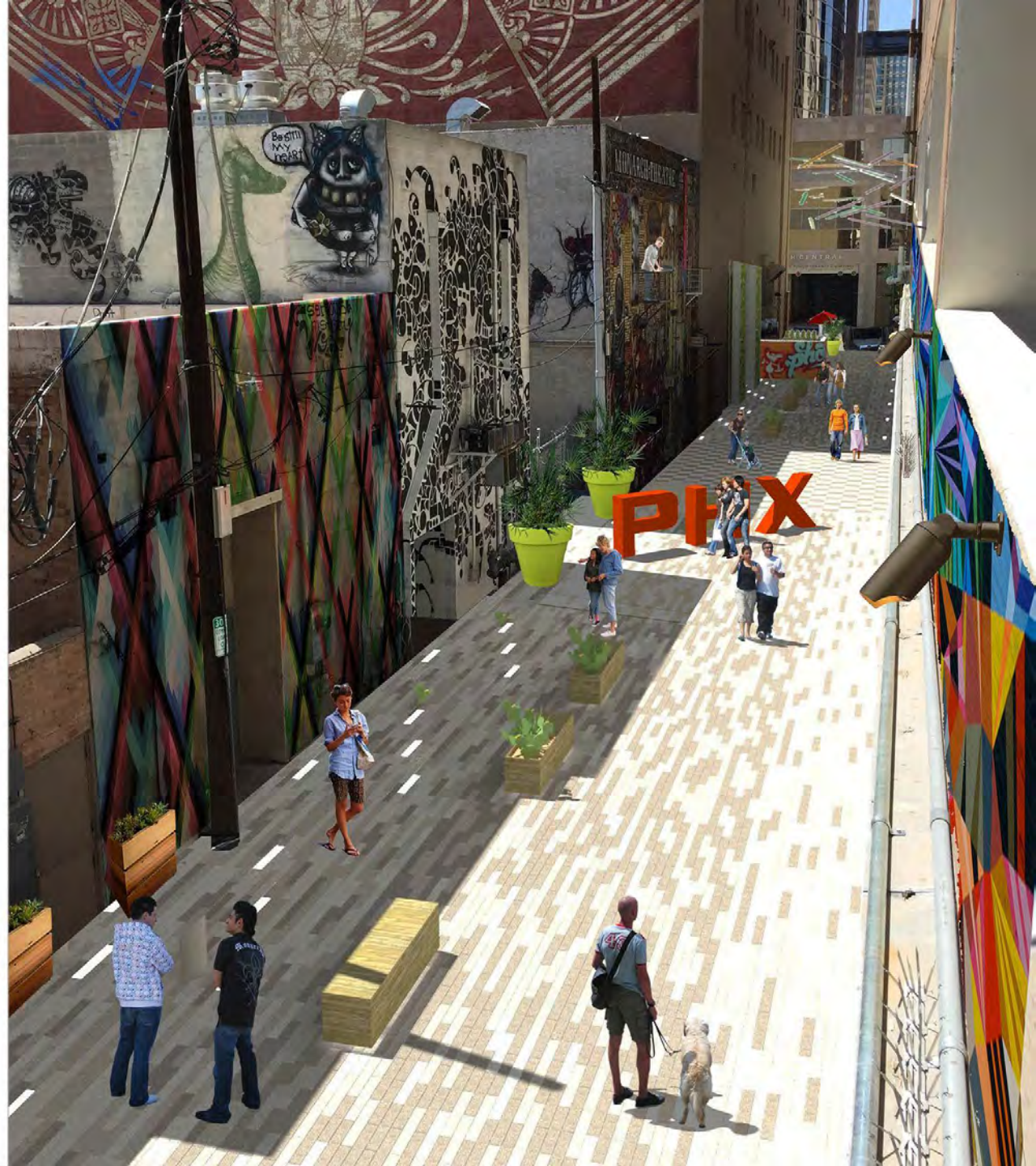
Activating Under-Utilized Space for Events



Alley Furniture Example



Activating Under-Utilized Space for Events





Alley Art + Lighting + New Paving + Seating Example



Before



After

Permeable/Variety of Paving + Landscaping Example



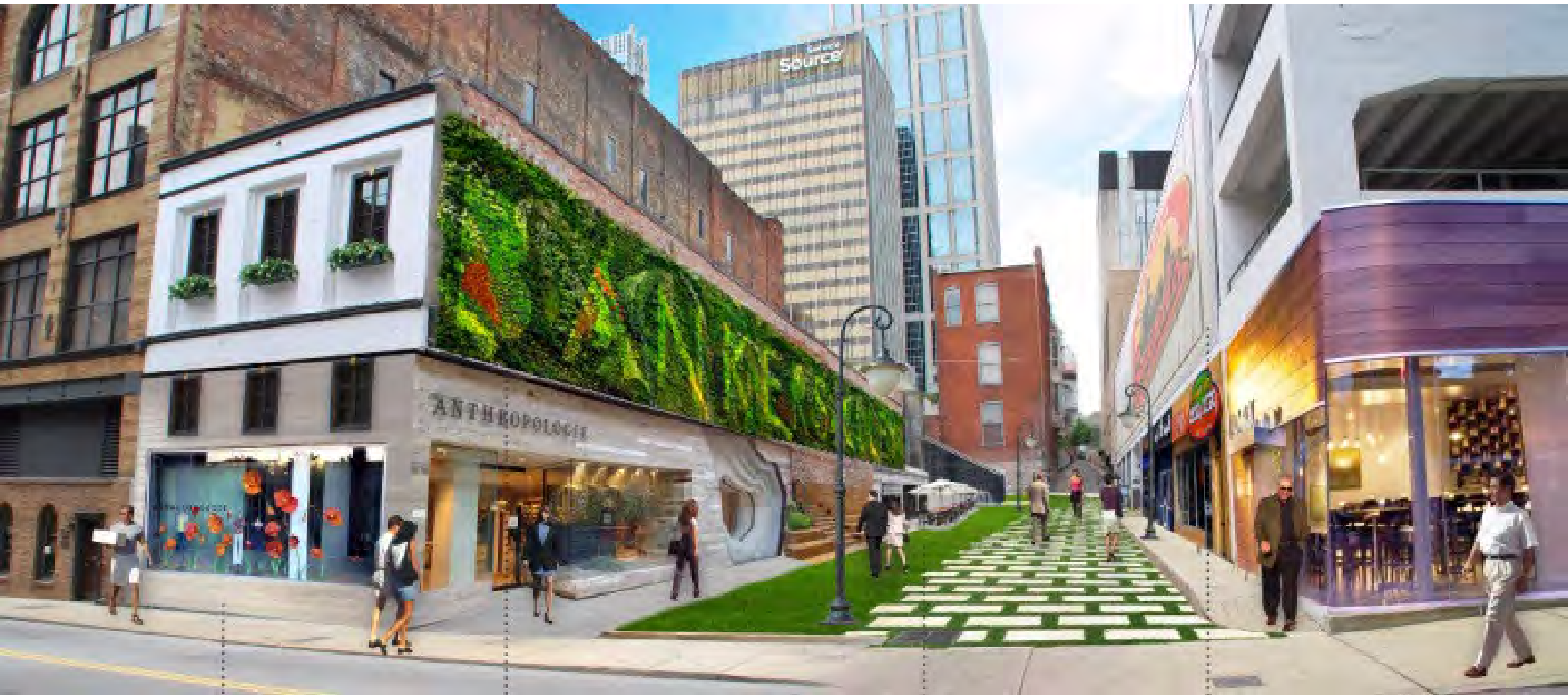
Café

Stapleton

450

Michael's

Mixture of Paving + Landscaping Example



Landscaping + Lighting // Activating Businesses from the Alley Example



Colorful Alleys + Greenery + Lighting Example



Activated Alley Example



Landscaping + Seating Example



Landscaping + Seating + Narrowed Drive Aisle Example



Landscaping + Seating // Activating Businesses from the Alley Example



Landscaping + Lighting + Seating // Activating Businesses from the Alley Example



Planter Boxes + Paving + Lighting Alley Example



Lighting + Paving Alley Example



Landscaping + Lighting + Paving
Activating Businesses from the Alley Example





Art/Alley Entry Example

Slideshow developed by:



FORMGREY STUDIO

ARCHITECTURE + DESIGN + FABRICATION

Grant Application

Row 218

Organization Name (if applicable) Midland University

Physical Address 11213 Davenport Street Omaha NE 68154

Mailing Address

Website <https://www.midlandu.edu/>

Social Media Accounts

Name Dr. Sara Tiedeman

Title Associate Vice President

Email Address tiedeman@midlandu.edu

Phone +1 (402) 941-6380

Team Yes

Upload

Organizational Chart Upload

Other Completed Projects and/or Accomplishments Founded in 1883, Midland University is where you go to find your purpose. Better yet, it's where your purpose is our priority. Here, students are provided relevant opportunities in more than 30 academic areas, four graduate programs, and a wide range of professional studies programs at both our Fremont and Omaha locations. Recognized by the Chronicle of Higher Education as the 9th fastest-growing private, nonprofit baccalaureate institution in the country, Midland takes a modern approach to liberal arts education. This is where teaching leaders go to create master winners. By working from the marketplace back, we can prepare next-gen innovators with the skills necessary to thrive and lead in the world. Midland University has had a successful Teacher Career Ladder (TCL) program for eight years. The TCL is a proven example of successful innovation on how to provide more teachers into the profession. Through six cohorts we have increased the teachers in the field by over 100 teachers.

Proposal Title Teacher Career Ladder Program

Total Budget (\$) \$3,542,000.00

LB1024 Grant Funding Request (\$) \$1,425,820.00

Proposal Type	Service/program
Brief Proposal Summary	The Teacher Ladder Program will provide current education assistants the opportunity to become teachers while allowing Community Schools the opportunity to build a workforce that embraces School District's commitment to excellence in a manner that is reflective of the student body. This initiative will have a positive impact on student engagement, belonging, and achievement. Midland University recognizes that a critical pipeline for quality teachers can be the para-educator serving in our school classrooms. We have developed a program that provides the opportunity for paras to complete the required coursework to meet the requirements of Nebraska Teacher Certification.
Timeline	January 2023 Recruit individuals from QCT to the TCL Program Cohort 1 (C1) May 2023 C1 Cohort Begins August 2023 C1 Fall Classes January 2024 C1 Spring Classes May 2024 C1 Summer Classes Cohort 2 (C2) Summer Classes August 2024 C1 Year Two Fall Classes / C2 Year One Fall Classes January 2025 C1 Year Two Spring Semester Student Teaching / C2 Year Two Fall Classes May 2025 C1 Participants Receive Teaching Certificate / C2 Year Two Summer Classes 2025 C2 Year Two Fall Classes January 2026 C2 Year Two Spring Semester Student Teaching May 2026 C2 Participants Receive Teaching Certificate
Percentage completed by July 2025	100%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	Many school districts face chronic teacher shortages. This is especially true for some specialty positions such as special education and English language learners. However, even greater than the need to simply fill positions is the need to increase the diversity of the teaching workforce. The teacher workforce is still largely white, even in districts where the majority of students are not. Research over the past twenty years continues to illuminate the barriers that disproportionately burden underrepresent potential teacher candidates. Many districts attempt to combat this problem by recruiting educators from other districts or states. Research shows that this can lead

to lower retention and less connection to the community. It is also insufficient to meet the need in most districts (EducatorFl.com). Teacher Career Ladder (TCL) programs builds deliberate pathways from the community to the classroom while bringing racial, ethnic, and cultural diversity and skills into schools. Midland University is committed to developing, enhancing, and sustaining a pipeline of racially, culturally, and linguistically diverse educators who embrace the commitment to excellence and are reflective of districts student bodies. A diversity gap exists between the white and monolingual teacher workforce and the racially, culturally, and linguistically diverse student population served in North and South Omaha. The North and South area currently has certified staff that represents 75% female and 25% male with 2% representing Hispanic and less than 1% representation of African American and Asian. The North and South classified staff demographic data for 2020-2021 identifies that 70% of the staff is female and 30% male, with a diversity of 14% African American, 5% Hispanic, and 3% Asian. Clearly by a committed effort with the TCL program the diversity in the teacher program will increase better matching that of the student population.

Visioning Workshop Findings Alignment The Midland University TCL addresses a substantial number of the findings from the Visioning Workshops held in North and South Omaha. Beyond the Vision Workshop findings, it should be noted that the Midland University TCL program can be scaled to encompass individuals in other CXT areas across the state.

Priorities Alignment The Midland University is an innovative solution uniquely positioned to impact the recorded concerns from the North and South Omaha Community meetings in the areas of employment and underemployment, youth, transportation, childcare, industry, workforce, training, education, and supporting actions.

Economic Impact Midland University TCL will provide 60 individuals with the opportunity to be teachers.

N/A

N/A

Starting wage is \$45,000 - \$55,000 / year

Midland University will continue to find financial supports to continue the funding for programs in the QCT.

Community Benefit Every person deserves the opportunity for dignified employment that provides living wages and potential for advancement. However, for many in North and South Omaha today as a result of COVID, this is far from reality as they are caught in a cycle of low wage work, earning poverty wages, and unable to move up in the economy. Research shows that the skills of the existing workforce do not align with the needs of today's employers which complicates attracting and retaining skilled workers. This is often referred to a skills gap. Effective training is widely acknowledged as the key to mitigating the impact of a widening skills gap. This project will work 100% with underrepresented groups and those caught in intergenerational cycles of poverty from the QCT communities specifically addressing those who are unemployed or underemployed with

opportunities to connect those individuals to teaching opportunities

The program continues to develop relationships with business partners and local foundations to diversify the revenue streams through support of ongoing scholarship opportunities. The program also has a strong plan for collaboration with business partners to create continued opportunities. The continual reinvestment into the program and a variety of payment pathways will allow the program to sustain long after the LB1024 funding and allow for a long lasting impact. This is essential as the need within the Omaha community and greater Nebraska area will continue for these types of positions.

Best Practices/Innovation

The Midland University TCL uses evidence-informed and evidenced based practices through the most current research and best practice for a framework for designing a program that is sensitive to the vulnerabilities and realities of upskilling and/or reskilling with the end-to-end journey model. The end-to-end reskilling journey model identifies the following six nonlinear dimensions of: encouraging user entry, building self-efficacy, navigating careers and systems, assisting with economic and social barriers, providing good content and teaching and lastly sustaining support. This framework addresses the needs of any individual who seeks reskilling and/or upskilling. It is important that any framework used identifies friction points that individuals face and encourage a universal and intentional program design that allows navigation through those points. Stakeholders using this framework have found success in reskilling individuals who are motivated and offer a specific knowledge base that is essential to the workforce.

Outcome Measurement

Midland University is committed to developing, enhancing, and sustain a pipeline of racially, culturally, and linguistically diverse educators who embrace our commitment to excellence and are reflective of our student body. 1. Recruit and select highly qualified (currently employed) Educational Assistants from the North and South Omaha ranks. 2. Enroll them in a paid program of study with a post-secondary partnership in the PK-6 educational arena, with a pathway to Nebraska teacher certification. 3. After completion, employ them to teach in North and South Omaha Community Schools classrooms and enrich the students' lives in new and even more meaningful ways.

The following information will be the metrics on which we will measure implementation fidelity and evaluation success: 1. Did the programming help to meet our overall recruitment goals as described in the district strategic plan? 2. What percentage of program participants (across all efforts) remained in the programs through completion and certification? 3. What percentage of program participants were hired to teach in Westside? Of those participant, do participants represent diverse identities (as disclosed)? 4. Do program participants who are hired by Westside remain as teachers longer than the typical novice teacher? 5. Did implemented programming increase overall percentages of staff who report belonging to diverse identities AND disaggregated percentages of staff who report belonging to diverse identities? The following evaluation tools and methods will be used for the metrics: 1. Course grades and attendance quarterly reports 2. Participation rates in academic and social supplementary supports 3. Quarterly participant feedback surveys (as well as focus

groups/document reviews, etc.) 4. Participant interviews at entrance and exit of programming 5. Praxis-Core scores and completion rates 6. Program completion rates for each initiative 7. Recruitment and job placement data reports 8. Attrition and retention data reports

	No
Partnerships	Yes
	Omaha Public Schools, Westside Community Schools, Fremont Public Schools, Millard Schools, Papillion LaVista Community Schools, Ralston Public Schools
	All of these have formal MOUs with Midland University
Displacement	No
Displacement explanation	
Physical Location	Midland University TCL program is a hybrid program with an online option therefore, the program will be highly available and accessible to anyone interested in the designated QCT areas. This grant request is focused on QCT areas east of Interstate 680 and west of the Missouri River referred to as the North and South Omaha Qualified Census Tract. Should the committee wish to expand the Midland University TCL program to include QCT areas in other regions of Nebraska we can readily scale to include more young people from a wide geography.
Qualified Census Tract	Within one or more QCTs
Additional Location Documents	This program will serve all eligible participants in the stated QCT areas as we do not have the limitations of traditional brick and mortar programming.
Property Zoning	No
Is the project connected to utilities?	
	No
	No
Design, Estimating, and Bidding	Yes
	No
	N/A
General Contractor	No

Request Rationale	The grant is the tuition rate from the University however, the program scholarship for each participant is keeps the grant request considerable low.
Grant Funds Usage	100% of the funds will be used for student tuition and fees in the Midland University TCL program.
Proposal Financial Sustainability	Yes Sustainability through Public Private Partnerships - In short, the program will be fiscally sustainable and will not require ongoing primary funding for operations or be solely dependent on additional funding requests.
Funding Sources	Future funding will come proportionally from private industry, philanthropy, and government. No specific funding sources have been identified. None No
Scalability	The final outcome of teacher certification does not allow the program to be completed in smaller components. N/A
Financial Commitment	Midland University will provide a 60% tuition scholarship for all participants.
ARPA Compliance Acknowledgment	<input checked="" type="checkbox"/>
ARPA Reporting and Monitoring Process Acknowledgme	<input checked="" type="checkbox"/>
LB1024 Funding Sources Acknowledgment	<input checked="" type="checkbox"/>
Public Information	<input checked="" type="checkbox"/>
File Uploads	Data table of uses (breakdown of how the requested funds will be used for your proposal) Organizational Chart Proposal Budget/Sources and Uses Schedule



Teacher Career Ladder Program

Nebraska public schools have a large and diverse population of students and have the important goal of placing teachers who mirror the diversity of the students in classrooms. Midland University aims to meet these goals. The two-year **Teacher Career Ladder** program aims to prepare para-educators for earning a teaching degree with a field endorsement in Elementary Education K-8 and either a supplemental endorsement in Early Childhood Education, English Language Learners, or Special Education.

PROGRAM HALLMARKS

COMMUNITY BLOCKS

- + Cohort model promotes an active, interactive, and dynamic setting to grow knowledge and skills
- + Integrated course blocks rather than individual, unconnected courses
- + Collaboration between Midland professors, OPS adjuncts and OPS Consultants
- + Authentic experiences connected to experiences in classrooms where you work

FLEXIBILITY

- + Two nights per week from 4:45 P.M. - 9:15 P.M.
- + Classes will be held at Midland University's Omaha location (near 114th and Dodge)
- + Continue to work as para-educators during the program and earn field-based experience hours
- + Earn your para salary while student teaching

INDIVIDUALIZED INSTRUCTION

- + Learn from Midland University faculty who are experts in their profession
- + Hone your skills - planning, instruction, thinking, and reflection

PRAXIS SUPPORT

- + Face-to-face support for Praxis testing in reading, writing, and mathematics
- + Additional online tools provided to help you prepare for the exam



Advising Block	Summer 1	Fall 1	Spring 1	Summer 2	Fall 2	Spring 2
Preparation for Program Praxis Exams	Introductory Courses	Core Block 1	Core Block 2 & Endorsement Courses	Endorsement Courses & Practicum	Methods Block	Clinical Experience

+ Students entering the program with at least an associate degree may have Midland University Core Curriculum courses waived.

For additional information for yourself or your district, contact admissions by phone at (402) 941-6226 or e-mail at professional.studies@MidlandU.edu



Program Schedule

Admission Requirements

Midland University Center for Graduate and Professional Studies (CGPS) wants to help prospective students find the right match and succeed in college and in life. As a part of the process we evaluate each student on an individual basis.

Our current program requires that the general education requirements are met from the core. However, this is the model we use with our current program and we are willing to accommodate and customize the program to meet the needs of individual participants. Therefore, if a pathway for a four-year program (zero credit participant) we can customize the program to meet this request.

Transfer Credit Detail

Students completing coursework at another institution of higher learning may submit an official transcript for review before transfer of credits can be awarded. College-level work completed at an accredited institution as recognized by accrediting bodies recognized by the Council for Higher Education Accreditation (CHEA) and the U.S Department of Education may be applied toward a degree at Midland University. Courses with a grade of C- or higher will be considered for credit. Courses graded on the pass/fail scale will be evaluated on an individual basis and may be considered for transfer if the grade scale indicates that a passing grade is the equivalent of at least a C-. Courses over seven (7) years old and subject-specific courses may be evaluated individually and reviewed by faculty in the area of study before the equivalency is awarded.

Students who have successfully completed an Associate of Arts degree or its equivalent from a regionally accredited or corresponding institution and have a minimum of 60 transferable hours are eligible for admission to Midland as first-term juniors. This includes Associate of Science degree from Nebraska community college. A.S. degrees from other states will be evaluated on an individual basis, as will an Associate of Applied Science (A.A.S.) degrees. Graduation from Midland is contingent upon fulfillment of institutional and major requirements for the baccalaureate degree. Students with an Associate of Arts degree or and an Associate of Science degree from a Nebraska community college will have the common courses waived, regardless of course equivalencies, provided that the degree is awarded on the student's official transcript.

Programs of Study

Midland's TCL program currently has our completers earn a Bachelor's of Arts in Education degree along with a NE teaching degree in elementary education with a supplemental endorsement in Early Childhood, Special Education or English as a Second Language. The

student outcomes, courses and major assessments are aligned with the undergraduate program. The courses are blocked and major concepts integrated. The work of the para-educator, in the classroom, helps in fulfilling the field-based experience requirements and provides a strong basis for application, reflection and continuous improvement. Please see attachment B for the individual programs of study. These programs of study are based off of forty credit hours of college level course worked completed prior to beginning. However, Midland is willing to customize different pathways as needed to accommodate student needs.

Graduation Requirements

Students will be required to complete at least 120 credits or the equivalent, including all general education requirements, and achieve a maintained minimum grade point average of at least 2.25. The majority of course work applied to the baccalaureate degree must be graded on the A-F system, a minimum of 80 credits must be graded on the A-F scale.

Coursework Details

The course details are below broken down by the terms for year one and year two. Please note that elementary education coursework has a set number of credits and the additional supplemental endorsement has credits based on the requirements of the Nebraska Department of Education. Special Education requires 92 credits, English as a Second Language requires 80 credits and Early Childhood requires 83 credits. Courses are offered at the Midland Omaha location, 11213 Davenport Street (114th and Dodge).

Blue = Year One Coursework

Orange = Year Two Coursework

C = Core Course

E = Emphasis Area (ESL, ECE, or SPED)

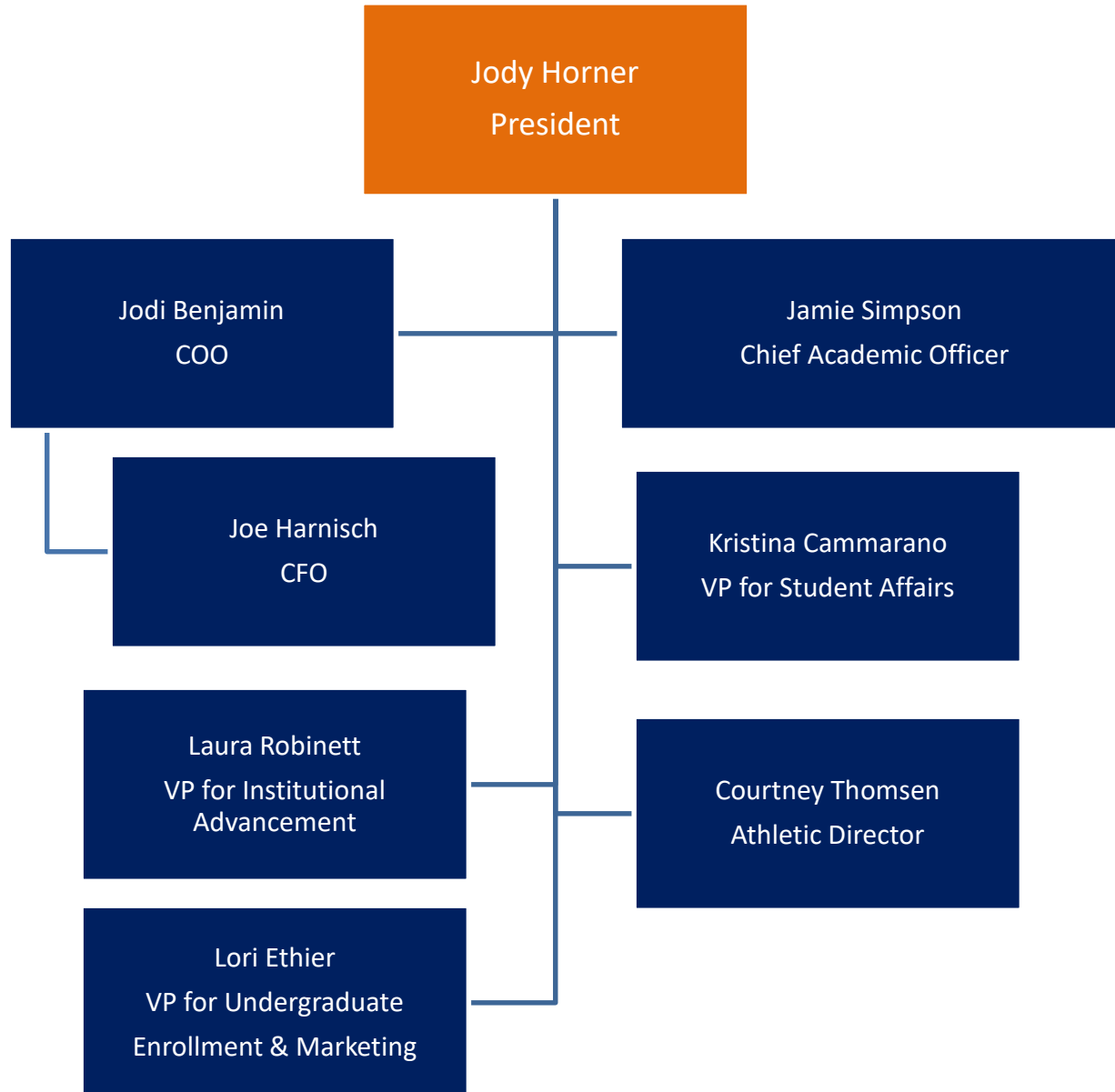
Path	Summer Year One		C / E	Fall Year One			Spring Year One	
C / E	Course Name	Credits		Course Name	Credits	C / E	Course Name	Credits
C	Topics in Education	3	C	Technology for Teachers	3	C	Understanding the Math You Teach	3
C	Child Growth & Development	4	C	Multicultural Education	3	C	Understanding the Science You Teach	3
SPD	Technology Methods & Materials in SPED	4	C	Instructional Design	2	C	Art Methods	1
			C	Classroom Management	2	C	Music Methods	1
			C	Introduction to Special Education	3	C	PE Methods	1
			C	Assessment for Learning	2	C	Literature for Children	2
			ECE	Child, Family, & Community	2	ECE	Early Childhood Special Education	3
			SPD	Speech Language Impairment and LD	3	ECE	Introduction to Early Childhood Education	3
						ECE	Early Childhood Assessment	2
						SPD	Early Childhood SPED	3
						SPD	Collaboration & Inclusive Learning	4
						ESL	Introduction to ESL	3
						ESL	Methods, Assessment, & Evaluation for ESL	3

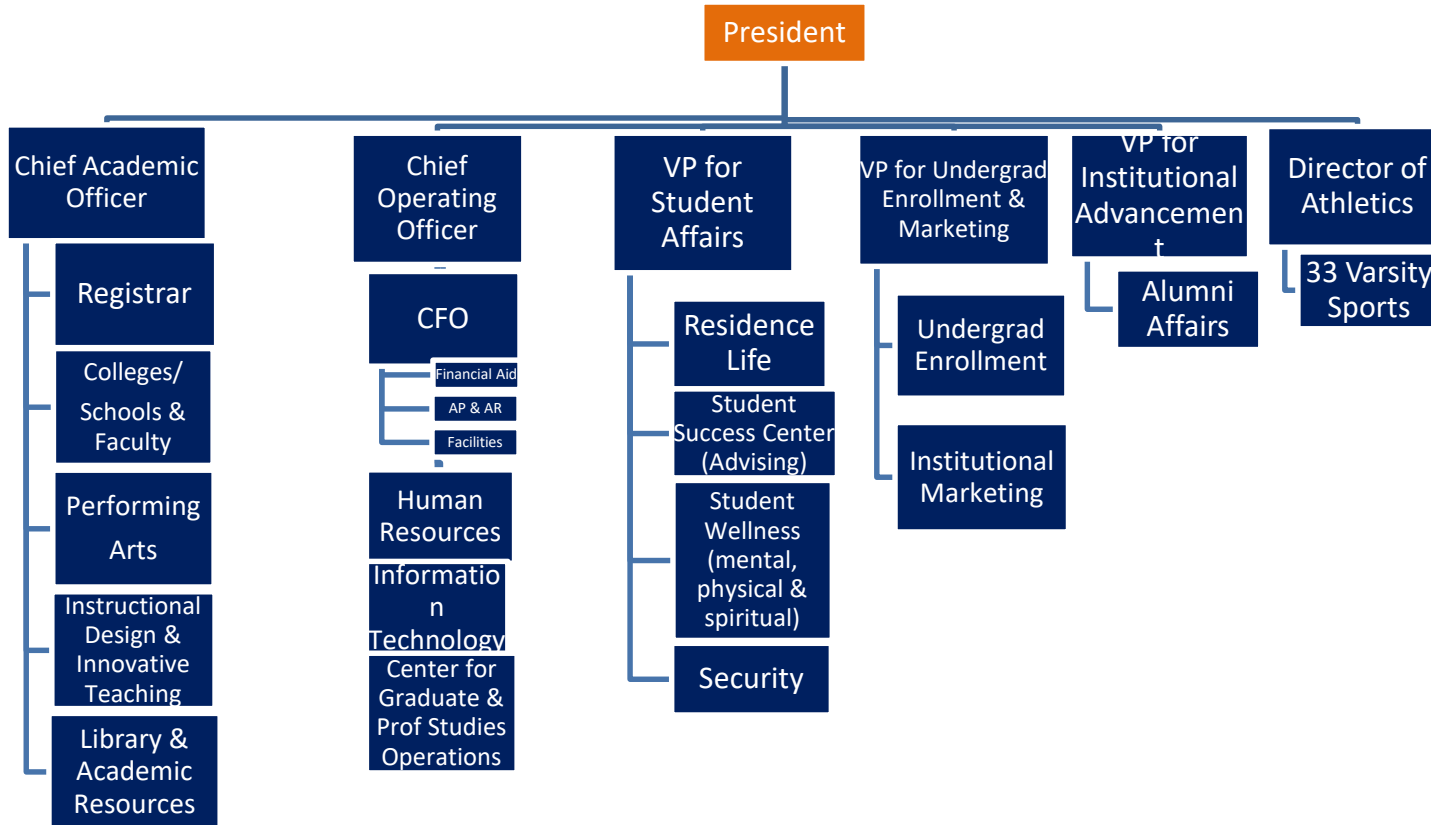
Path	Summer Year Two		Path	Fall Year Two		Path	Spring Year Two	
C / E	Course Name	Credits	C / E	Course Name	Credits	C / E	Course Name	Credits
ECE	Preschool Methods	3	C	Language Arts Methods	2	C	Clinical Experience	1
ECE	Preschool Methods Practicum	1	C	Science Methods	3	C	Clinical Experience	14
ECE	Methods for Primary Teaching	3	C	Developmental Reading	3			
ECE	Methods for Primary Teaching Practicum	1	C	Diagnostic Reading	3			
SPD	Assessment & Behavior Intervention	4	C	Social Studies Methods	3			
SPD	Legal Issues & Program Development	3	C	Math Methods	3			
SPD	Identification of Children with Disabilities	3						
SPD	Multidisciplinary Team and Individual Education Plan	3						
ESL	Cross Cultural Communications (online)	3						
ESL	Linguistics (online)	3						
ESL	Practicum	3						

Practicum Details

The practicum hours are embedded into courses and can be done in a classroom if the individual is working in a classroom.

Midland University Teacher Education Program Field-Based and Practicum Experience Hours (FBE)	
All Education Majors-Core Coursework	
Course (credits)	FBE Hours
EDU 190 Topics in Education (3)	10
EDU 220 Diversity in Classroom Communities (3)	10
SPD 296 Intro to Special Education (3)	10
Total Number of FBE hours in Core Coursework	30
Elementary Education	
Course (credits)	FBE Hours
EDU 250 Literature for Children and Adolescents (2)	5
EDU 294 Language Arts-Elementary and Middle Grades (2)	5
EDU 307 Science Methods-Elementary and Middle Grades (3)	10
EDU 393 Math Methods-Elementary and Middle Grades (3)	10
EDU 340 Developmental Reading (3)	10
EDU 341 Diagnostic and Remedial Reading (3)	10
Total Number of FBE hours in Elementary Coursework	50
Early Childhood Endorsement Courses	
Course (credits)	FBE Hours
ECE 255 Intro to Early Childhood (3)	10
ECE 257A Preschool Methods Practicum (1)	45
ECE 386A Methods for Primary Teaching Practicum (1)	45
Total Number of FBE hours in ECE Coursework	100
Special Education, K-6 Endorsement	
Course (credits)	FBE Hours
SPD 233 Technology - Methods & Materials in Special Education (4)	10
SPD 242 Collaboration and Inclusive Learning Environments (4)	10
SPD 353 Assessment and Behavior Interventions (4)	10
Total Number of FBE hours in Special Education, K-6 Coursework	30





Tuition Rates Per Program of Study

Term	Credits	Tuition	Fees	Midland Scholarship	Balance
Spring	0	\$0	\$1,100	\$0	\$1,100
Summer	7	\$4,732	\$1,600	\$2,939	\$3,393
Fall	17	\$11,492	\$0	\$6,895	\$4,597
Spring	19	\$12,844	\$0	\$7,706	\$5,138
Summer	8	\$5,408	\$0	\$3,245	\$2,163
Fall	17	\$11,492	\$0	\$6,895	\$4,597
Spring	15	\$10,140	\$100	\$6,184	\$4,056
TOTAL	83	\$56,108	\$2,800	\$33,865	\$25,043

ESL

Term	Credits	Tuition	Fees	Midland Scholarship	Balance
Spring	0	\$0	\$1,100	\$0	\$1,100
Summer	7	\$4,732	\$1,600	\$4,439	\$1,893
Fall	15	\$10,140	\$0	\$6,084	\$4,056
Spring	17	\$11,492	\$0	\$6,895	\$4,597
Summer	9	\$6,084	\$0	\$3,650	\$2,434
Fall	17	\$11,492	\$0	\$6,895	\$4,597
Spring	15	\$10,140	\$100	\$6,184	\$4,056
TOTAL	80	\$54,080	\$2,800	\$34,148	\$22,732

SPED

Term	Credits	Tuition	Fees	Midland Scholarship	Balance
Spring	0	\$0	\$1,100	\$0	\$1,100
Summer	11	\$7,436	\$1,600	\$4,562	\$4,474
Fall	19	\$12,844	\$0	\$7,706	\$5,138
Spring	17	\$11,492	\$0	\$6,895	\$4,597
Summer	13	\$8,788	\$0	\$5,273	\$3,515
Fall	17	\$11,492	\$0	\$6,895	\$4,597
Spring	15	\$10,140	\$100	\$6,184	\$4,056
TOTAL	92	\$62,192	\$2,800	\$37,515	\$27,477

\$1100 fee is for advising, tutoring, 1:1 support for PRAXIS

\$1600 fee for instruction materials (iPad, textbooks, etc.)

\$100 fee is for commencement

60% MU scholarship (only tuition not fees)

Grant Application

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Organization Name (if applicable)	Partnership between three for-profits and one non-profit organization: No More Empty Pots, Community Investments Opportunities LLC (CIO), Collective Development, and 3 Amigas
Physical Address	Collective Development: 1915 S 38th Ave, Omaha, NE, 68105 No More Empty Pots: 8501 N 30th Street, Omaha, NE 68112 CIO: 4923 S 24th Street, Ste. 201 A, Omaha, NE 68107 3 Amigas: 4923 S 24th Street, Ste. 201 A, Omaha, NE 68107
Mailing Address	The same
Website	Collective Development: https://www.collective-development.com/ No More Empty Pots: https://nmepomaha.org/
Social Media Accounts	No More Empty Pots: Facebook: https://www.facebook.com/nomoreemptypots/ CIO: Facebook: https://www.facebook.com/profile.php?id=100066804174495
Name	Glenn A. Pettis Jr.,
Title	(Lawyer in Nebraska): Representative of the partnership
Email Address	gap2143@aol.com
Phone	+1 (402) 850-0968
Team	Yes

Planning and Development Committee of the partnership is conformed for leaders of the companies and organizations that are part of the Multi-pronged Community Economic Development Project in South Omaha Max Honaker: Max is one of the owners of Collective Development. This company was created in 2017 to manage all their real estate holding companies and give them a brand under one umbrella. Collective Development is a real estate investment and property management company located in Omaha. Their portfolio consists of approximately 500 primarily residential units that range from single-family houses, duplexes/town homes, apartments, and mixed-use buildings including a brewery. Collective Development provides quality living accommodations with responsive property management services to their residents. They treat tenants fairly and provide professional management services to them. Nancy Williams: Nancy is the founder, President and CEO of No More Empty Pots (NMEP). Maria A. Valentin: Maria is the Director of Advancement of No More Empty Pots. Lennis Gahona: Lennis is the President of Community Investments Opportunities LLC, and CIO member. Lennis has a Master in Economics from University of Nebraska of Omaha. Furthermore, Lennis is the Manager of Business Intelligence at Microsoft. Elia Rivera is a

business owner. She has owned Rivera's Mexican Foods since 2003. This business distributes Mexican salsas in 13 states in the Midwest. Furthermore, Elia is one of the owners of 3 Amigas and its President Adela Yañez: Adela is an entrepreneur. She created and owns Hope daycares (2 daycares in South Omaha) since 2015. Furthermore, Adela is one of the owners of 3 Amigas and its Vice-president. Adela is a CIO's member. Glenn Pettis: Glenn is a lawyer in the State of Nebraska. He has been the owner of Pettis Law Office for 42 years. Also, Glenn is a CIO member and its legal consultant. Otoniel Ojeda: Otoniel is a CPA and real estate broker in the state of Nebraska. He is the owner of Latino Investments LLC. Otoniel is also a CIO's member. Marta Sonia Londoño Mejia: Marta created Midwest Businesses and Projects LLC to work with deserving Latino entrepreneurs without charging any commissions or fees. Marta has given technical support to CIO for 10 years. The owners of CIO are 39 entrepreneurs in the city Omaha. Marta purchased some units of participation of this company to support the development of this important project.

Organizational Chart

We will present in this section the organizational structure of each partner in the project. We will define the organizational chart of the partnership in the near future. We will report more detailed information in an appendix. Each member of the partnership will contribute with capital and their knowledge and experience in the areas that they are leading in the project. This group also represents different ethnic groups in the South Omaha community.

Other Completed Projects and/or Accomplishments

Collective Development They have converted 3 motels/hotels to apartments at an affordable market rate, over 200 houses many of them were rehabs, approximately 350 apartment units many of which were rehabbed, and a few smaller mixed use commercial developments that includes a brewery. They are part of a 200-unit new construction town home development off 207th and Q street, "Rows at Coventry". Collective Development strives to deliver quality housing at an affordable market rate, and they are proud of how we maintain their properties, strive for good customer service, and provide value to their tenants/customers. There are some unique projects they are currently working on now such as a river site on the Elkhorn River where they are doing short term rentals of houses/tiny homes made from shipping containers/rvs and also an event space. <https://www.collective-development.com/> No More Empty Pots No More Empty Pots has developed two commercial kitchen food hubs in the city of Omaha. They have invested in both food hubs \$4.1 million dollars. This commercial kitchen has supported the startup and development of food processing companies and has contributed with job creation. The following is the expected return of these 2 commercial kitchens over 5 years: Based on surveys and market research – Over \$3 million in wages and benefits; over 6 tons diverted waste; 10% renewable energy; 5 new businesses, over 10 new jobs, 75 trainees; increased food security; better access to affordable local foods; improved nutrition education, self-sufficiency and economic resilience. Generate 70% of income needed to operate the facility within ten years of operations. <https://nmepomaha.org/>. Community Investments Opportunities A group of 39 important leaders in the Latino business community began to work on a dream 10 years ago. We legally established this company in 2012. The dream is to build a Global public market with retail businesses area, food processing businesses, food vendors and a light manufacturing business area: sewing, tortilla factory, tamale factory, arepa

factory, and bakeries to sell products to other companies.
<https://www.facebook.com/profile.php?id=100066804174495>
 Marta Sonia, Principal of Midwest Businesses and Projects LLC, has supported the startup and development of several hundred projects and businesses in the state of Nebraska She was one of the founders of the Nebraska Hispanic Chamber of Commerce (NHCC) and Midlands Latino Community Development Corporation (MLCDC). At MLCDC, Marta Sonia obtained the certification from the Department of Treasury to become a Community Development Financial Institution (CDFI). Also, MLCDC was awarded several federal, state, and city grants. Marta Sonia supported the development of two hospitals in Medellin, Colombia: Hospital Conquistadores and Hospital las Americas (Promotora Medica Las Americas S.A.). She was one of the founders of “Promotora Medica las Americas” (Holding company of the health sector) in Medellin, Colombia. AUNA, a Peruvian group purchased las Americas Hospitals in December 2018, for 215 million dollars.
<https://clinicalasamericas.lasamericas.com.co/> Otoniel Ojeda has 2 certifications in Nebraska: CPA and real estate broker Working in project development in Puerto Rico Las Camelias Limited Partnership (Developer) 1992 to 2002 Trilateral, LLC (Developer) 1990 to 2002 3 Amigas Elia Rivera is the owner of Rivera’s Mexican Food LLC. This company distributes Mexican salsas in 13 states in the Midwest. Elia has also experience in food manufacturing. She previously manufactured her own line of corn tortillas and tortilla chips for retail stores. Her facility was in Gretna, Nebraska. Due to her short leasing agreement, she was forced to close her doors when the owner of the building decided to use the space himself. 3 Amigas Food Truck operated from 2017 to 2020, selling Mexican food in the Omaha area, serving public and private events.

Proposal Title	Multi-pronged Community Economic Development Project in South Omaha
Total Budget (\$)	\$22,600,000.00
LB1024 Grant Funding Request (\$)	\$9,300,000.00
Proposal Type	Combination of capital project and service/program
Brief Proposal Summary	Multi-pronged Community Economic Development Project will serve as the site for business development and job creation that will support the economic and social integration, and the financial independence, of low-income families. We are planning to build on the same site a Global Market, a commercial kitchen, a tortilla factory and 75 apartments ranging from 1-3 bedrooms. Eager to create new opportunities for South Omaha, four organizations came together to establish a partnership which is working for the transformation, the fundamental change and the long-lasting economic growth of the South Omaha community. Collective Development is a real estate investment and property management company located in Omaha. Their portfolio consists of 500 primarily residential units that range from single-family houses, duplexes/town homes, apartments, and mixed-use buildings including a brewery. No More Empty Pots strives to support communities in becoming self-sufficient and food secure through collaboration and adherence to their core values. They have built two commercial kitchen food hubs in Omaha. Community Investment Opportunities (CIO) is leading the Global Market.

This market will develop and maintain a place that builds upon the economic, social and cultural assets with the different ethnic communities in order to bring these communities together. People of the Midwest will come to enjoy food, entertainment, shopping and rich cultural experiences 3 Amigas is a food processing company. They have experience in food processing and manufacturing. Elia, Adela and Guillermina are planning to build a tortilla factory at the Global Market. CIO has a property located at 5025 South 33rd street. The total site area of this property is 5.53 acres with a sf of 246,740. CIO has a purchase agreement with a company. If they do not complete the purchase of this building, our first option would be to build the mixed-use project there. Total Budget for the first phase of the project will be \$22,600,000.00. The group will fund 59% of this total and they are expecting to apply for a grant for 41% of the total. We will develop the first phase of this project before October 2026.

Timeline If a site is acquired by spring/summer of 2023, and this grant funding is secured, it is realistic that architectural, engineering and city approvals can be approved in the fall and winter so that construction can begin in spring of 2024. Assuming those dates, July 2025 is an attainable goal for completion. We will develop the first phase of our development before July 2026.

Percentage completed by July 2025 100%

Funding Goals Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)

Community Needs Other Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Quality of Life (i.e., create or enhance natural spaces, mixed uses, parks, safety, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)

"other" explanation

Proposal Description and Needs Alignment Multi-pronged Community Economic Development Project clearly addresses the following needs: sustainable community, quality of life, job creation, and minority businesses development. In the area of sustainable community, we are looking to fill the following needs for the community in South Omaha: housing, food, retail/commercial, entertainment, recreation, parking and multi-use. In the area of quality of life our project is working to create mixed use facilities and garden areas. This public market develops small businesses and celebrates community diversity through a one-of-a-kind shopping, dining, and cultural venue with products from many nations. Vision of the project: People from various cultures sharing their customs, food and culture with the community. The

Global Market will be a community development project that will serve as small business incubator for fledgling local entrepreneurs. The plan calls for an equal mix of (33%) start-ups, second-stage businesses, and anchor businesses, with the goal of 40 permanent vendors. These vendors will sell food, arts and crafts and other items from the various cultures that populate greater Omaha area. Tenants must be part of a cooperative, receive training and technical assistance in order to be in the project. They will also participate in the design of the project. The Global Market will be a place where the community can share and interact with friends. In this place, people will find food from different parts of the world, fruits and fresh vegetables, arts, crafts, jewelry, clothing and other articles would be needed by the community. The Global market will have a large parking lot and be designed to reflect the cultures included in the market. Community Investment Opportunities LLC (CIO) purchased a property located at 5025 South 33rd street, Omaha, NE 68107. The total site area of this property is 5.53 acres with a building of 246,740 square feet. Environmental studies phases 1 and 2 were made for the project. Conclusions of these studies were: Solar energy and other sustainable technologies are part of the educational projects that CIO plans to implement. The goal is to demonstrate the possibilities and potential use of environmentally sustainable practices to limit contamination of soil, air, and water. During 2022 we formed a partnership between 4 organizations for the development of the project. These companies and non-profit organizations are: Collective Development, No More Empty Pots, Community Investments Opportunities (CIO), and 3 Amigas for the development of the tortilla factory. We will analyze with Nancy William the development of the commercial kitchen in South Omaha and how this project would affect the income of No More Empty Pots. Phase 1 of the project is to develop a commercial kitchen, public food court, restaurants, entertainment for families and a tortilla factory. This will be developed on the third floor. A new entrance at grade level will be developed. In an attachment, please find the first phase of the project. We will evaluate the possibility of building 75 apartments at floor 2 in the first phase. Phase 2 of the project is to develop a commercial shopping center and events and conference center and retail space. This will be developed on the third floor. In an attachment, please find plans for phase 1 and 2 of the project. Phase 3 will develop light manufacturing spaces on the third floor. Other possibilities of development: meeting rooms, immigrant center for several non-profit organizations, offices, dance academies, areas to practice sports, innovation center, and cultural spots. Phase 4 will create parking on the first floor. If we sell the CIO building, we will develop a new property with a building for housing next to the global market.

**Visioning Workshop
Findings Alignment**

South Omaha has a strong small business community and its culture cultivates local The 24th Street and Vinton business districts have vibrant small business, but they are at risk and/or they have problems with funding their development. These business owners are coming from countries where business practices are different. They need to learn and adopt the business practices in the United States. The majority of them are family-owned businesses and they are afraid to hire staff because they do not know how to manage payroll. Parking is a serious problem in these business districts. Microenterprise businesses have emerged as a major strategy that offers a pathway out of poverty through their ability to create new jobs. However, the most difficult obstacle faced by these businesses

is lack of access to affordable capital. Many of these businesses are self-funded by accessing their home equity, or through credit cards, or high interest debt that limits their opportunities for sustainability or growth. Barriers exist for small food-based enterprises to start-up or expand. Many begin in a home kitchen but as the business grows, the residential kitchen is no longer appropriate to accommodate large-scale production. Challenges faced by these businesses include lack of access to affordable, commercially licensed, industrial-sized kitchen space; high cost of capital investment required to formalize a food production business, lack of technical support and business assistance with cost analysis, business planning, packaging, product line expansion, and marketing resources. ARPA funds will enable our partnership of organizations to address these needs by developing the commercial kitchen, and helping these entrepreneurs to start and grow their businesses while creating and sustaining jobs for low-income persons. We have an important advantage in the development of our project. Entrepreneurs are working with a cooperative model in Community Investments Opportunities. This gives us the opportunity to provide them with the tools that they need to be successful in their businesses. They need to receive training and technical assistance to be part of the Global Market. These entrepreneurs are owners of the property of the Global Market. At the present time, they are paying high rental rates because the majority of the commercial properties belong to only two property management companies in the area. They will pay rent but at the same time, they will be owners of the building. They will optimize cost because they share spaces such as bathrooms, storage areas, the cost of marketing and support in the administration of the building. We are building our complex upon the existing entrepreneurial vibrancy and demand as well as the diversity of culture and talent which can be leveraged. We will have periodical cultural events, farmer markets, flea markets, concerts in the Global Market as well as other community activities. In the future, we will build an auditorium and a space for meetings and other events. You can see the dimensions of this space for important events stated in the plans that we are attaching to this application. We are planning to develop a building with 75 apartments next to the Global Market. This will contribute to the need for new housing in South Omaha by increasing the inventory of available rental properties. Our commercial kitchen will work to ensure food safety and to limit food disparities.

Priorities Alignment Our proposal contributes fully to respond to the pandemic and its economic effects and to build a stronger, more equitable economy during the recovery. South Omaha Multi-pronged Community Economic Development Project contributes to the solution of the negative economic impacts that COVID-19 generated in the communities of color in South Omaha. We will create new jobs, support the startup and growth of minority businesses, train and give technical assistance to food processing companies, train the entrepreneurs and the community about the production of safe and healthy food. And we will build new apartments to increase the number of rental properties in South Omaha. One of the items presented by the community at the hearings was the issue of older and singular type housing stock in South Omaha.

Economic Impact 55 employees in the first two years. Tortilla factory will increase the number of employees from 5 to 25 in the third year of operation

55 employees in the first two years. Tortilla factory will increase the number of employees from 5 to 25 in the third year of operation

There will be over a dozen sub-contractor companies that will be part of the construction of the project and over 108 individuals that will do some sort of work during the construction.

Collective Development Building of apartments- 3 full time and 2 part time positions Market rate for the construction temporary jobs, which varies drastically by the trade. The property manager wage will be \$55,000-\$65,000 with incentives and the maintenance worker wages will be \$50,000-\$65,000 depending on the skills/experience. Commercial kitchen -10 new employees Market rate for the construction temporary jobs, so that varies drastically by the trade. Kitchen Director: \$52,000/year plus benefits 2 Instructors: \$45,000/year plus full benefits 2 Food Processing Assistants: \$37,400/year plus full benefits 5 kitchen Assistants: \$37,400/year plus full benefits Tortilla Factory – 7 new employees first year up to 25 employees in the third year Market rate for the construction temporary jobs, so that varies drastically by the trade. Tortilla factory Director: \$52,000/year plus benefits Director of the Operation: \$45,000/year plus benefits Mechanic: \$ 41,600 plus full benefits 2 Assembly line: \$31,200 plus full benefits 1 Packing-weight: \$31,200 plus full benefits 1 truck driver: \$31,200 plus full benefits Entrepreneurs- Food vendors 25 new jobs Market rate for the construction temporary jobs, so that varies drastically by the trade. Food vendors first phase of the food court at the global market (15 entrepreneurs). Restaurants will hire 10 additional employees in the first three years of operation Global Market -5 new employees Market rate for the construction temporary jobs, so that varies drastically by the trade. Director of the Market \$45,000/year plus full benefits Administrative Assistant: \$41,600/year plus full benefits 2 Maintenance: \$41,600/year plus full benefits Accounting: \$41,600/year plus full benefits Community Investments Opportunities 3 new employees Market rate for the construction temporary jobs, so that varies drastically by the trade. Director \$60,000 plus benefits Administrative Assistant: \$41,600/year plus benefits Accounting: \$41,600/year plus benefits Midwest Business and Projects LLC : 2 new employees Director \$60,000 plus benefits Administrative Assistant: \$41,600/year plus benefits

First phase of the project will be planning. In this phase, we could have 4 permanent jobs. Considering architects, engineers, legal assistant, and 1 general contractor, we can have 6 contractors working in the project in 2023. We will have entrepreneurs in different areas and companies that provide rental houses and apartments, companies providing insurance, companies involved in food processing and catering, companies manufacturing clothing, companies concentrating on tax preparation and real estate services, and contractors of many different types. We can create special discount plans or packages of services for the people that are part of this amazing project. For example, Collective Development will provide quality housing opportunities to those who work in No More Empty Pots, or a business associated with the commercial and light manufacturing companies, and they can offer a 10-15% discount to those workers and businesses which are affiliated with the project. The vision is to build a cohesive community surrounding the commercial aspect of the project.

Community Benefit First phase of the project will be planning. In this phase, we could have 4 permanent jobs. Considering architects, engineers, legal assistant, and 1 general contractor, we can have 6 contractors working in the project in 2023. We will have entrepreneurs in different areas and companies that provide rental houses and apartments, companies providing insurance, companies involved in food processing and catering, companies manufacturing clothing, companies concentrating on tax preparation and real estate services, and contractors of many different types. We can create special discount plans or packages of services for the people that are part of this amazing project. For example, Collective Development will provide quality housing opportunities to those who work in No More Empty Pots, or a business associated with the commercial and light manufacturing companies, and they can offer a 10-15% discount to those workers and businesses which are affiliated with the project. The vision is to build a cohesive community surrounding the commercial aspect of the project.

By increasing the sense of community in an area and providing a space that people within the community are proud of. Companies are very proud to say that they care about the environment and look for ways to contribute to its benefit. For example, Rivera's Mexican Food LLC is currently using sustainable food packaging to ship its salsa to online customers. This eliminates waste. The commercial kitchen will train food processing companies about food safety. This was one of one of the concerns presented by the community in the hearings. CIO worked on a plan named ENVIRONMENTAL IMPROVEMENT DEMONSTRATION PROJECT. CIO wants to create an example of what can be done to a building to provide energy that is clean and sustainable, and does not depend upon the use of fossil fuels. As an adjunct to this effort rainwater will be diverted to storage tanks for use that will support the rooftop gardens. The philosophy of CIO is to create an environmental oasis that can become an educational site to teach the preservation of our atmosphere through the use of solar energy and other sustainable technologies. Community Investment Opportunities LLC believes in the philosophy that as human beings, we all are charged with the responsibility of protecting and enhancing our environment. The group believes that this is a moral and ethical obligation owed to present and future generations. Protection of the environment is a matter of education. We must educate adults and children alike that this duty to society must be made a part of our lives and culture. This philosophy must be made a part of the formal education of our children from their earliest education in elementary school through college. Our future lies with our children and the level of environmental awareness we can teach them. We must do more than simply teaching theories and possibilities. We must demonstrate that sustainable clean renewable energy will be critical to their future. This requires that we are able to reproduce the benefits of our efforts to show persons who will become more and more dependent on electricity in their daily lives in the future that it is possible now. The importance of clean air and clean water are basic to our lives. We must teach our children that each person is responsible for the cleanliness of our environment. In our society, the increase in the amount and severity of asthma and other pulmonary problems in our children is frightening. There is no viable life without clean air and clean water. Recent reports state that 3000 persons in China die due to air pollution each day. Millions of persons die each year due to the lack of clean drinking water. As an

advanced society, we have a great responsibility to educate and aid persons in creating a clean environment for us all. Due to the location of the property next to the Metropolitan Community College, CIO will build an educational experience so that students and the general public can see what can be done to preserve our environment. These efforts will use Kiosks presenting videos of the entire process to from beginning to end. CIO also hopes to form a partnership with the college to teach solar energy technology and other renewable sources of energy production. This would allow students of the Metropolitan community college and other area colleges, as well as the general public, to be educated as to possibilities and great potential of the uses of renewable energy sources. Persons would be able to visit the project site and observe the creation of a beautiful building using the most advanced green technology. CIO plans to build a large solar energy array on the roof of the building. We have a study for the implementation of this project (Please review the study in an attachment)

Best Practices/Innovation

Multi-pronged Community Economic Development Project will be a development that fits with the cultural context of the South Omaha community. We will build a destination place where people from the Midwest will enjoy music, cultural activities, and good food. Furthermore, people will be able to shop for articles from many different parts of the world. Las Americas Global Market will be the first public market in the state of Nebraska. The small businesses within the commercial component have unlimited potential for growth and this project will provide a melting pot of ideas and a supportive culture for those entrepreneurs. The commercial aspect of the project will be absolutely unique. The housing component will compliment other mixed-use areas found in Omaha; think Blackstone, Benson, the Old Market, among others.

Outcome Measurement

Need/challenge 1. High poverty rates and high unemployment rates Short term Outcomes: a) 55 new jobs are created b) 35 low-income persons are placed in jobs Evaluation Plan: a) # of new jobs created b) Length of time persons are employed c) Attendance records at training sessions d) Case management records 2. Wealth inequality has widened in South Omaha Short term Outcomes: a) 35 low-income persons improve their financial self-sufficiency b) 30 low-income persons are trained in managing credit and deb Evaluation Plan: a) Income eligibility determinations b) Employer payroll records c) Pre and post surveys 3. Minority businesses are underrepresented Short term Outcomes: a) Eighteen minority businesses are created or expanded Evaluation Plan: a) # of new or expanded Minority-owned businesses 4. Low educational attainment Short term Outcomes: a) 35 low-income persons improve their qualifications to obtain employment b) Businesses increase their capacity to start-up or expand businesses Evaluation Plan: a) Pre and post surveys b) Attendance records at workshops and classes c) Business retention records 5. Persons with limited English skills need information provided in Spanish, English, and Arabic. Short term Outcomes: a) Persons with limited English gain access to needed services Long term Outcomes: a) Persons with limited English qualify for employment b) Pre and post surveys Evaluation Plan: a) Pre and post surveys 6. Minority Businesses lack access to affordable capital Inputs: Short term Outcomes: a) Eighteen businesses start-up or expand Evaluation Plan: a) Loan/equity investment documents b) Permits, Certificates of Occupancy c) Employer payroll records 7. Barriers to job retention Short term

Outcomes: a) 35 low income persons maintain employment for at least one year

We have not formalized the agreements with Memorandum of Understanding (MOU) or other written agreements because are planning the project and defining how we will work together. Partners that will contribute in the area of business development Coordinator in the area of business development: Midwest Businesses and Projects LLC • Nebraska Department of Labor with Heartland Workforce Solutions: Provide workforce development services to help low-income persons obtain and retain employment • State of Nebraska Health and Human Services: Ensure low income persons hired by employers will receive supportive services, job training, referrals for employment and access to economic assistance that may be needed to help them retain employment: • Provide services for the businesses creating jobs to ensure they receive business development • Micro-enterprise program of Catholic Charities, Midlands Latino Community Development Corporation (MLCDC), Greater Omaha Chamber of Commerce, and Nebraska Development Center for business training, technical assistance and financial education • Coaching and financing: Nebraska Enterprise Fund, Greater Omaha Chamber of Commerce, Catholic Charities and Midlands Latino Community Development Corporation • CIO has received \$37,500.00 from the Nebraska Environmental Trust for its environmental proposal • Wells Fargo Bank has committed to provide financial education services through its on-line program, Hands on Banking • SCORE: Training and technical support • Small Business Administration (SBA) Training and loans • Nebraska Department of Economic Development: Incentives and grants • Chef Mario who is CIO member. Training in food security and coaching for the businesses in the area of food processing. • No More Empty Pots training in security food an business programs for food processing programs Others partners: • Nebraska Arts Council: Cultural events • Nebraska Environmental Trust: Solar Energy and support in environmental projects inside of the project. • Mundo Latino and El Perico, local Spanish newspapers, will provide public service announcements and job posting.

Something that value attract more investment

Partnerships

Yes

Partners that will contribute in the area of business development Coordinator in the area of business development: Midwest Businesses and Projects LLC • Nebraska Department of Labor with Heartland Workforce Solutions: Provide workforce development services to help low-income persons obtain and retain employment • State of Nebraska Health and Human Services: Ensure low income persons hired by employers will receive supportive services, job training, referrals for employment and access to economic assistance that may be needed to help them retain employment: • Provide services for the businesses creating jobs to ensure they receive business development • Micro-enterprise program of Catholic Charities, Midlands Latino Community Development Corporation (MLCDC), Greater Omaha Chamber of Commerce, and Nebraska Development Center for business training, technical assistance and financial education • Coaching and financing: Nebraska Enterprise Fund, Greater Omaha Chamber of Commerce, Catholic Charities and Midlands Latino Community

Development Corporation • CIO has received \$37,500.00 from the Nebraska Environmental Trust for its environmental proposal • Wells Fargo Bank has committed to provide financial education services through its on-line program, Hands on Banking • SCORE: Training and technical support • Small Business Administration (SBA) Training and loans • Nebraska Department of Economic Development: Incentives and grants • Chef Mario who is CIO member. Training in food security and coaching for the businesses in the area of food processing. • No More Empty Pots training in security food an business programs for food processing programs Others partners: • Nebraska Arts Council: Cultural events • Nebraska Environmental Trust: Solar Energy and support in environmental projects inside of the project. • Mundo Latino and El Perico, local Spanish newspapers, will provide public service announcements and job posting.

We have not formalized the agreements with Memorandum of Understanding (MOU) or other written agreements because are planning the project and defining how we will work together

Displacement No

Displacement explanation

Physical Location The first option to develop the project is a property located at 5025 S 33rd Street, Omaha, NE 68107. CIO has signed a Purchase Agreement with a company with operations in the area. Our first option for the development of our project is this property. The total land area of this property is 5.5 acres and the building has 250,000 square feet. This building in the past was a packing company (Conagra) and then a cold storage business. If we complete the sale of this property to the purchasing company, we will purchase another property in South Omaha. We will purchase a property to renovate or a bare piece of land to start development of new buildings. One of the big threats for development in South Omaha is the limited land for growth and small parcels. Our real estate agents in the project are concentrated on the task of finding a suitable property for the development of the project. This will be a long-term project and several organizations will participate in purchasing the space that they need for the development of their own projects. Ideally, we are looking for a site of approximately 5 acres.

Qualified Census Tract Within one or more QCTs

Additional Location Documents lans and detailed descriptions, including pictures and a map of the site location/surrounding area Environmental assessment of subject site. Is the property a brownfield site? Yes Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement)

Property Zoning Yes

Is the project connected to utilities?

	No
	Yes
Design, Estimating, and Bidding	No
	Yes
General Contractor	No
Request Rationale	N/A
Grant Funds Usage	Total \$9,300,000.00 Collective Development: \$4,000,000.00. (33% of the total budget) The funds will subsidize the cost of the construction and make the numbers possible to provide quality, affordable housing in a blighted area. Community Investments Opportunities: \$4,000,000. (50% of the total budget). These funds will support the funding of the food court, shell and common areas in the Global Market. Members of CIO are the majority low-income entrepreneurs who live in South Omaha. They are the owners of the building through their inversion in CIO (Cooperative model of economic development) 3 Amigas: \$300,000 (50% of the total project) For the construction and equipment of the tortilla factory. No More Empty Pots: \$1,000,000 (50% of the total of the total budget) For the construction and equipment of the commercial kitchen.
Proposal Financial Sustainability	No
	2026
Funding Sources	Collective Development: Bank financing, potentially TIF depending on grant money allocated, and investment dollars from principals of the project Community Investment Opportunities: Bank financing, potentially TIF depending on grant money allocated, New Market Tax Credits, and investment dollars from principals of the company 3 Amigas: Bank financing, potentially TIF depending on grant money allocated, SBA loan or Nebraska Enterprise Fund, and investment of the owner of the company • No More Empty Pots: Community Economic Development (CED) grant from DHHS, grants from Sherwood Foundation, Peter Kiewit Foundation, Wells Fargo Bank, First National Bank, Mammel Foundation, Weitz Family Foundation, Immanuel Vision Foundation, Richard Brooke Foundation, Holland Foundation, Sunderland Foundation, and, USDA AMS Local Foods Promotion Program.
	N/A
	N/A
Scalability	We will finish the phase completely

N/A

**Financial
Commitment**

Collective Development 1M+ depending on the sources and allocations, bank financing terms, etc. Community Investment Opportunities 2 M+ depending on the sources and allocations, bank financing terms, and/ or incentives. 3 Amigas: \$100,000.00+ depending on the sources and allocations, bank financing terms, and/ or incentives. No More Empty Pots is interested in the South Omaha commercial kitchen, but we need to study with Nancy Williams the project to make financial contributions. No More Empty Pots has received grants of many philanthropic families in Omaha, foundation, corporations, federal grants, and, individuals. Nancy could find easily \$1 M+ for the development of the third commercial kitchen.

**ARPA Compliance
Acknowledgment**



**ARPA Reporting and
Monitoring Process
Acknowledgment**



**LB1024 Funding
Sources
Acknowledgment**

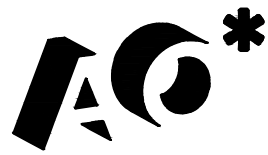


Public Information



File Uploads

Documentation of site control (proof of ownership, option, purchase contract, or long-term lease agreement)
Environmental assessment of subject site. Is the property a brownfield site? Organizational Chart Plans and detailed descriptions, including pictures and a map of the site location/surrounding area



MERCADO LAS AMERICAS GLOBAL MARKET

5025 SOUTH 33rd STREET
OMAHA, NE

AUGUST 17, 2017
SCALE: 1" = 100'-0"

EXISTING SITE PLAN

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO

33rd STREET

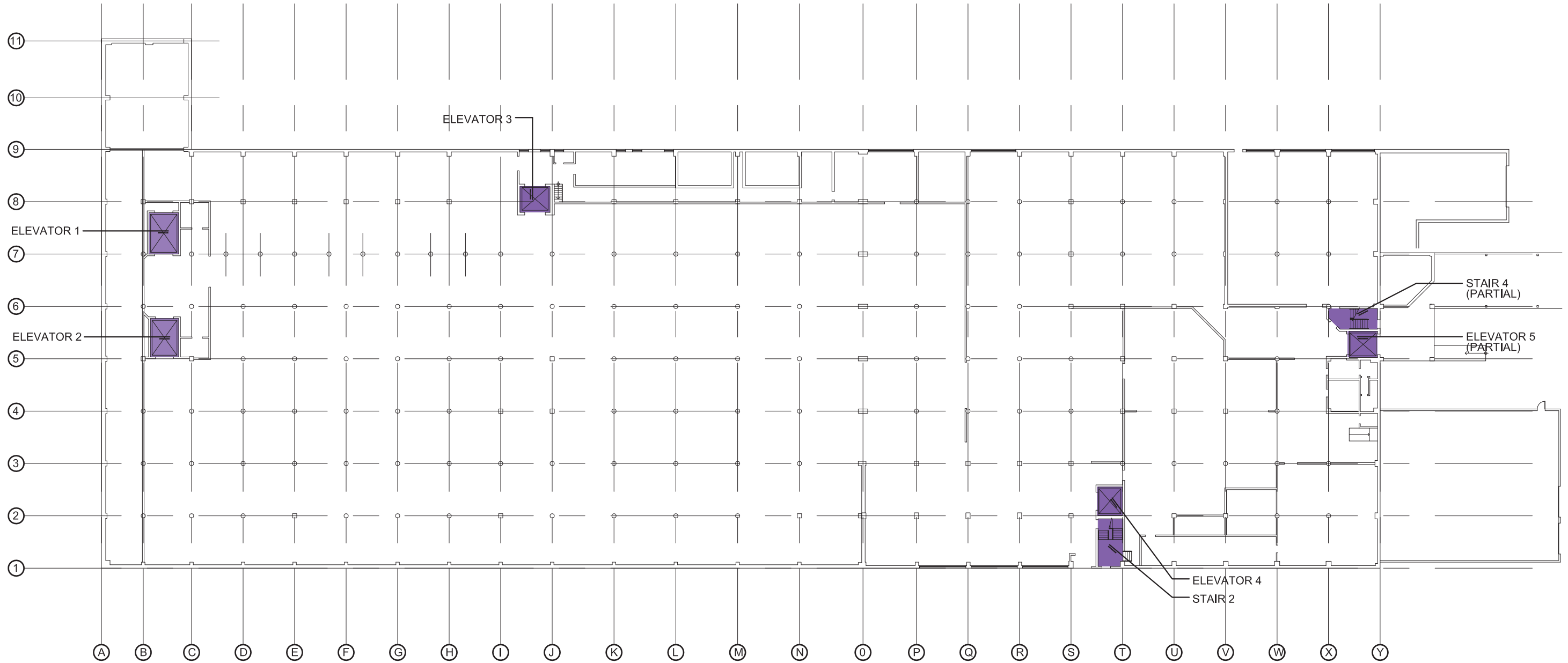
EXISTING BUILDING
254,223 sf TOTAL
 LEVEL 1: 82,252 sf
 LEVEL 2: 82,252 sf
 LEVEL 3: 82,252 sf
 MEZZANINE: 7,467 sf

- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic



EXISTING PLAN - LEVEL 1

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



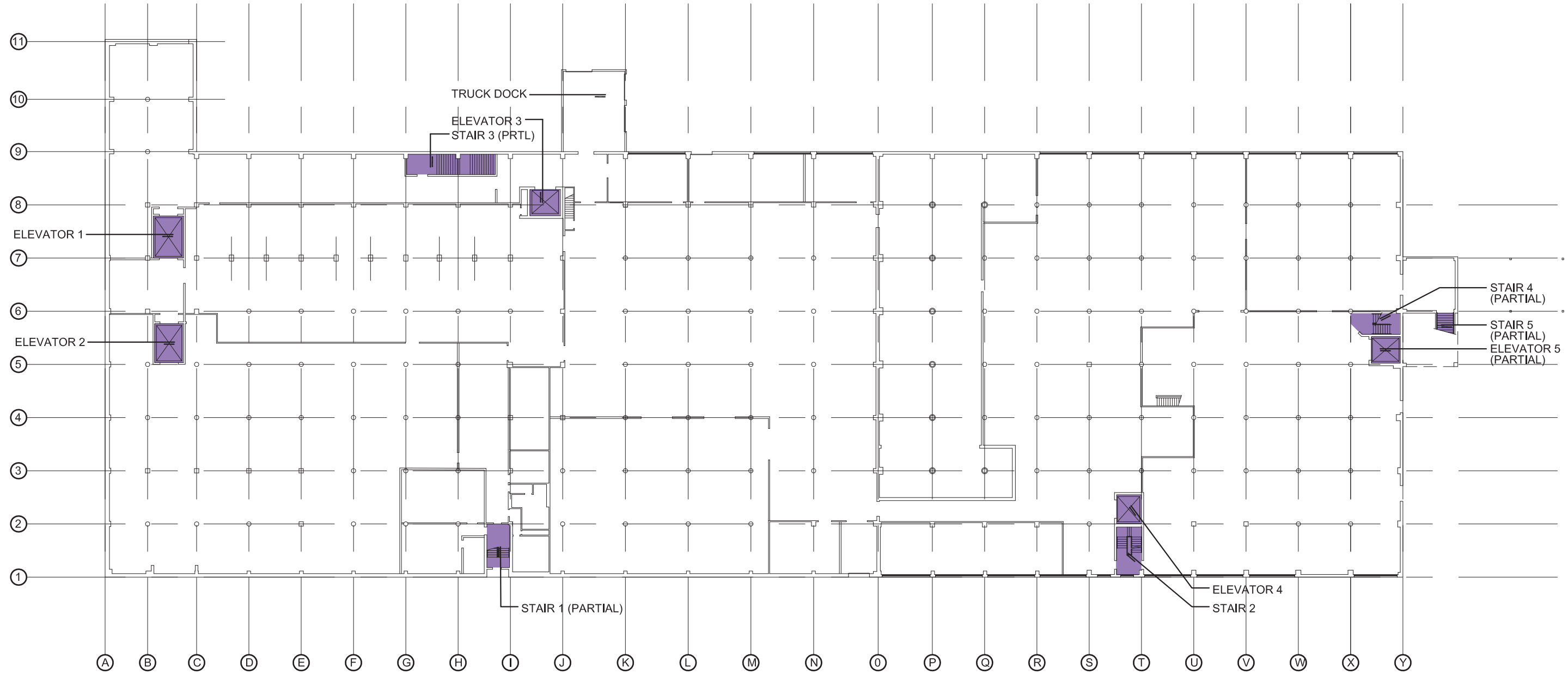
- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

 PARKING	 ASSEMBLY/ EVENT AREA	 ACTIVITY/ COMMUNITY
 ELEVATOR/ STAIR	 FABRICATION/ KITCHEN	 GREEN ROOF
 OFFICE	 RETAIL/ RESTAURANT	 ROOF DECK



EXISTING PLAN - LEVEL 2

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



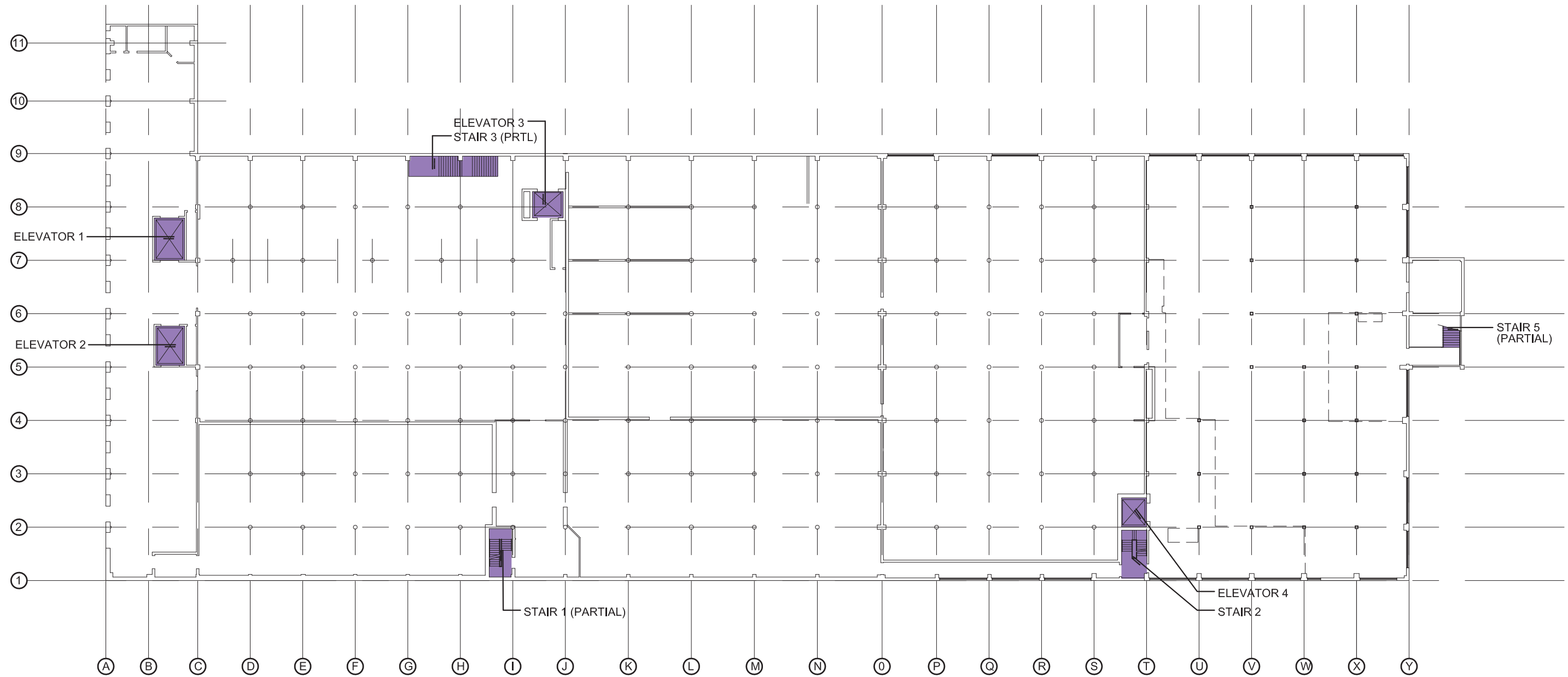
- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

	PARKING		ASSEMBLY/ EVENT AREA		ACTIVITY/ COMMUNITY
	ELEVATOR/ STAIR		FABRICATION/ KITCHEN		GREEN ROOF
	OFFICE		RETAIL/ RESTAURANT		ROOF DECK

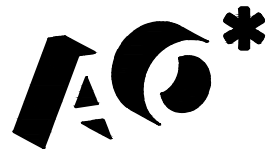


EXISTING PLAN - LEVEL 3

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO

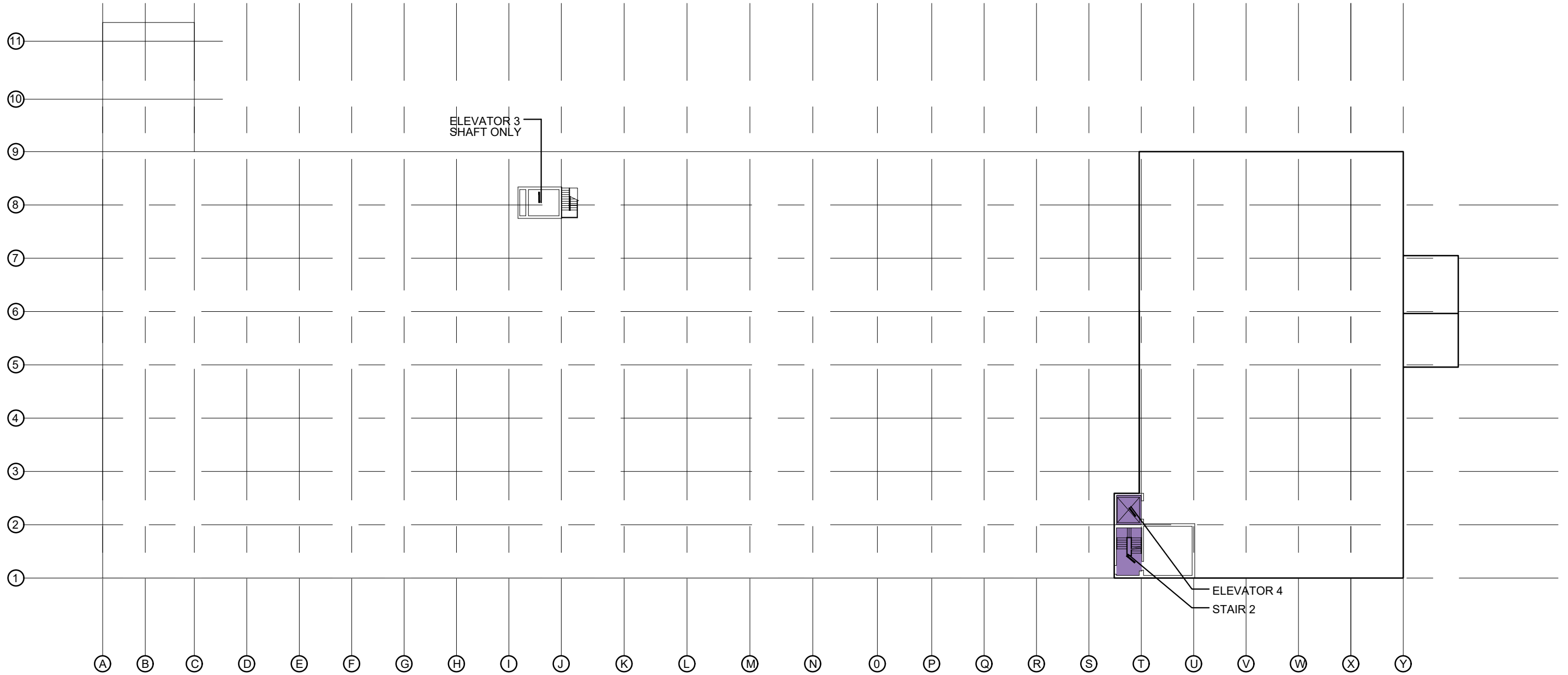


* Hands-on	PARKING	ASSEMBLY/ EVENT AREA	ACTIVITY/ COMMUNITY
Empowered			
Relentless			
Fresh Eyed	ELEVATOR/ STAIR	FABRICATION/ KITCHEN	GREEN ROOF
Inquisitive			
Nimble	OFFICE	RETAIL/ RESTAURANT	ROOF DECK
Style Agnostic			



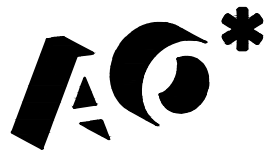
EXISTING ROOF LEVEL

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

	PARKING		ASSEMBLY/ EVENT AREA		ACTIVITY/ COMMUNITY
	ELEVATOR/ STAIR		FABRICATION/ KITCHEN		GREEN ROOF
	OFFICE		RETAIL/ RESTAURANT		ROOF DECK



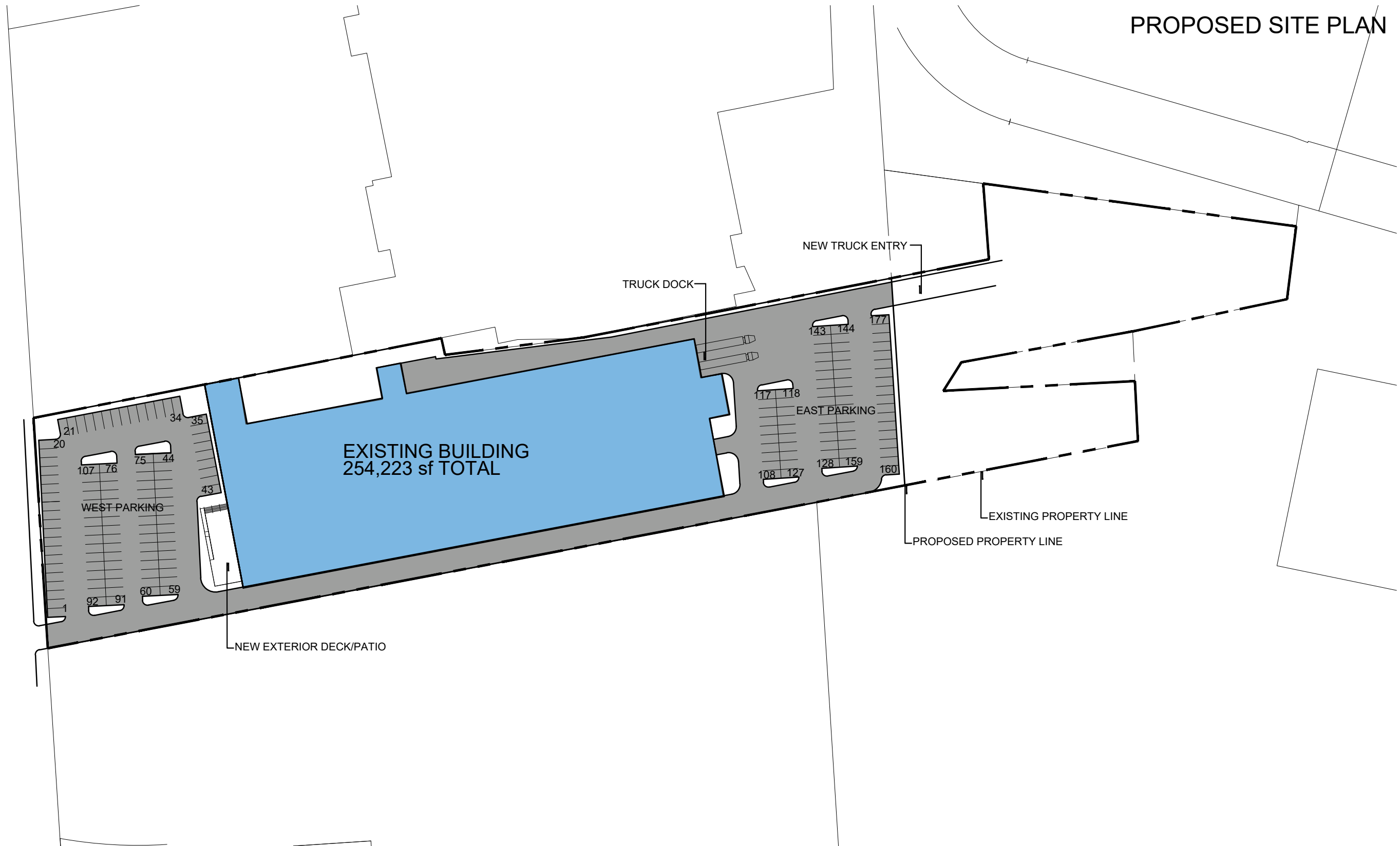
MERCADO LAS AMERICAS GLOBAL MARKET

5025 SOUTH 33rd STREET
OMAHA, NE

AUGUST 17, 2017
SCALE: 1" = 100'-0"

PROPOSED SITE PLAN

33rd STREET



PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO

- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic



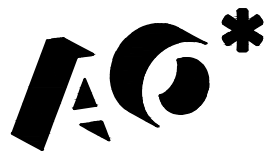
PROPOSED PLAN - LEVEL 1

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



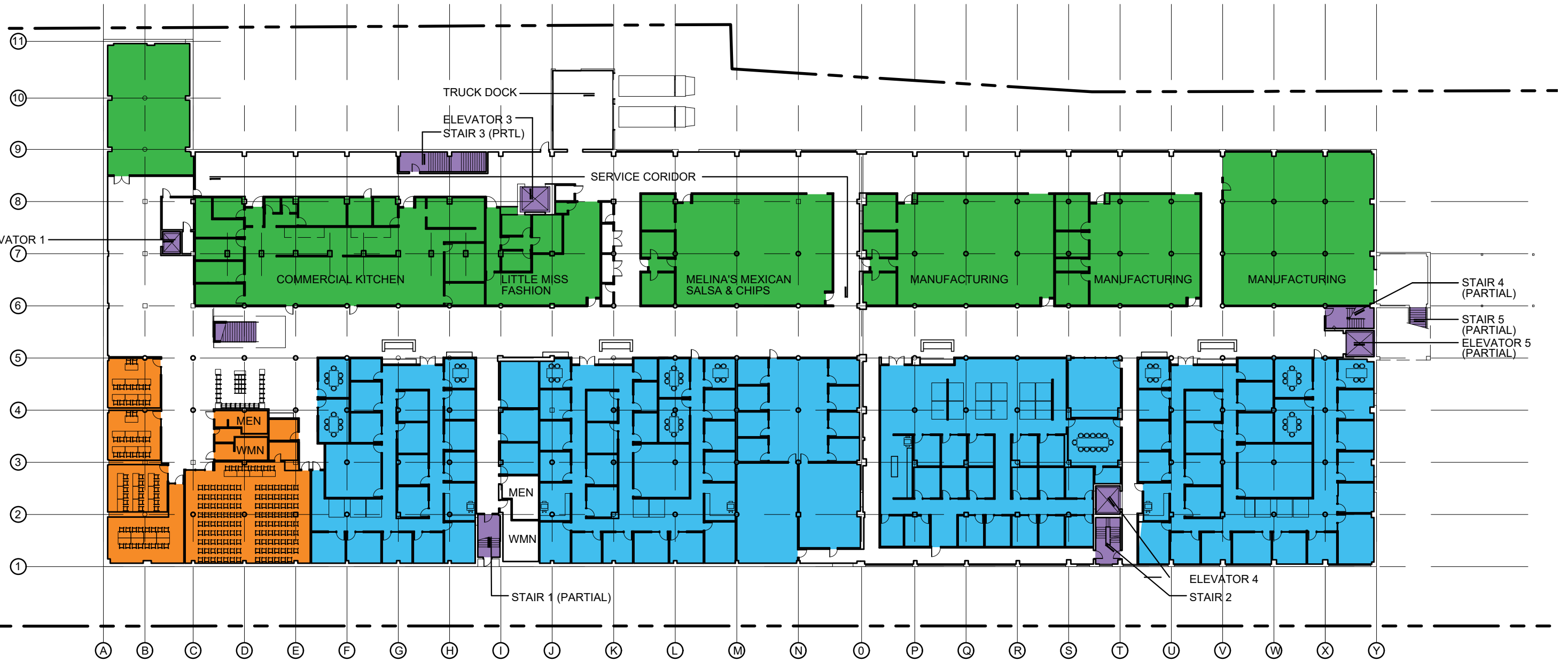
- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

	PARKING		ASSEMBLY/ EVENT AREA		ACTIVITY/ COMMUNITY
	ELEVATOR/ STAIR		FABRICATION/ KITCHEN		GREEN ROOF
	OFFICE		RETAIL/ RESTAURANT		ROOF DECK



PROPOSED PLAN - LEVEL 2

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



<ul style="list-style-type: none"> * Hands-on Empowered Relentless Fresh Eyed Inquisitive Nimble Style Agnostic 		PARKING		ASSEMBLY/ EVENT AREA		ACTIVITY/ COMMUNITY
		ELEVATOR/ STAIR		FABRICATION/ KITCHEN		GREEN ROOF
		OFFICE		RETAIL/ RESTAURANT		ROOF DECK

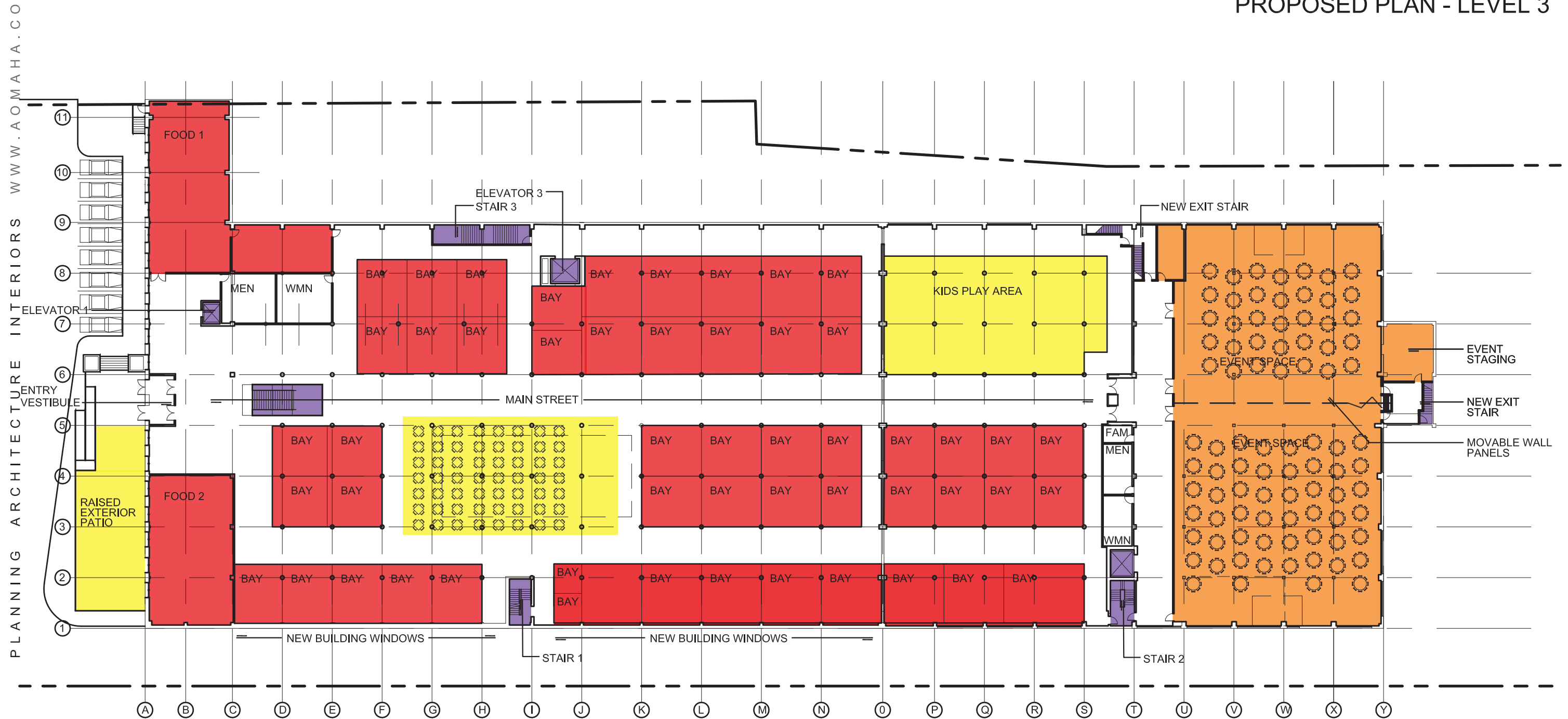


MERCADO
LAS AMERICAS GLOBAL MARKET

5025 SOUTH 33rd STREET
OMAHA, NE

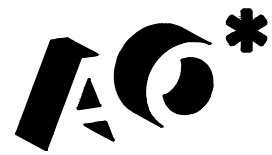
SEPTEMBER 5, 2017
SCALE: 1" = 40'-0"

PROPOSED PLAN - LEVEL 3



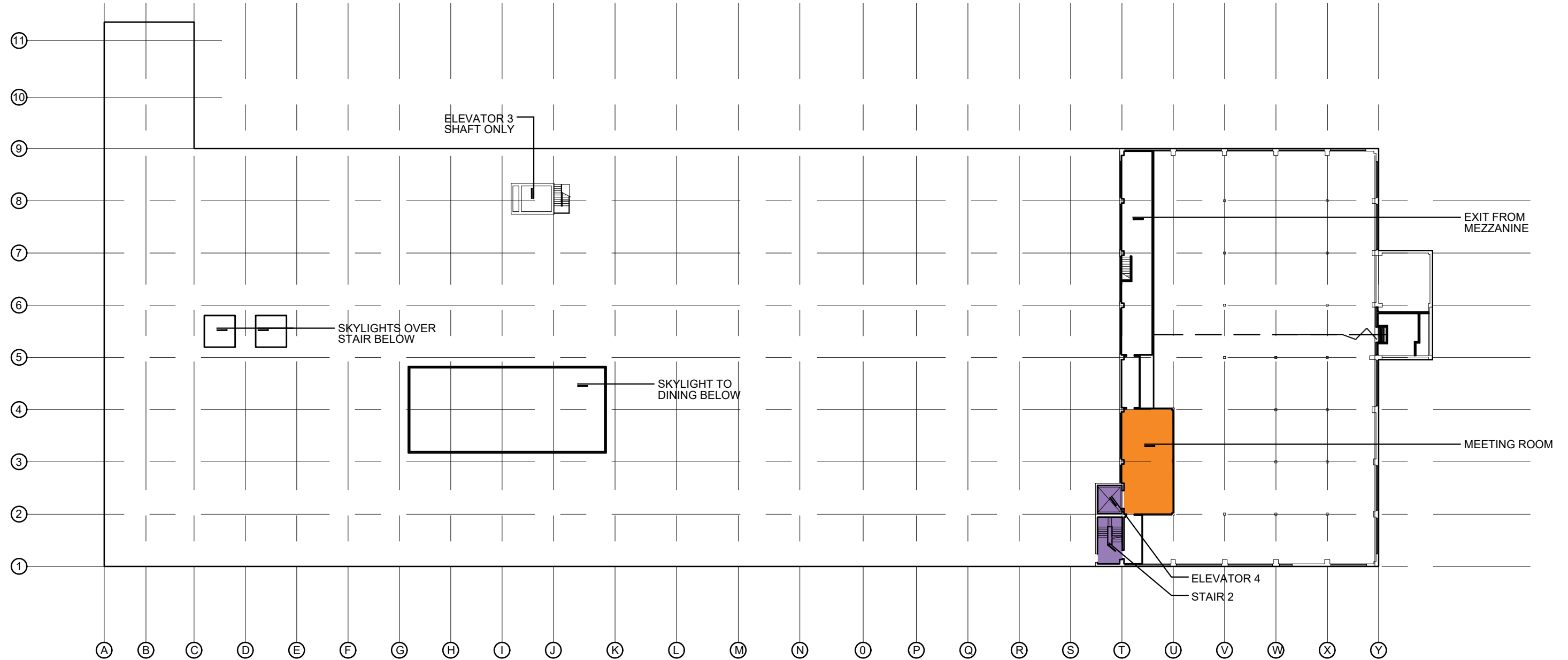
- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

PARKING	ASSEMBLY/ EVENT AREA	ACTIVITY/ COMMUNITY
ELEVATOR/ STAIR	FABRICATION/ KITCHEN	GREEN ROOF
OFFICE	RETAIL/ RESTAURANT	ROOF DECK












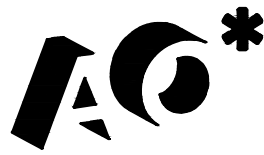
PROPOSED PENTHOUSE LEVEL

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



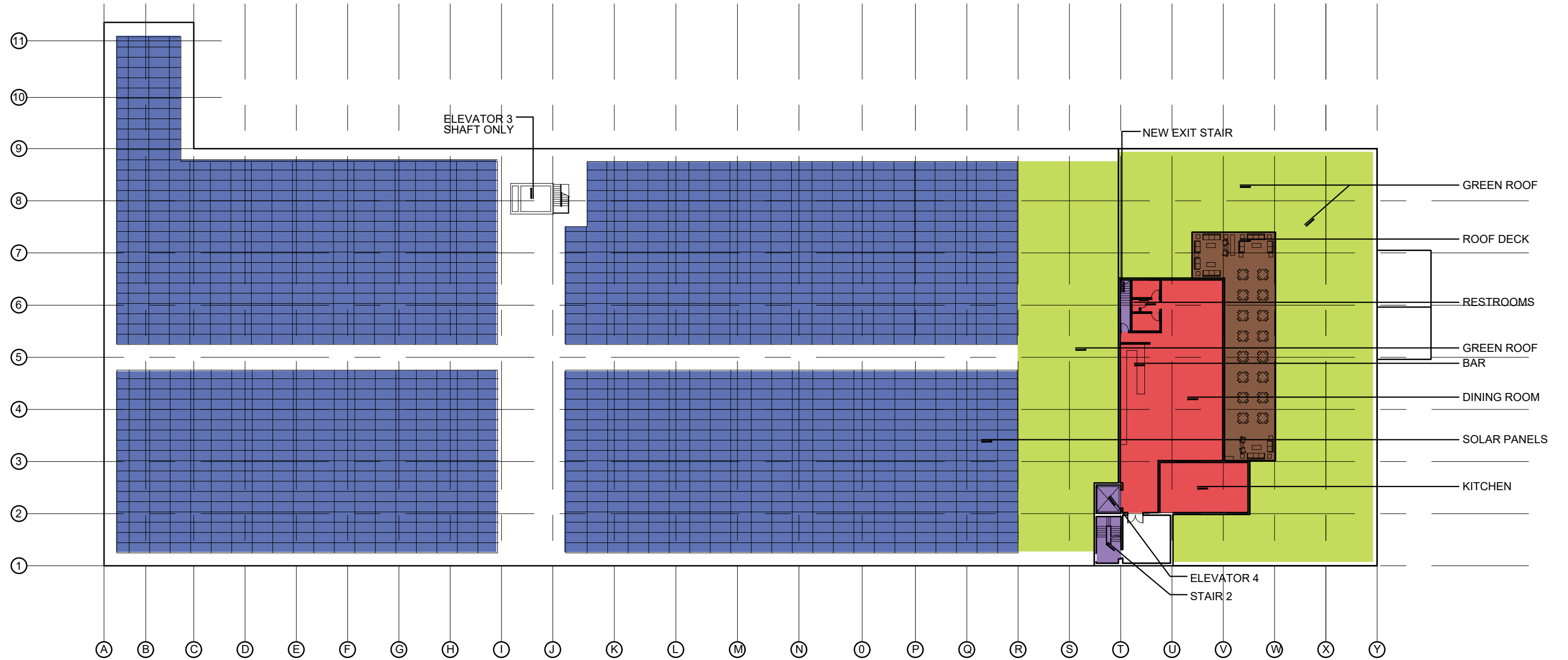
- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

 PARKING	 ASSEMBLY/ EVENT AREA	 ACTIVITY/ COMMUNITY
 ELEVATOR/ STAIR	 FABRICATION/ KITCHEN	 GREEN ROOF
 OFFICE	 RETAIL/ RESTAURANT	 ROOF DECK



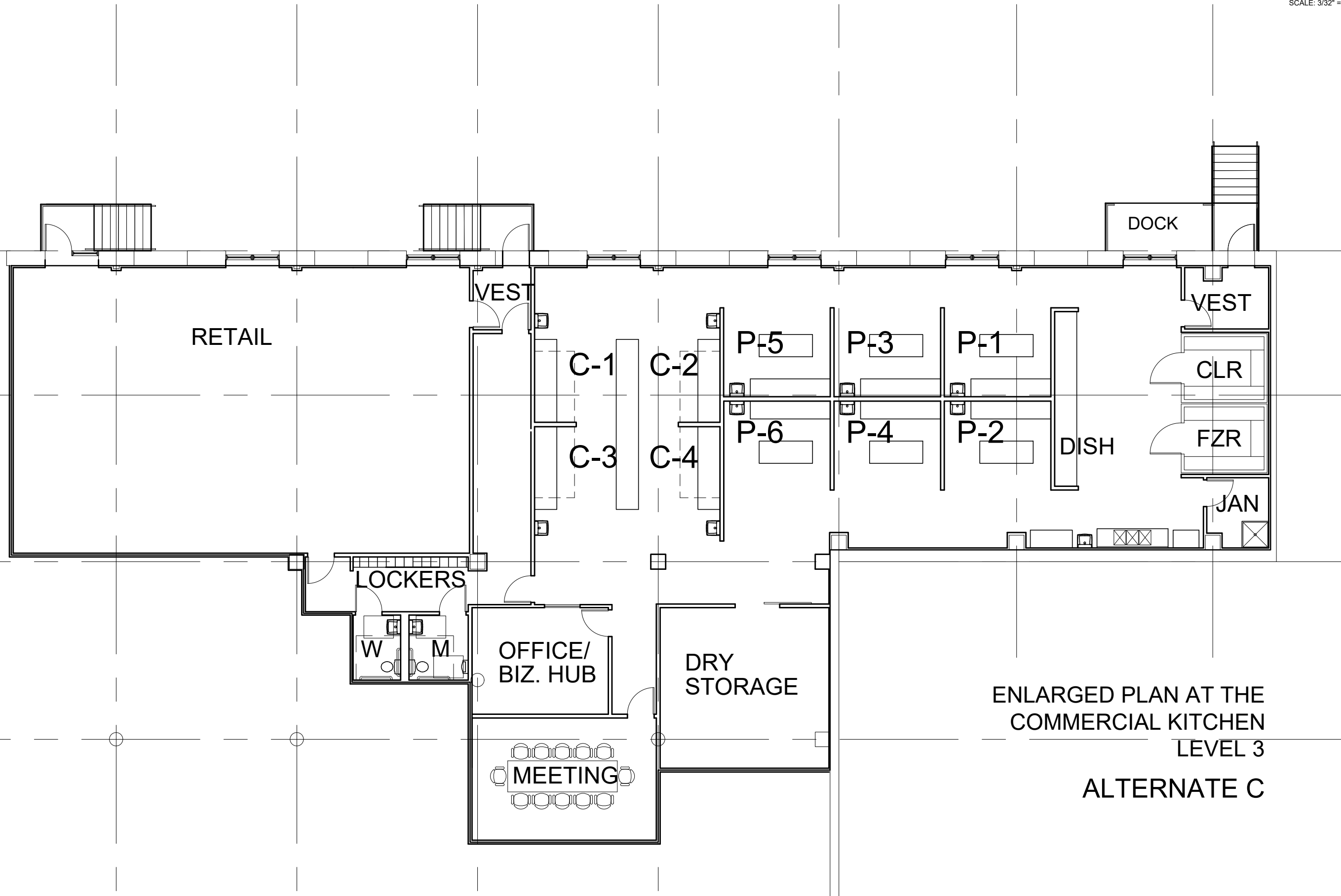
ROOF LEVEL

PLANNING ARCHITECTURE INTERIORS WWW.AOMAHA.CO



- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

	PARKING	ASSEMBLY/ EVENT AREA	ACTIVITY/ COMMUNITY	SOLAR ARRAY
	ELEVATOR/ STAIR	FABRICATION/ KITCHEN	GREEN ROOF	
	OFFICE	RETAIL/ RESTAURANT	ROOF DECK	



ENLARGED PLAN AT THE
COMMERCIAL KITCHEN
LEVEL 3
ALTERNATE C

- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

Douglas County, Nebraska Property Record - R1725681002

Information is valid as of 2022-10-07

[Print Report](#)
[Treasurer's Tax Report](#)
[Subdivision Sales Search](#)

Great Feature → → →

Taxpayer

COMMUNITY INVESTMENTS OPPOR

4323 S 24 ST #201
OMAHA NE 68107-0000**Property Information**

Key Number:	2568 1002 17
Account Type:	Industrial
Parcel Number:	1725681002
Parcel Address:	5025 S 33 ST OMAHA NE 68107-0000
Abbreviated Legal Description:	MCC-CIO ADDITION LOT 2 BLOCK 0 LOT 2 196127 SQFT

Value Information

	<i>Land</i>	<i>Improvement</i>	<i>Total</i>
2022	\$353,000	\$130,500	\$483,500
2021	\$353,000	\$130,500	\$483,500
2020	\$139,900	\$343,700	\$483,600
2019	\$0	\$0	\$0
2018	\$0	\$0	\$0
2017	\$0	\$0	\$0

Land Information

<i>Acres</i>	<i>SF</i>	<i>Units</i>	<i>Depth</i>	<i>Width</i>	<i>Vacant</i>
4.502456	196127.0	0.0	0.0	0.0	

Land Attributes

<i>Attribute</i>	<i>Attribute Description</i>
Site/Size Adjustment	Size Adj. -50
Topography/Shape	Irregular -.20

Improvement Information**Building 1**

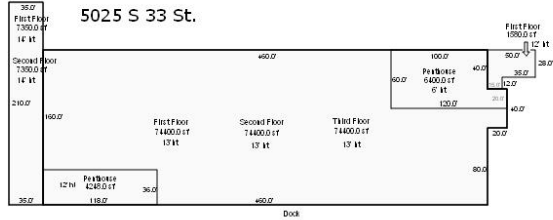
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[CLICK TO ENLARGE IMAGE](#)

Cold Storage Warehouse

5025 S 33 St.



Sketch by Apex Medina™

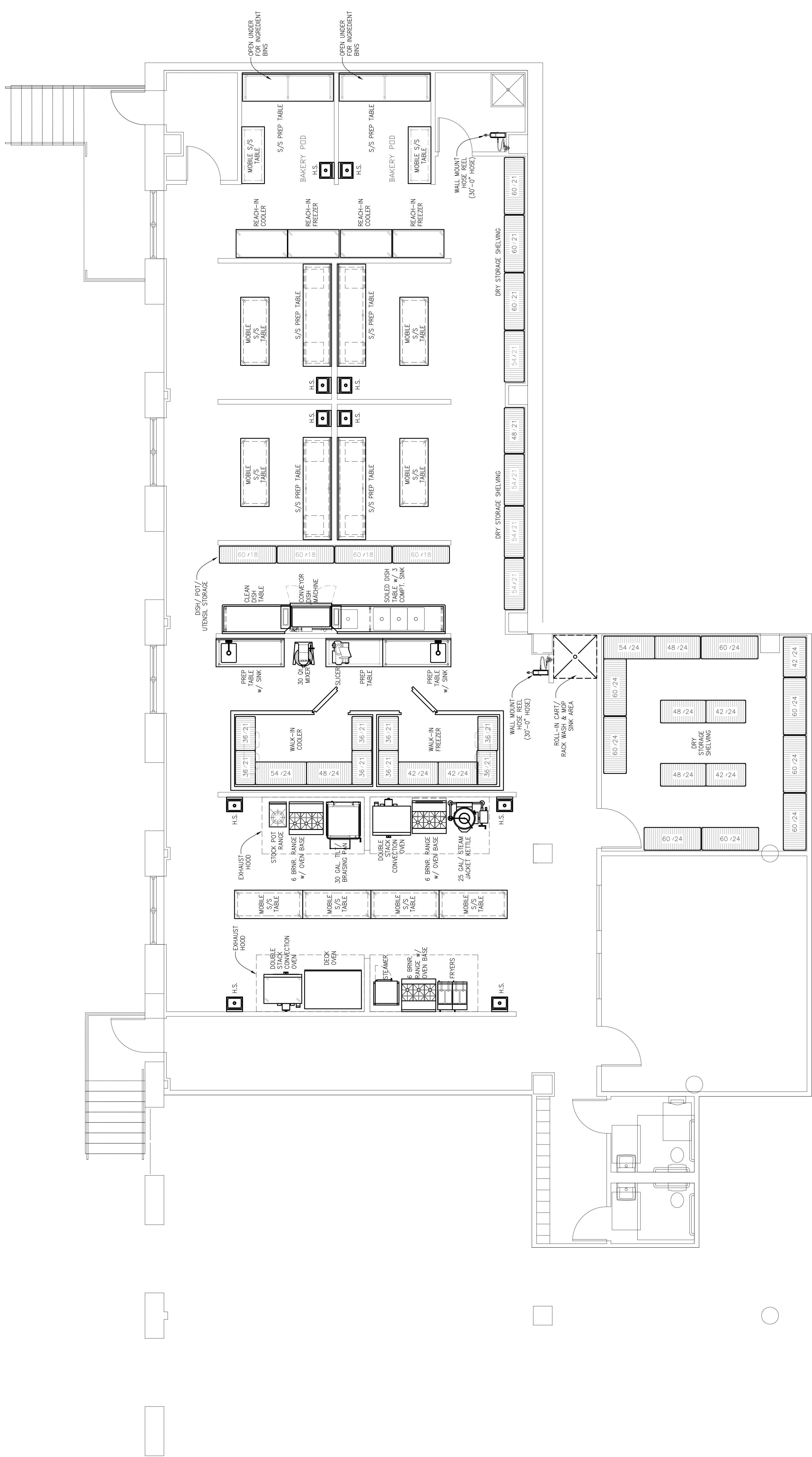
[CLICK TO ENLARGE IMAGE](#)

Square Footage:	239480.0	Percent Complete:	100.0%
Perimeter	5000.0	Quality:	Fair
Unit Type:		Condition:	Worn Out
Built As:	Storage Warehouse	Condo Square Footage:	0.0
HVAC:	None	Rooms:	0.0
Exterior:		Units:	1.0
Interior:		Baths:	0.0
Roof Cover:		Bedrooms:	0.0
Roof Type:	Flat	Stories:	3.0
Floorcover:		Foundation:	
		Sprinkler Square Footage:	119200.0

<i>Year Built</i>	<i>Year Remodeled</i>	<i>Percent Remodeled</i>	<i>Adjusted Year Built</i>	<i>Physical Age</i>
1961	0	0%	1961	0

<i>Detail Type</i>	<i>Detail Description</i>	<i>Units</i>
Add On	Ob Garage Detached Masonry	3250.0
Add On	Ob Paving Asphalt Park	40000.0
Add On	Ob Utility Building Frame	297.0

To interact more fully with Google Maps and Street View go to this link [Google](#).



PROJECT
Community Kitchen

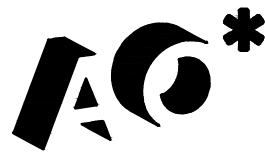
SHEET DESCRIPTION
Preliminary Food Service Plan

REVISED:	DRAWN BY Lance Bretkreutz	SHEET
REVISED:	DATE 8/01/18	FSE.1
REVISED:	SCALE 1/4" = 1'-0"	

Good things come from
SYSCOTM

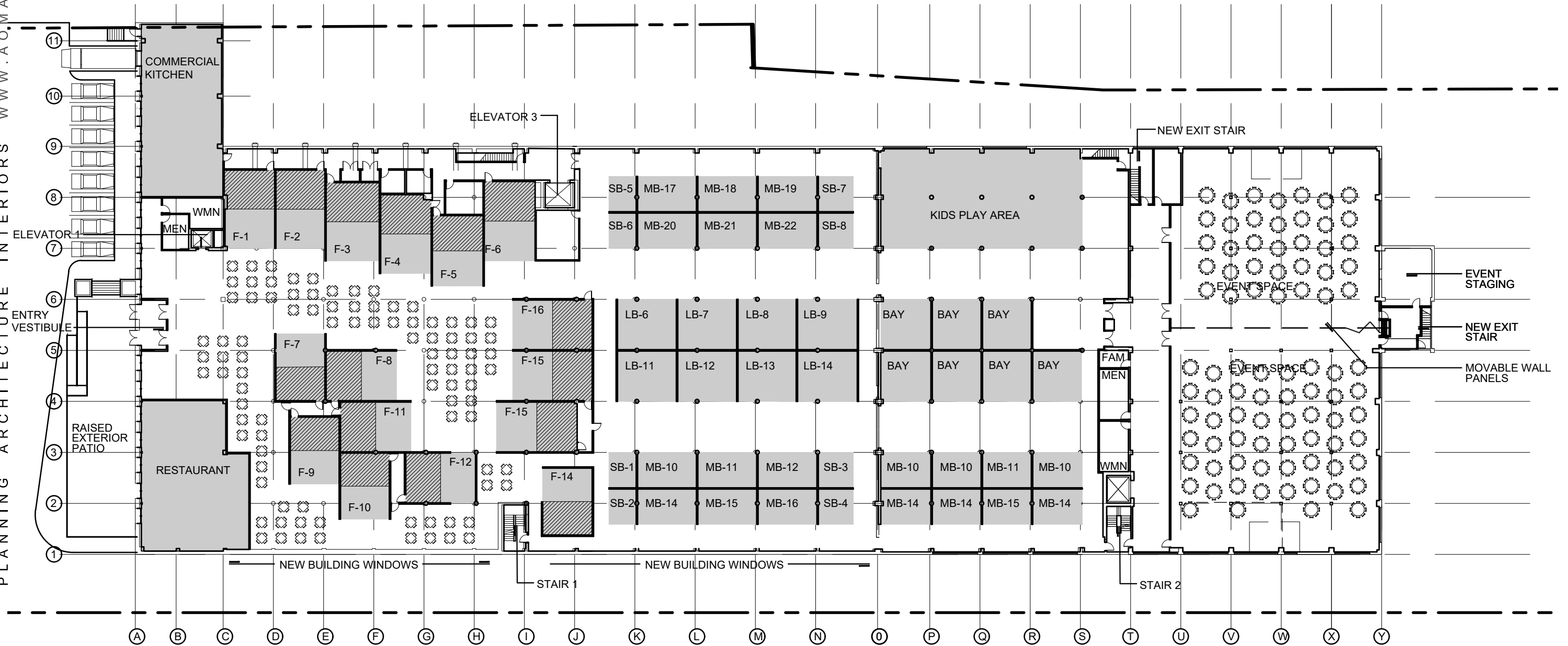
SYSCO LINCOLN INC.
1700 CENTER PARK RD., LINCOLN, NE 68512
PH.402.423.1031 FAX.402.421.5705

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PROPOSED PLAN - LEVEL 3 PHASE 5

PLANNING ARCHITECTURE INTERIORS WWW.A.OMAHA.CO



- * Hands-on
- Empowered
- Relentless
- Fresh Eyed
- Inquisitive
- Nimble
- Style Agnostic

Presentation Global Market Minneapolis



Global Market and apartments next to mercado



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown

**MIDTOWN
GLOBAL
MARKET**

WEEKLY EVENTS

All events are free & open to the public.

MONDAY 10:30-11:30 a.m. Salsa Aerobics 4:30-8 p.m. Chess Club	FRIDAY 7:30-8:30 a.m. Kundalini Yoga 11:30 a.m.-1:30 p.m. Lunch & Live Music 5-8 p.m. Family Night (5:30-7:30 p.m. Live Music)
TUESDAY 7:30-8:30 a.m. Kundalini Yoga 6-8 p.m. Steppin' Lessons	SATURDAY 9-11 a.m. Midtown Writer's Group Noon-2 p.m. Lunch & Live Music 5:30-7:30 p.m. Dinner & Live Music
WEDNESDAY 6:30-8:30 p.m. Irish Dance Lessons	SUNDAY 11 a.m.-Noon Latin Dance Lessons 12:30-2:30 p.m. Brunch & Live Music
THURSDAY 5-8 p.m. Neighborhood Nights 5:30-7:30 p.m. Live Music	

For a complete listing of events go to midtownglobalmarket.org.

FREE PARKING WITH VALIDATION AT 10TH STREET RAMP

Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown



Global Market Midtown





Building Area – GUSF (Gross Usable Square Footage)

This is the gross are of the building, calculated from the interior face of the exterior walls, with shafts, elevators, and stairs square footage removed.

Floor One	79,710sf
Floor Two:	79,710sf
Floor Three:	79,045sf
Total GUSF:	238,465sf

Usable Area by Floor/By Use

This is the total of all the tenant spaces, broken down by use, on each floor

Floor One:	
Parking:	57,000sf

Floor Two:	
Community Space:	4,500sf
Office Area:	30,000sf
Light Industrial:	19,500sf
Total Floor Two Usable Area:	54,000sf

Floor Three	
Commercial Kitchen:	4,000sf
Sit-Down Restaurant:	2,200sf
Retail Bays:	23,000sf
Conference Rooms:	13,250sf
Total Floor Three Usable Area:	42,450sf

Leasable Area by Floor

This is the Usable Area with the prorated portion of the common space added. This is the number that lease agreements will be based on.

Floor Two:	
Common Area:	25,710sf
Community Space:	6,642sf
Office Area:	44,280sf
Light Industrial:	28,782sf

Floor Three	
Commercial Kitchen:	6,148sf
Sit-Down Restaurant:	3,381sf
Retail Bays:	35,351sf
Conference Rooms:	20,356sf

Appendix Organization Structure of the partner organizations

Organizational Chart – Please explain your organizational chart.

We will present in this section the organizational structure of each partner in the project. We will define the organizational chart of the partnership in the near future. We will report more detailed information in an appendix.

Collective Development:

Ownership of the company is split between Max Honaker and Benjamin Katt. Collective Development has 9 full time employees and 20+ trusted contractors. The company has 3 property managers, two workers on their construction side, 2 maintenance workers, 2 maintenance workers, 1-unit inspections and 1 account payable specialist. Contractors do a considerable amount of work with, in addition to strategic partners depending on the project.

Collective Development

9 full time employees and 20 contractors that are working the majority of their time with Collective Development

2 partners:

- Max Honaker
- Benjamin Katt

3 property managers:

- Ashley Wilkinson
- Samuel Maples
- Nicolas Martin

Two workers on our construction side, they don't have a specific title:

- Ronald Murphy
- Kurt Holmstrom

Maintenance workers

- Gilbert Sanchez Bueno
- DeWayne McDaniel

Unit Inspections

- James Elder

Accounts Payable Specialist:

- Connel Monaghan

No More Empty Pots

No More empty Pots has a Board of Directors, 25 employees and an important group of volunteers.

Members of the Board of Directors

Nancy Williams, Co-founder and President/CEO

Edgar Hicks, CFO Systems LLC

Donna Polk, CEO Nebraska Indian Health Coalition

Jennifer J. Kats, JD, SVP Treasurer, First National Bank of Omaha

Liz Sarno, Organic Farmer

Maria Malnack, Director of Finance and Infrastructure North Start Foundation/Omaha Outward Bound School

Shannon Lang: No More Empty Pots Guild

Staff

This non-profit organization has 25 full time employees and an important number of volunteers

List of employees and their positions:

Nancy Williams, CEO

Talia McGill, Chief Operational Offices

Maria Valentin, Director of Advancement

Susan Whitfield, Facilities Manager

Levi Frerichs, Facilities specialist

Kathy Uhlenbrock, Employee Engagement Manager

Kate Swinarski: Evaluation and Advocacy Manager

Amy Seller Communications and Engagement Manager

Natavia Jones: Emerging Leaders Fellow

Tanya Gum: Administrative Assistant

Carolyne Man: Project Manager

Leslie Schmeling: Community Education Manager

Maggie Austin: Community Education Coordinator

Jo Anne Fraire: Culinary Certificate Program Instructor

Nancy Scott: Community Education Instructor

Meya Hill, Culinary Certificate Program Coordinator

Jazz Mar: Community Education Assistant

Dex Gabriel Woods: Community Education Assistant

Tess Foxall: Community Education Assistant

Cyndi Trail, Community Education Assistant

Taylor Hanna, Supply Chain and Logistics Coordinator

Alia Cecil, Entrepreneur Team Assistant
Tracey Marsh, Production Assistant
Ella Williams, Hospitality Assistant
Dana Christensen: Deliveries Specialist

Community Investments Opportunities (CIO)

CIO has 39 members in the company. The majority of them are entrepreneurs and they are working on the development of the project as contractors. CIO has in its memberships: business owners, general contractors, cleaning companies, chefs, an architect, a lawyer, real estate agents, a real estate broker, 2 insurance companies, 3 tax preparation companies, food processing companies, chefs, a CPA, a real estate agent, a real estate broker, financial services, housing developers, a specialist in business and project development, entrepreneurs in different sectors, and, several investors.

Members of the Board of Directors

President: Lennis Gahona, CIO member
Vice-president: Lida Avila, owner of Ortega Taxes and Avila American Family Insurance. CIO member
Secretary 1: Pedro Benavidez, CIO Investor
Secretary 2: Gustavo Rosillo, CIO member and future food processing business
Treasurer 1: Adela Yañez, owner of the childcare HOPE and one of the members of 3 Amigas. CIO member
Treasurer 2: Deivy Yopez, CIO member
Maria Morales, owner of Maria's Cleaning and CIO member

Contractors

Otoniel Ojeda: CIO's member, CPA and real estate broker Owner of Latino Investments LLC
Glenn Pettis: CIO member, legal consultant and owner of Pettis Law Office
Architect Offices (AO): CIO hired AO to work the master plan and coordinate with a group of engineers, architects and general contractors. William Stott is working directly with our company
<http://aomaha.co/>
Marta Sonia Londoño Mejia: CIO member and specialist in business and project development.
Web site: <http://midwestbusinessesprojects.com/>
Facebook: <https://www.facebook.com/midwestbusinessesprojects/>

3 Amigas

3 Amigas Tortilleria team is composed by Adela Yanez, Elia Rivera and Guillermina Becerra. This company owned The Three Amigas Food Truck. The business was registered in the State of Nebraska in June of 2017. Due to COVID-19, the Three Amigas Food Truck was forced to go out of business in June of 2020.

Projected Organizational structure

President: Elia Rivera owns Rivera's Mexican Foods since 2003. She will be the Vice President of the 3 Amigas Tortilleria (tortilla factory).

Vice President: Adela Yanez is the owner of Hope Daycare, LLC since 2015. She will be the Vice President of the 3 Amigas Tortilleria (tortilla factory).

Manufacturing Project Manager: Guillermina Becerra was the main chef of 3 Amigas Food truck. Guillermina Becerra has 25-year experience in food service handling. For this reason, Guillermina will oversee the operation of 3 Amigas Tortilleria as the VP of Operations.

Each member of the partnership will contribute with capital and their knowledge and experience in the areas that they are leading in the project. This group also represents different ethnic groups in the South Omaha community.

From: William Stott <bstott@thearchitecturaloffices.com>
Sent: Friday, July 13, 2018 11:39 AM
To: 'Marta Sonia Londono Mejia (mlondono@midlandslatinocdc.org)' <mlondono@midlandslatinocdc.org>; Claudia Zapata (czapata@midlandslatinocdc.org) <czapata@midlandslatinocdc.org>
Subject: Commercial Kitchen Estimate

Marta,

Attached is an estimate for construction for the Commercial Kitchen. The estimate includes both the work responsible for CIO as well as MLCDC. I have modified that amount and assigned as an initial position what would be the costs for MLCDC and for CIO. They are as follows:

MLCDC

Labor, materials, and equipment:	\$554,979
Building Permit:	\$3053
Builder's Risk:	\$550
Contingency (10%):	\$55,498
OH :	\$61,048
Total MLCDC:	\$675,1256.00

CIO

Labor, materials, and equipment:	\$109,043
Contingency (10%):	\$10,904
OH	\$11,995
Total CIO:	\$131,942.00

For the purposes of simplicity, I have left the cost of the permit and Builder's Risk insurance in the MLCDC side. It can be negotiated out easily.

This number DOES NOT include kitchen equipment (other than the cooking hoods) or roof repair. I have designed the cooking area so that only 1/2 of it needs to be built now – and the other half can be added later. I do not yet have an estimate from Sysco for the kitchen equipment.

Let me know what you think. It is an estimate, and we can look at places to save money if needed – but it is a good starting place.

Bill

William J Stott, AIA

Principal



AO
4610 Dodge Street
Omaha, Nebraska 68132
(402) 551-3400 (o)
(402) 968-0483 (m)
bstott@aomaha.co

Grant Application

Row 220

Organization Name (if applicable) all american environmental services

Physical Address 8959 N 79th st omaha ne 68122

Mailing Address

Website

Social Media Accounts

Name DARIUS CHRISTIAN

Title owner

Email Address bottomlifepublishing1624@yahoo.com

Phone +1 (402) 401-1651

Team Yes

joann christian teaching taniesha grey youth coordinator /teacher education carin philmon teacher mentor para support medication aid gene christian youth counselor mentor darius christian youth counselor mentor coordinator

Organizational Chart darius christian program director /trade instructor hvac environmental service instructor therapy counseling darrel coleman electrician instructor therapy counseling carin philmon nurse aid medication aide mandt certified pharmacy technician daycare child provider manager application community source worker assistant therapist counseling shots healthcare hygiene taniesha grey program education instructor therapist counseling joey coleman transportation driver

Other Completed Projects and/or Accomplishments it will give us a opportunity to have a place for troubled youth who have not graduated from high school to learn a trade and transition those who haven't graduated to be able to transition back into public schools or receive their GED and also provide day programs for those who have been kicked out of public schools to be able to continue their education and not be in the streets we will also feed and shelter homeless troubled youth

Proposal Title Youth Rescue

Total Budget (\$) \$300,000.00

LB1024 Grant Funding Request (\$) \$1.00

Proposal Type	Combination of capital project and service/program
Brief Proposal Summary	to stop teen violence and recidivism to teach a licensed/certified trade in HVAC and electrical. to those who are less inclined to comprehend or learn in a different setting to provide shelter and meals for the homeless to provide a rode map with positive direction for the troubled youth to feel safe and have a place for someone to talk to when they need it
Timeline	8 months project kickoff 1st month troubled youth for state programs waiting period taking applications for daycare enrollment 2nd month youth placement teen concerns and feedback 3rd month education placement trade program start up day program school placement iep placement
Percentage completed by July 2025	100%
Funding Goals	Fundamental Change (i.e., a proposal that will continue to elevate North or South Omaha's presence and perception within the region, significantly improving the lives of area residents through physical development) Long-Lasting Economic Growth (i.e., a proposal that will foster gainful employment opportunities and financial investment in the area, leading to the creation of generational wealth and widespread economic vitality in North and South Omaha) Transformational (i.e., a proposal that will help energize, recharge, or spur significant and favorable advancements in North or South Omaha's function or appearance)
Community Needs	Other Policy (i.e., develop or improve context-sensitive education, finance, health, training, zoning, etc.) Sustainable Community (i.e., create or enhance housing, services, education, civic uses, recreation, etc.)
"other" explanation	
Proposal Description and Needs Alignment	providing a trade for for career opportunities for troubled youth to be able to take care of themselves responsibly and safely providing a 24 hour safe place for troubled youth to be heard nutrition hygiene and affordable childcare for teens parents
Visioning Workshop Findings Alignment	to create a comfortable atmosphere for learning warm open friendly and encouraging and teaching trades introducing written materials and general information guiding problem solving stimulating discussions and asking questions keeping discussion on track explaining the goals and methods setting out the ground rules and agenda making links to previous exercises being aware of and sensitive to group dynamics summarizing and clarifying key points motivating participants
Priorities Alignment	by providing a place for troubled youth to learn how to be law bidding citizens with goals and a vision that can be reached by giving them a trade and a place to feel safe and heard a place for troubled youth to learn coping skills and strategies
Economic Impact	to create jobs in a safe place and employ those in the community 25 to 30 thousand

	8 jobs
	10-20
	minimum wage for trade students
	on the job student placement for different business training / manpower provided
Community Benefit	by teaching troubled youth the responsible law abiding way of life by providing a trade and jobs opportunities
	by providing affordable child care and teen job opportunities and structure
Best Practices/Innovation	by giving the are more responsible law abiding youth because of the structure and trades that we teach which will lower teen incarceration's and violence and death rate and death
Outcome Measurement	improving education and skills and new high wage job opportunities and trades
	highschool drop out rate and the rate of teens being locked up and incarcerated and by the decline of violence in the area
	no
Partnerships	Yes
	state and federal and omaha public schools by providing troubled youth for our program
Displacement	No
Displacement explanation	
Physical Location	north 72nd street omaha ne
Qualified Census Tract	Adjacent to one or more QCTs
Additional Location Documents	
Property Zoning	No
Is the project connected to utilities?	
	Yes
	Yes

**Design, Estimating,
and Bidding**

No

Yes

General Contractor

No

Request Rationale

Grant Funds Usage by providing a place for troubled youth to learn the trade and be housed and create jobs

**Proposal Financial
Sustainability**

Yes

youth rescue

Funding Sources

none

none

no

Scalability

yes

by providing our resources to less than 10 students

**Financial
Commitment**

minimum wage to at least 10 individuals

**ARPA Compliance
Acknowledgment**



**ARPA Reporting and
Monitoring Process
Acknowledgme**



**LB1024 Funding
Sources
Acknowledgment**



Public Information



File Uploads